

TENANT IMPROVEMENT



PAUL MITCHELL PARTNER SCHOOL
3321 HESSMER AVENUE
METAIRIE, LA 70002

ABBREVIATIONS

AB ANCHOR BOLT	AC AIR CONDITIONING	ACOU ACOUSTICAL	AD AREA DRAIN	ADJ ADJUSTABLE	ADJT ADJACENT	AL ALUMINUM	ALT ALTERNATE	APPROX APPROXIMATE	ARCH ARCHITECT	ASB ASBESTOS	ASP ASPHALT	ASBO AS SELECTED BY OWNER	BD BOARD	BUILD BUILDING	BL BLOCK	BM BEAM	BOT BOTTOM	BRK BRACKET	CA CAULKING	CAB CABINET	CB CATCH BASIN	CEM CEMENT MASONRY UNIT	CER CERAMIC	C.I. CAST IRON	CL CENTER LINE	CLG CEILING	CLOS CLOSET	CLR CLEAR	CM CEMENT	COL COLUMN	CONC CONCRETE	COND CONDITION	CONN CONNECTION	CONST CONSTRUCTION	CONT CONTINUOUS	CONTR CONTRACTOR	COR CORRIDOR	CT CENTER	CTSK COUNTERSINK	DET DETAIL	DAI DIAMETER	DF DRINKING FOUNTAIN	DIM DIMENSION	DR DRAWING	(E) EXISTING	EA EACH	ELEC ELECTRICAL	ELEV ELEVATION	EQUIP EQUIPMENT	EXIST. EXISTING	EXP. JT. EXPANSION JOINT	EXT. EXTERIOR	EQ. EQUAL	F.D.C. FIRE DEPT. CONNECTION	FIN. FINISH	FIN. SRF. FINISH SURFACE	FOC FACE OF CONCRETE	FOF FACE OF FINISH	FP FIRE PROOF	FT FOOT	FTG FOOTING	GA GAUGE	GI GALVANIZED	G.I. GALVANIZED IRON	GL GLASS	GC GENERAL CONTRACTOR	GYP GYPSUM	HB HOSE BIB	HC HOLLOW CORE	HDWR HARDWARE	HM HOLLOW METAL	HORIZ. HORIZONTAL	HWD HARDWOOD	HT HEIGHT	HVAC HEATING VENTING AC	ID INSIDE DIMENSION	IN INCHES	INSUL INSULATION	INT INTERIOR	INV INVERT	JT JOINT	KIT KITCHEN	LAM LAMINATED	LAV LAVATORY	LG LONG	LIN. FT. LINEAR FOOT	LINOL LINOLEUM	LT LIGHT	MAX MAXIMUM	MB MACHINE BOLT	MECH MECHANICAL	MET METAL	MIN MINIMUM	(N) NEW	NAT NATURAL	NIC NOT IN CONTRACT	N.T.S. NOT TO SCALE	O.C. ON CENTER	OD OUTSIDE DIMENSION	OH OVERHEAD	OPG OPENING	P-LAM PLASTIC LAMINATE	PG PAINT GRADE	PLAS PLASTER	PLT PLATE	PR PAIR	RAD RADIUS	RD ROOF DRAIN	REG REGISTER	REQ REQUIRED	REV REVISED	RM ROOM	RO ROUGH	R.O. ROUGH OPENING	RWD REDWOOD	SCH SCHEDULE	SECT SECTION	SIM SIMILAR	STD STANDARD	STL STEEL	STR STRUCTURAL	SUSP SUSPENDED	TC TOP OF CURB	TEL TELEPHONE	TEMP TEMPORARY	T&G TONGUE AND GROOVE	TW TOP OF WALL	TYP TYPICAL	VERT VERTICAL	VTR VENT THRU ROOF	VT VINYL TILE	WC WATER CLOSET	WD WOOD	WH WATER HEATER	WI WROUGHT IRON	WS WEATHER STRIP	WT WEIGHT	WWM WELDED WIRE MESH
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PROJECT DATA

PROJECT ADDRESS: 3321 HESSMER AVENUE
 METAIRIE, LA 70002

APPLICABLE BUILDING CODE: IBC 2006
 APPLICABLE PLUMBING CODE: LSPC 2000
 APPLICABLE MECHANICAL CODE: IMC 2006
 APPLICABLE ELECTRICAL CODE: NEC 20085
 APPLICABLE FIRE/LIFE SAFETY CODE: NFPC 101,2006
 APPLICABLE STRUCTURAL CODE: IBC 2006

ACCESSIBILITY CODE: ADAAG

TENANT AREA: 26,588 SQ. FT.

OCCUPANCY GROUP: B 24,693 SQ. FT.
 A-3 1,895 SQ. FT.

