



Structural Inspection

7-7-2022

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Carriere, MS 39426

Construction:

One-story, wood frame, composition shingle roof on a conventional slab foundation, carpet, and ceramic flooring. Residence was constructed in 2005.

Scope:

This inspection is limited to a visual inspection of the interior of the home; No Inspection of the mechanical or electrical systems was performed. This report is as outlined by the National Academy of Building Inspection Engineers and is not an explanation of cause, effect, or engineering.

History:

Dammon Engineering was contacted to perform a structural inspection of the referenced building due to homeowner's concern about the number and size of cracks found in the slab. The current owner purchased the house approximately 7 years ago and noticed around the time of purchase that some cracks were noticeable in the ceramic tile areas. During the preparation to remodel an existing carpeted room where the carpet was removed, more cracks were noticed and some of these were larger than those seen in the ceramic tiles. Some of these cracks extended to the perimeter of house. Outside some of the brick mortar was cracking in different locations.

Findings:

An overall visual inspection of the interior of the building was conducted and stress cracks were found in the slab and the ceramic tile. A few cracks that were in the bedroom(s) with carpet extended to the outside of the building.

An overall visual inspection of the exterior of the building was conducted:

- 1) Some of the cracks in the slab found under the carpet extend to the outside; however, they do not extend down through the foundation footing.

This inspection is limited to the apparent visual conditions of the structural components of this building. It does not cover, nor attempts to cover, any components, items, and/or conditions which, by their nature or location, are concealed or are difficult or hazardous to inspect, or which require the moving of furniture, flooring materials, rugs, fixtures, appliances, or any component-part nailed, bolted, or screwed down or shut. No opinions are expressed regarding conditions which could be discovered only by the disassembly of any component parts, special testing, or removal of any concealing objects.

Inspections are made under normal weather conditions, and are not opinions of the conditions of the property and/or structure which may exist under unusual weather conditions, such as, but not limited to floods, heavy rains or snows, high winds, temperature extremes, or any act of God. Specific hazardous wastes, toxic substances, toxic mold, air and water quality, communicable diseases, asbestos, soil, environmental, radon, carbon monoxide, formaldehyde, building code and termite conditions are not included in this report unless otherwise stipulated.

This report is not a warranty or guarantee of the property inspected, but it is our opinion of its condition at the time inspected. Our liability shall be limited to reimbursement of the total cost of inspection.

- 2) There are some bricks that have cracked mortar around them horizontally and vertically; the cracks in the brick veneer do not show up in the foundation.

Conclusion:

It is important to note that all foundations settle. Usually, everything settles together and the fastest rate of settlement occurs in the first year after construction. By the fifth or sixth year the settlement has exponentially slowed to where there is little danger that something will happen unless caused by weather, expansion & contraction, tree roots, improper drainage, etc.

Recommendation:

The cracks in the slab do not appear to have compromised the structural integrity of the building. The cracks in the brick veneer do not appear to have compromised the structural integrity of the building. It is my opinion that the structural integrity of this building is currently sound, but the foundation will expand and contract with the ground movement and any standing water.

Items to be addressed are as follows:

- 1) Seal the cracks in the slab with an elastic sealant for concrete slab foundations.
- 2) Seal the cracks in the brick veneer with a non-shrinking grout, to prevent insects from entering the building.

Sincerely,



Brian Mistich, P.E.

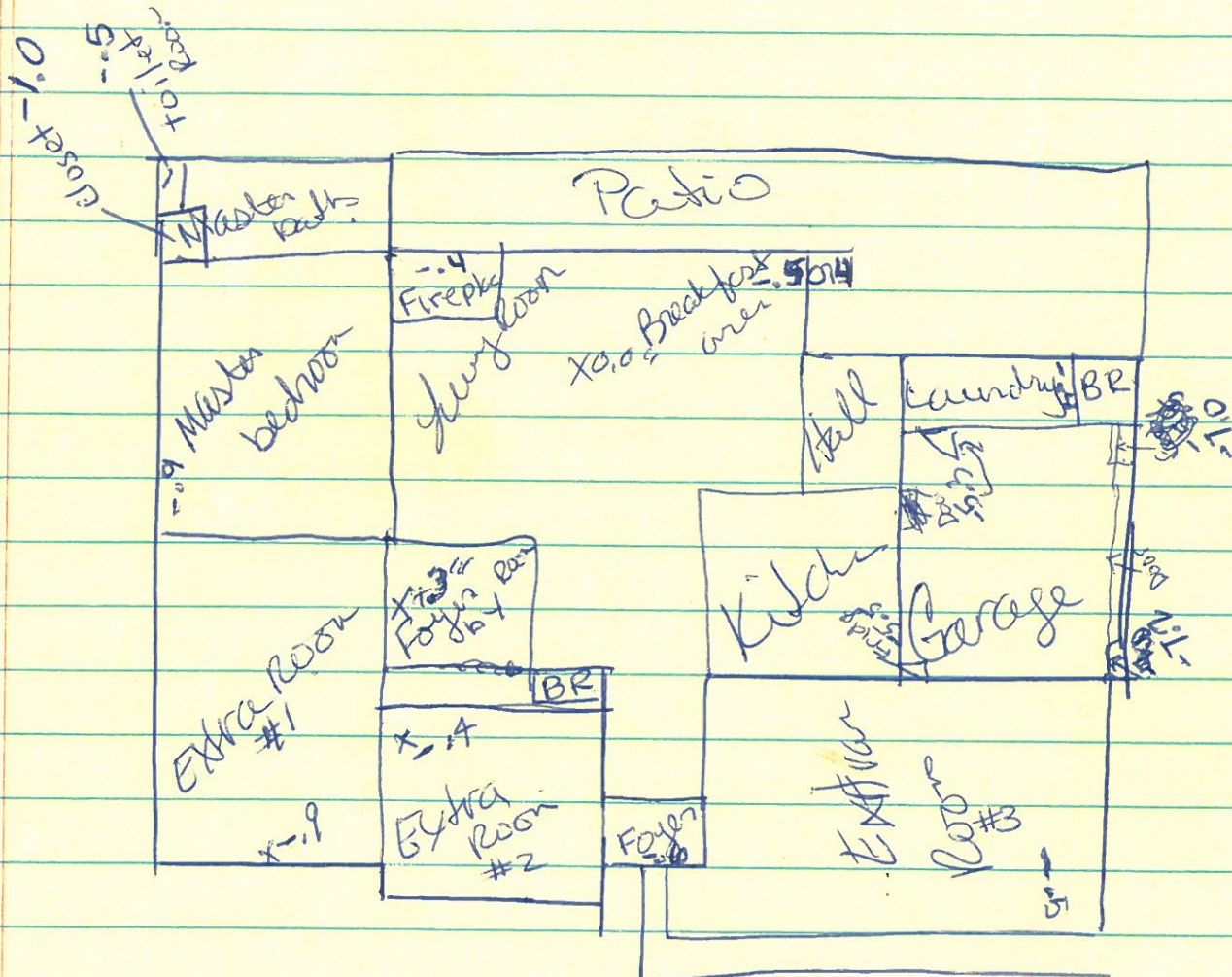


Pictures attached

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master bedroom, closet, Extra room #1, Extra room #2 = no tile
 Everything else had ceramic tile
 concrete