TYPE OF CONSTRUCTION: 2/B
 NON-SPRINKLERED

CONSULTANTS

TENANT / SCHOOL OWNER(S)
 MARK AND LISA PALERMO
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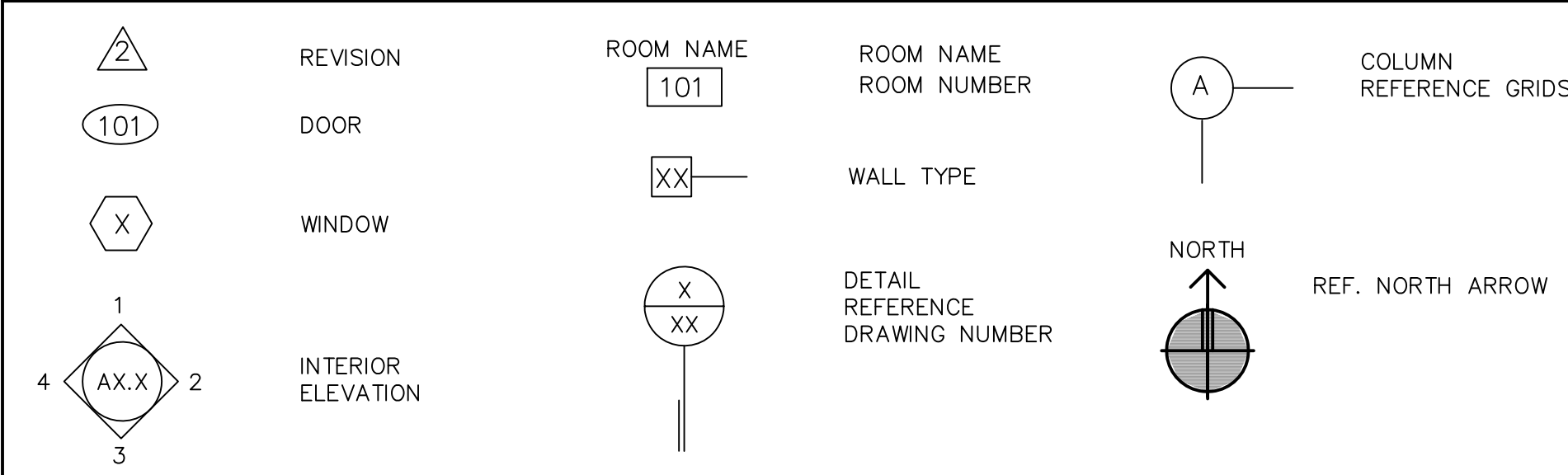
PLUMBING CALCULATIONS

OCCUPANT LOADING:
 REFER TO SECTION "N" ON CODE SHEET A 004 FOR OCCUPANT COUNT
 TOTAL OCCUPANT COUNT: 390 PERSONS

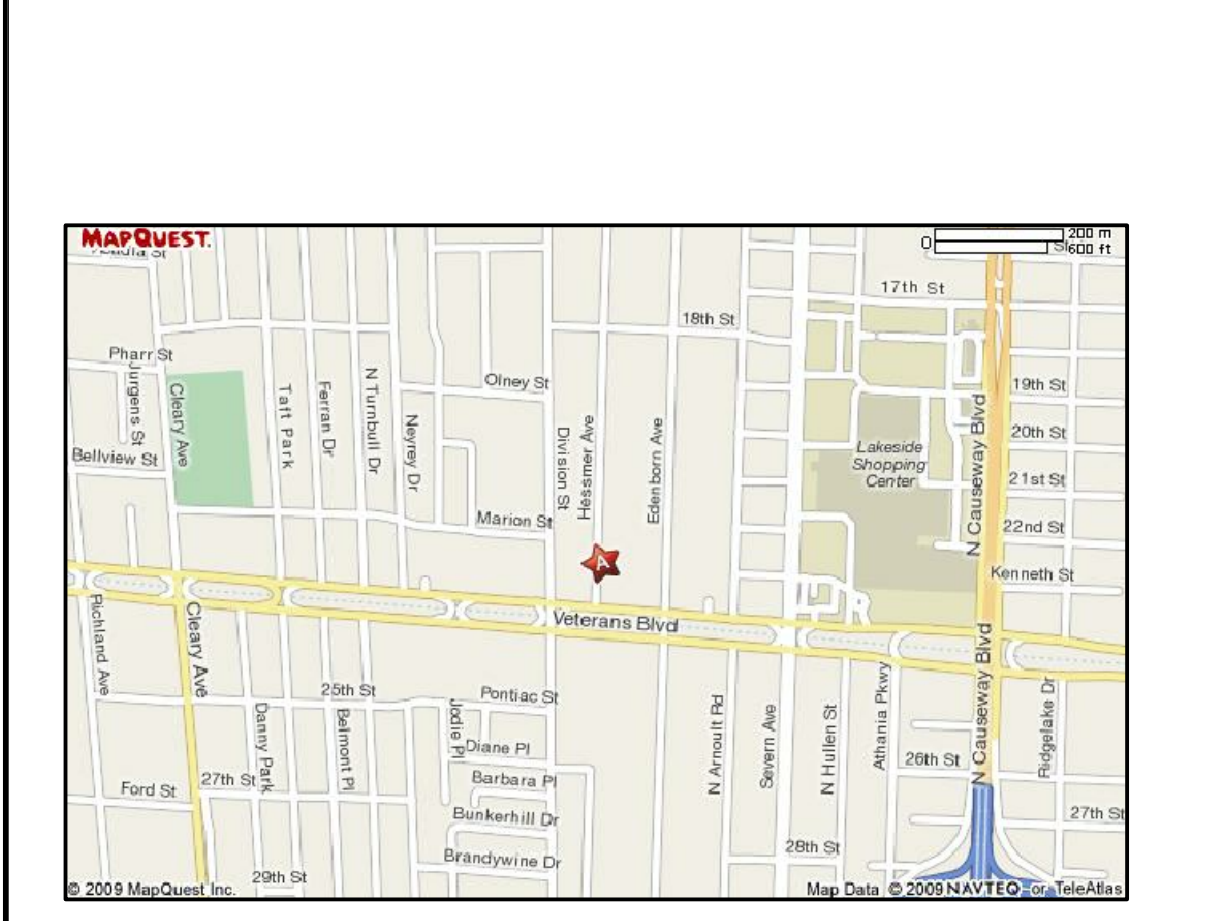
MALES: 150 PERSONS
 FEMALES: 240 PERSONS

FIXTURES PROVIDED:	REQUIRED:
WC 2 MEN 8 WOMEN	WC 4 MEN 6 WOMEN
LAV 4	LAV 3
UR 2	UR 33% = 1.33
DF 4 TOTAL	DF 1/100=3.90
SERVICE SINK 1 TOTAL	SS 1

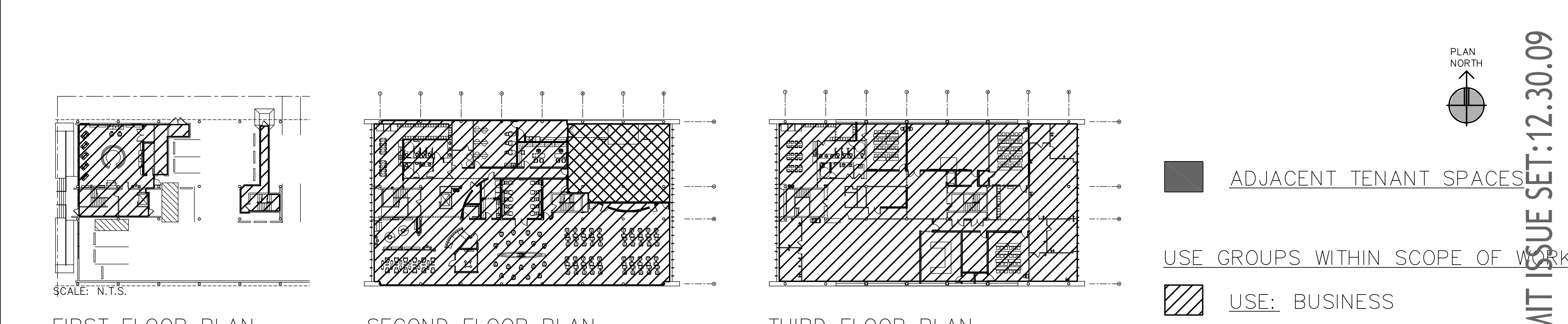
SYMBOL LIST



VICINITY MAP



KEY PLAN - TENANT SPACE



CLIENT:

MARK AND LISA PALERMO

PROFESSIONAL SEAL:

SIGNATURE _____ DATE _____

SUBMISSION	DATE
CONCEPT PLAN	12.01.09
CONSULTANT COORDINATION	12.14.09
PERMIT ISSUE SET	12.30.09

PROJECT NO: 0921

SCALE: NTS

COVER SHEET

A 001

GENERAL NOTES :

A) SUBSTITUTIONS AND QUALIFICATIONS:

1) ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITHOUT SUBSTITUTION OR ALTERATION. HOWEVER, THE GENERAL CONTRACTOR MAY OFFER PRODUCT OR CONSTRUCTION METHOD SUBSTITUTIONS WHEREVER SUBSTANTIAL SAVINGS MAY BE AVAILABLE TO THE OWNER. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC., (WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND TENANT. IF THE GENERAL CONTRACTOR DOES NOT IDENTIFY AND RECEIVE OWNER APPROVAL FOR SUBSTITUTIONS, THEN THE OWNER RETAINS THE RIGHT TO DEMAND THAT THE PRODUCTS OR CONSTRUCTION METHOD ORIGINALLY SPECIFIED BE INSTALLED WITHOUT ADDITIONAL EXPENSE TO THE TENANT.

2) PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR AND APPROPRIATE SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT FIELD CONDITIONS AND REQUIREMENTS AFFECTING THE WORK. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR THE GENERAL CONTRACTOR'S OR SUBCONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENT.

B) GENERAL REQUIREMENTS:

1) CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANYTIME WITHOUT APPROVED CONTRACT DOCUMENTS.

2) THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PDF ARCHITECTS, WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER, TENANT OR OTHERS FOR ALTERNATE OR FUTURE PROJECTS OR EXTENSIONS TO THE PROJECT, NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AN AGREEMENT IN WRITING FROM POWELL DUDLEY FRITH ARCHITECTS.

3) IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE AN INSTALLATION THAT IS COMPLETE AND ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL, OR CUSTOMARILY INCLUDED EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN.

4) CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL INCLUDING LIGHTING AND PLUMBING TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT IS REQUIRED.

5) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS AND ALIGNMENTS SHALL GOVERN. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS, UNLESS THEY CONTRIBUTE TO A CHANGE IN THE SCOPE OF THE WORK. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION PRIOR TO PROCEEDING WITH THE WORK. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF WALL UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR UNLESS OTHERWISE. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED.

6) CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES. AS REQUIRED BY TENANT.

7) THE GENERAL CONTRACTOR SHALL ALSO PROVIDE A SCHEDULE OF REQUIRED SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT AND TENANT. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT WITH TWO (2) SETS OF PRINTS. THE GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S CUTSHEETS AND/OR SHOP DRAWINGS FOR THE ARCHITECTS REVIEW AND APPROVAL INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SHOP FABRICATED MILLWORK, DOORS, FRAMES, HARDWARE, FABRIC CANOPY AND ASSOCIATED STRUCTURE, CARPET SEAMING DIAGRAMS, STEEL HANDRAILS/GUARDRAILS, MECHANICAL EQUIPMENT AND DUCTWORK LAYOUT, ROOFING MANUFACTURER, SPECIFICATIONS, DETAILS AND WARRANTY, SPRINKLER LAYOUT, ALUMINUM AND GLASS STOREFRONT, LIGHTING FIXTURES AND PLUMBING FIXTURES.

8) CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH TENANT REPRESENTATIVE AND ARCHITECT.

9) THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL RULES AND REGULATIONS OF ALL APPLICABLE SAFETY AND BUILDING CODES AS WELL AS THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE GUIDELINES. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND ALL CONSTRUCTION SHALL BE OF INDUSTRIAL STANDARD QUALITY OR BETTER. THE ARCHITECT SHALL BE THE ULTIMATE JUDGE OF QUALITY AS STATED IN AIA DOCUMENT A201, AND SHALL COORDINATE SUCH WITH THE TENANT.

10) THE GENERAL CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCES OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.

11) THE GENERAL CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OF GOVERNING CODES, ORDINANCES, ETC. REQUIRE INCREASED QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

12) THE GENERAL CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS WITH AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE AND BUDGET.

13) CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SOFT-GOODS (SMALLWARES, ETC.) DURING REGULAR CONSTRUCTION HOURS.

14) GENERAL CONTRACTOR SHALL NOTIFY THE TENANT IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF THE WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.

15) THE GENERAL CONTRACTOR IS RESPONSIBLE FOR, AND SHALL PROVIDE, PROTECTION FOR ANY EXISTING FINISHES TO REMAIN. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.

16) ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS, WHEN POSSIBLE. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE BUILDING CREATED BY WORK PROVIDED UNDER THIS CONTRACT AND LEAVE ALL AREAS CLEAN.

17) THE GENERAL CONTRACTOR SHALL PROVIDE NEW FIRE EXTINGUISHERS, AND ASSOCIATED FRAMING AND DRYWALL FURRING (AS REQUIRED) TO FULLY COMPLY WITH APPLICABLE LOCAL BUILDING CODES. LOCATIONS TO BE COORDINATED IN THE FIELD WITH THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SUBMIT MANUFACTURER PRODUCT DATA FOR APPROVAL. COORDINATE WITH PROJECT MANAGER AND CITY AUTHORITIES.

18) CONTRACTOR SHALL CONTROL NOISE PRODUCING ITEMS (STEREOS) AT ALL TIMES.

19) CONTRACTOR TO INSTALL ALL ARTWORK & DECOR, INCLUDING WALL HUNG PICTURES.

C) MILLWORK NOTES:

1) ALL MILLWORK SHALL BE FABRICATED AND INSTALLED BY A QUALIFIED MILLWORK CONTRACTOR WITH EXPERIENCE IN COMMERCIAL APPLICATIONS, SIMILAR TO THE SCOPE OF THE JOB.

2) CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL MOUNTED SHELVING, TABLES, ETC. NO EXTRA FEES WILL BE ENTERTAINED FOR LACK OF COORDINATION.

3) THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HARDWARE CATALOGUE CUTS OF ALL MILLWORK AND HARDWARE FOR REVIEW BY THE ARCHITECT AND IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL BE AT A LARGE SCALE, SUFFICIENT TO INDICATE TO THE ARCHITECT THE METHOD AND MEANS OF CONSTRUCTION, INCLUDING JOINT LOCATIONS AND DETAILS. FABRICATION OF MILLWORK SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY THE ARCHITECT. SHOP DRAWINGS SHALL BE SUBMITTED WITH TWO (2) SETS OF PRINTS.

4) THE METHOD OF MANUFACTURING, FABRICATING AND INSTALLING MILLWORK, EQUIPMENT, AND IT'S STRUCTURAL COMPONENTS DEFINED IN THE CONTRACT DOCUMENTS IS REPRESENTATIVE AND INDICATE DESIGN INTENT ONLY. IF THE MATERIALS, DETAILS OR DIMENSIONAL PROPERTIES ARE AT VARIANCE WITH THE GENERAL CONTRACTOR'S OR MANUFACTURER'S RECOMMENDATIONS, ALTERNATE DETAILS WILL BE CONSIDERED FOR REVIEW BY THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO GUARANTEE THAT THE MILLWORK AND EQUIPMENT WILL HAVE PROPER SUPPORT, STABILITY AND FAULT-FREE PERFORMANCE. ALL WORK SHALL CONFORM TO AMERICAN WOODWORKING INSTITUTE (AWI) STANDARDS FOR PREMIUM CONSTRUCTION. ANY SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT REVIEW AND APPROVAL.

5) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND TO VERIFY DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT.

6) ONLY EXPOSED HARDWARE IS SPECIFIED IN THIS DOCUMENT. THE GENERAL CONTRACTOR SHALL SUPPLY ALL OTHER NECESSARY HARDWARE TO COMPLETE THE WORK. ALL UNSPECIFIED HARDWARE SHALL BE OF THE HIGHEST QUALITY AND DURABILITY. THE GENERAL CONTRACTOR SHALL PROVIDE CATALOGUE CUTS OF ALL HARDWARE FOR REVIEW BY THE ARCHITECT.

7) WOOD CABINETS, COUNTERTOPS, TRIM AND RAILS ARE TO COMPLY WITH CURRENT AWI "WOOD CABINET" DIVISIONS AND SECTIONS AND ALL OTHER APPLICABLE AMERICAN WOODWORKING INSTITUTE STANDARD (AWI). ALL LUMBER, PLYWOOD, BLOCKING, ETC. SHALL BE FIRE RETARDANT WHERE REQUIRED BY LOCAL BUILDING CODES, AS INTERPRETED BY THE LOCAL CODE OFFICIAL.

8) INSTALL MILLWORK TO PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. PROVIDE ALL REQUIRED BLOCKING AT NEW OR EXISTING CONSTRUCTION FOR INSTALLATION OF MILLWORK. SCRIBE AND CUT MILLWORK TO FIT TIGHTLY ADJOINING WORK, PROVIDE SEALANT AT GAPS. ALL EXPOSED ANCHORS, NAIL HEADS, SCREW HEADS, CHIPS, INDENTATIONS OR IMPERFECTIONS IN WOOD SURFACES TO BE PAINTED SHALL BE FILLED, SANDED, SEALED AND PREPARED FOR PAINTING.

D) DOOR AND MILLWORK NOTES:

1) PROVIDE ALL HARDWARE, DOOR PULLS, HINGES, CLOSERS, ELECTROMAGNETIC DEVICES, WEATHER-STRIPPING ETC. REQUIRED TO PROVIDE A FULL AND COMPLETE INSTALLATION.

2) CONTRACTOR SHALL PROVIDE A HARDWARE SCHEDULE AND CATALOGUE CUTS FOR ALL FINISH HARDWARE FOR APPROVAL BY THE ARCHITECT.

3) ALL KNOBS, PULLS AND LOCKS ARE TO BE PROVIDED BY A SINGLE MANUFACTURER IN MATCHING FINISHES. ALL HINGES AND OTHER MISCELLANEOUS EXPOSED HARDWARE TO BE IN SIMILAR AND COMPLETE FINISHES. TYPICAL FINISH SHALL BE POLISHED CHROME DOOR HARDWARE.

4) PROVIDE THREE (3) HINGES PER DOOR TYPICALLY, UNLESS THE WEIGHT OR SIZE OF THE DOOR REQUIRES ADDITIONAL HINGES.

5) PROVIDE SILENCERS AT ALL METAL FRAME DOORS. PROVIDE WALL OR FLOOR MOUNTED DOOR STOPS AT ALL DOORS. (INSURE ADEQUATE BLOCKING FOR WALL MOUNTED STOPS.) SUBMIT TO ARCHITECT FOR APPROVAL. PROVIDE NON-REMOVABLE HINGES AT REAR DOORS.

E) PARTITIONS:

1) ALL DRYWALL WORK SHALL BE DONE BY A QUALIFIED INSTALLER WITH EXPERIENCE IN COMMERCIAL APPLICATIONS SIMILAR IN SCOPE TO THIS JOB. ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE OF GYPSUM WALL BOARD TO FINISHED FACE, UNLESS OTHERWISE NOTED.

2) AT ALL NON-RATED PARTITIONS AND CEILINGS, GYPSUM WALL BOARD SHALL BE 5/8" THICK, ASTM C-36. ALL PARTITIONS, CORNER TRIM, EDGE TRIM AND JOINTS TO EXISTING DRYWALL SURFACES SHALL BE TAPED BEDDED IN JOINT COMPOUND AND SANDED SMOOTH WITH NO VISIBLE JOINTS. GALVANIZED METAL BEAD SHALL BE USED AT ALL EXPOSED CORNERS, EDGES AND REVEALS.

3) PROVIDE ACOUSTICAL BATT INSULATION AND ACOUSTICAL SEALANT AT ALL ACOUSTICAL PARTITIONS. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS AND SET METAL RUNNERS IN A BEAD OF SEALANT.

4) ALL PARTITIONS AND DOOR JAMBS SHALL BE BRACED TO THE UNDERSIDE OF THE STRUCTURE ABOVE. ALL WOOD BLOCKING TO BE FIRE-RESISTANT TREATED WHERE REQUIRED.

5) ALL WALL LOCATIONS TO BE FULLY CHALKED-OUT ON THE SLAB (INCLUDING DOOR LOCATIONS) AND APPROVED BY THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH WALL CONSTRUCTION.

6) ALL WALL, FLOOR, CEILING PENETRATIONS TO BE PACKED WITH ROCK WOOL AND COVERED WITH STEEL PLATES.

F) CEILINGS:

1) INSTALL SUSPENSION SYSTEMS TO COMPLY WITH ASTM C636, WITH HANGERS SUPPORTED ONLY FROM BUILDING STRUCTURAL MEMBERS. LOCATE HANGERS NOT LESS THAN 6" FROM EACH END AND SPACED 4'-0" ALONG EACH CARRYING MEMBER, UNLESS OTHERWISE INDICATED, LEVELING TO TOLERANCE OF 1/8" IN 12'-0" NON-ACCUMULATIVE.

G) FLOOR FINISH:

1) EXISTING INTERIOR CONCRETE FLOOR SURFACES TO REMAIN SHALL BE THOROUGHLY CLEANED, REPAIRED, AND SEALED AS PER FLOOR COVERING MANUFACTURER REQUIREMENTS.

2) VINYL BASE SHALL BE 4" HIGH, 1/8" THICK, COVE BASE EXCEPT WHERE INDICATED OTHERWISE. USE ROLL GOODS ONLY FOR VINYL BASE. COLOR TO BE SELECTED BY ARCHITECT. ALL SEAMS TO OCCUR AT INSIDE CORNERS.

3) SAMPLE OF CONCRETE FINISH SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL.

H) PAINT AND WALL FINISH:

1) ALL SURFACES TO BE PAINTED ARE TO BE PREPARED FOR PRIMING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

2) ALL PREVIOUSLY UNPAINTED SURFACES SHALL RECEIVE ONE (1) PRIME AND TWO (2) FINISH COATS. ALL PREVIOUSLY PAINTED SURFACES SHALL RECEIVE A MINIMUM OF TWO (2) COATS OR NUMBER OF COATS AS REQUIRED TO COMPLETELY COVER PREVIOUSLY PAINTED SURFACE.

I) ENGINEERING:

1) SPRINKLER HEADS SHALL BE RECESSED IN CEILING GRID. ALL SPRINKLER HEADS SHALL BE LOCATED IN CENTER OF CEILING TILES WHERE APPLICABLE.

2) THE GENERAL CONTRACTOR SHALL SUBMIT A REFLECTED CEILING PLAN WITH ALL SPRINKLER HEAD LOCATIONS FOR REVIEW AND APPROVAL BY ARCHITECT AND BUILDING OWNER PRIOR TO SUBMITTAL FOR PERMIT. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY ADDITIONAL SPRINKLER HEADS AS REQUIRED BY THE FIRE MARSHALL. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING THE LOCATION OF ANY ADDITIONAL SPRINKLER HEADS.

3) ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ETC.), MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.

4) ALL ELECTRICAL RECEPTACLES SHALL BE 1'-6" AFF UNLESS NOTED OTHERWISE. RECEPTACLES AND TELEPHONE OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. ALL 0 OUTLETS SHOWN GROUPED TOGETHER SHALL NOT BE MORE THAN 6" APART AND SHALL BE SPACED EQUALLY. ALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. SHOULD A CONFLICT OCCUR BETWEEN THE ARCHITECTURAL DRAWINGS AND ANY REQUIREMENTS FOR PROPER FUNCTIONING, IT IS THE RESPONSIBILITY OF THE GENERAL TO CONTRACTOR TO BRING THE CONFLICT TO THE ATTENTION OF THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK. OUTLETS WITHIN 6'-0" OF WET AREAS ARE TO BE GROUND FAULT INTERRUPTION CIRCUIT TYPE (GFI).

5) WHERE MULTIPLE WALL SWITCHES OCCUR, SWITCHES ARE TO BE GANGED AND COVERED WITH A SINGLE, CONTINUOUS COVER PLATE. COVER PLATES SHALL NOT BE CUT AND BUTTED TOGETHER.

6) THE HVAC SYSTEM SHALL BE INSTALLED NEW, OR MODIFIED, AS REQUIRED TO MEET THE TENANT'S REQUIREMENTS BASED ON EQUIPMENT LOADS, FUNCTION AND TYPE OF SPACE.

7) ALL COVER PLATE MATERIAL/FINISH TO BE WHITE UNLESS OTHERWISE NOTED.
8) ALL COVER PLATES AT WADSWORTH CUTTING STATIONS TO BE STAINLESS STEEL

J) DEMOLITION:

1) IF UPON COMMENCEMENT OF DEMOLITION WORK HAZARDOUS MATERIALS ARE ENCOUNTERED, REPORT SUCH DISCOVERY TO THE OWNER'S AGENT FOR DIRECTION.

2) EXTENT OF SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS. DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF THE FOLLOWING:

REMOVAL OF INTERIOR PARTITIONS AS INDICATED ON DRAWINGS. REMOVAL OF DOORS AND FRAMES AS INDICATED ON DRAWINGS. RELOCATION OF PIPES, CONDUITS, DUCTS, OTHER MECHANICAL AND ELECTRICAL WORK AS SPECIFIED BY RESPECTIVE TRADES.

3) OWNER TENANT AND ARCHITECT ASSUME NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.

4) ITEMS INDICATED TO BE REMOVED BUT OF SALVAGEABLE VALUE TO CONTRACTOR, TENANT OR OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. CONTRACTOR TO VERIFY WITH THE ARCHITECT THE REUSE OR SALVAGE VALUE OF DEMOLISHED MATERIAL. SORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVE.

5) STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.

6) PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.

7) PROVIDE PROTECTIVE MEASURES AS REQUIRED TO ASSURE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO AND FROM OCCUPIED PORTIONS OF BUILDING.

8) PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY. CONSTRUCT TEMPORARY DUSTPROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. EQUIP PARTITIONS WITH DUSTPROOF DOORS AND SECURITY LOCKS IF REQUIRED.

9) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER OR TENANT.

10) IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO ARCHITECT OR AS DIRECTED BY ARCHITECT. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.

11) REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.

12) UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY DEMOLITION WORK.

K) AUDIO/VISUAL GENERAL REQUIREMENTS:

1) PROVIDE CAT 6 CABLE FOR VIDEO SYSTEM
A) 2 CABLES PER DISPLAY DEWSE (SAME FOR HD CAMERA, IF NEEDED)
B) TERMINATE CABLES ON BOTH ENDS

i) DISPLAY END - WALL PLATE
ii) SERVER END - FLOOR LEVEL WITH 20 EXTRA FEET (R145)

2) OUTLET AT EACH DISPLAY

A) DOUBLE GANG - QUAD RECEPTACLE
B) 7" CLEAR BETWEEN QUAD RECEPTACLE AND DATA OUTLET FOR T.V. BRACKET

3) AV RACK REQUIREMENTS

A) 4'x4' FLOOR SPACES
B) 220 VOLT - 60AMP CIRCUIT AT AV RACK
i) THROUGH FLEXED CONDUIT INTO OUR RACK
ii) WILL BE WIRED DIRECTLY INTO OUR EQUIPMENT

4) CONDUIT FOR EACH WALL MOUNTED SPEAKER LOCATION (TBD)

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GENERAL NOTES

A 002

PERMIT ISSUE SET: 12.30.09

PROTOTYPE MEP GUIDELINES:

A) MECHANICAL:

- 1) HVAC UNITS: A CENTRAL CONSTANT VOLUME AIR CONDITIONING SYSTEM SIZED AT APPROXIMATELY 190 FT PER TON SHALL BE PROVIDED FOR THE SALON AREA OF THE FACILITY. A CENTRAL VARIABLE AIR VOLUME (VAV) AIR CONDITIONING SYSTEM SIZED AT APPROXIMATELY 240 FT PER TON SHALL BE PROVIDED FOR THE CLASSROOM AREA OF THE FACILITY. THE APPROXIMATE VALUES SHALL BE ADJUSTED AS REQUIRED WITH SUPPLY AND RETURN AIR DUCT MOUNTED SMOKE DETECTORS, INTER
- 2) CLASSROOM SYSTEM SHALL UTILIZE LAY-IN TYPE 24" X 24" CEILING SUPPLY DIFFUSERS, AND THE SALON SYSTEM SHALL UTILIZE REGISTERS EXTERNALLY MOUNTED ON EXPOSED SPIRAL ROUND DUCTWORK, TYPICAL.
- 3) VAV TERMINAL UNITS: VAV TERMINAL UNITS WITH ELECTRIC HEATING COILS SHALL BE EQUIPPED WITH INTEGRAL DISCONNECT AND FLOW SAFETY SWITCHES. ELECTRIC HEATING COILS SHALL HAVE A MINIMUM OF TWO STAGES OF OPERATION. VAV TERMINAL CONTROLS SHALL BE DDC TYPE WITH ALL NECESSARY RELAYS AND 120 TO 12V CONTROL TRANSFORMERS.
 - a) FAN POWERED VAV TERMINALS: FAN POWERED VAV TERMINALS SHALL BE CONSIDERED FOR PERIMETER AND INTERIOR HEATING WITH INDEPENDENT CONTROL LOGIC AS REQUIRED BY SPECIFIC SITE CONDITIONS.
- 4) OUTDOOR AIR VENTILATION: IT IS RECOMMENDED THAT A DEMAND CONTROLLED VENTILATION UTILIZING CO2 SENSORS BE PROVIDED FOR THE CLASSROOM SYSTEM. IN GENERAL, VENTILATION SHALL BE PROVIDED AT 15 CFM PER PERSON, ASSUMING 50 STUDENTS PER 1,000 FT OR CLASSROOM AREA. THE SALON AREA SHALL BE VENTILATED AT A RATE OF 25 CFM PER PERSON, ASSUMING 25 OCCUPANTS PER 1,000 FT OF SALON AREA.
- 5) CONTROL SYSTEMS: A LOCAL DIRECT DIGITAL CONTROL (DDC) SYSTEM SHALL BE PROVIDED FOR THE CLASSROOM AIR CONDITIONING SYSTEM TO INCORPORATE AND COORDINATE ALL AIR SYSTEM FUNCTIONS AND VAV TERMINAL FUNCTIONS AT A LOCAL PANEL IN A UTILITY OR MECHANICAL ROOM. THE PANEL SHALL HAVE A DIGITAL TOUCHPAD TYPE USER INTERFACE FOR VIEWING ALARMS AND SETTING SPACE SHALL SET-POINTS AND OCCUPANT SCHEDULES. THE CONSTANT VOLUME SALON AIR SYSTEM SHALL OPERATE IN CONJUNCTION WITH A SPACE MOUNTED 7 DAY PROGRAMMABLE THERMOSTAT.
- 6) EXHAUST SYSTEMS: AN EXHAUST SYSTEM SHALL BE PROVIDED FOR THE SCHOOLS RESTROOMS, STUDENT LOUNGE/PANTRY AREA, DISPENSARY AREA, AND ELECTRICAL ROOM SIZED TO EXHAUST APPROXIMATELY 1,500 CFM. A SEPARATE OVER-TEMPERATURE EXHAUST SYSTEM SHALL BE PROVIDED FOR THE LAND/NETWORK ROOM AND INTERLOCKED TO A SPACE THERMOSTAT TO EXHAUST HEAT INTO THE CEILING PLENUM DURING OFF HOURS.
- 7) SMOKE CONTROL SYSTEMS: PROVIDE SMOKE CONTROL / EVACUATION SYSTEMS AS PER THE APPLICABLE CODES AND LOCAL AUTHORITY HAVING JURISDICTION. COORDINATE WITH FIRE ALARM SYSTEMS AS NECESSARY.
- 8) CLOTHES DRYER VENTING: THE LAUNDRY ROOM SHALL BE LOCATED WITHIN 30-50 FEET OF AN EXTERIOR DISCHARGE POINT AS REQUIRED TO COMPLY WITH MAXIMUM VENT LENGTH RUNS ESTABLISHED BY THE DRYER MANUFACTURER. NO DRYER BOOSTER FANS SHALL BE PERMITTED.
- 9) A/V RACK: PROVIDE ANY NECESSARY EQUIPMENT TO PROVIDE AIR-CONDITIONING TO KEEP THE AMBIENT ROOM TEMPERATURE BELOW 80 DEG. F. AT THE MAIN A/V RACK LOCATION. COORDINATE PLACEMENT WITH A/V CONSULTANT.

B) ELECTRICAL:

- 1) ELECTRICAL SERVICE: AN ELECTRICAL SERVICE WITH A MAIN CIRCUIT BREAKER PANEL, 120/208 OR 227/480V, 3 PHASE, 4 WIRE, SOLID NEUTRAL AND GROUND BUS CAPABLE OF DELIVERING 27 WATTS/FT IS RECOMMENDED. THIS WILL ALLOW 25% SPARE CAPACITY FOR ANY FUTURE EXPANSION. THE PREFERRED VOLTAGE IS 277/480V (BASED ON LOCAL AVAILABILITY) WITH TRANSFORMERS AND BRANCH PANELS AS REQUIRED FOR SEPARATION OF LIGHTING, RECEPTACLE AND HVAC LOADS. THE TOTAL LOADS FOR THE REFERENCE SPACE WERE 50.3KVA (3.1 WATTS/FT) FOR LIGHTING, 83.9KVA (5.2 WATTS/FT) FOR RECEPTACLES AND MISCELLANEOUS EQUIPMENT. 53.4KVA (3.3 WATTS/FT) WORKSTATION DRYERS AND TOOLS, WORKSTATION DRYERS AND TOOLS, THESE VALUES ARE BASED ON GAS FIRED HEATING BEING PROVIDED AT THE MAIN HVAC UNITS.
- 2) WORKSTATIONS: EACH WORKSTATION UNIT IN THE SALON AREA WILL REQUIRE (4) 20A, 120V DEDICATED CIRCUITS WITH FLUSH, RECESSED FLOOR MOUNTED QUAD RECEPTACLE. THE APPROXIMATE ELECTRICAL LOAD WILL BE 1KW PER SEAT, WITH A DIVERSITY FACTOR BASED ON THE NUMBER OF STUDENTS SIMULTANEOUSLY USING ELECTRIC BLOW DRYER, CURLING IRONS, OR OTHER STYLING TOOLS.
- 3) BRANCH PANEL: EACH CORE CLASSROOM / MANNEQUIN CLASSROOM SHALL BE EQUIPPED WITH A DEDICATED BRANCH PANEL IN THE ROOM SERVING DEDICATED RECEPTACLES AT EACH WORKSTATION FOR STYLING TOOLS. PROVIDE DUPLEX RECEPTACLE WITH (1) 20A, 120V DEDICATED CIRCUIT. THE LOAD ON EACH PANEL WILL BE APPROXIMATELY 18KVA.
- 4) LIGHTING: LIGHTING INSIDE THE SALON SPACE WILL BE TWELVE FOOT LONG, LINE VOLTAGE TRACK LIGHTING AND 175W METAL HALIDE HI BAY LIGHT FIXTURES, TYPICAL. AVERAGE DESIGN LIGHTING LEVELS FOR THIS LAYOUT ARE APPROXIMATELY 90 FOOT CANDLES. LIGHTING CONTRACTORS INSIDE THE ELECTRICAL CLOSET SHALL BE PROVIDED FOR LIGHTING CONTROL. LIGHTING INSIDE CLASSROOMS AND OFFICES SHALL BE 2'X2' RECESSED INDIRECT FIXTURES WITH MOTION SENSOR SWITCHES, UNLESS OTHERWISE NOTED. STOREFRONT SIGN LIGHTING SHALL BE CONTROLLED VIA A TIME-CLOCK FROM A DEDICATED 20A 120V CIRCUIT. NIGHT LIGHTS, EMERGENCY EGRESS LIGHTING AND EXIT SIGNS SHALL BE BATTERY BACKUP AND FED FROM A DEDICATED EMERGENCY LIGHTING CIRCUIT.
- 5) FIRE ALARM SYSTEM: THE ENTIRE SPACE SHALL BE PROTECTED BY A DEDICATED FIRE ALARM SYSTEM WITH DIGITAL ALARM COMMUNICATIONS TRANSMITTER (DACT) AND A REMOTE ANNUNCIATOR PANEL AT THE STORE FRONT. ALL INITIATING AND NOTIFICATION DEVICES SHALL BE INSTALLED PER NFPA AND LOCAL CODE REQUIREMENTS. ANY REMOTE TROUBLE AND SUPERVISORY SIGNALS SHALL BE COORDINATED WITH THE BUILDING LANDLORD.
- 6) A/V RACK: A DEDICATED 60A, 220V CIRCUIT IS REQUIRED AT THE MAIN RACK LOCATION PROVIDED VIA FLEX CONDUIT DIRECTLY INTO THE RACK. THIS WILL BE CONNECTED TO THE RACK EQUIPMENT BY THE ELECTRICIAN AT TIME OF A/V INSTALL. COORDINATE PLACEMENT WITH A/V CONSULTANT.
- 7) T.V. LOCATIONS: PROVIDE A DOUBLE-GANG, QUAD RECEPTACLE OUTLET AT EACH T.V. LOCATION. COORDINATE PLACEMENT WITH A/V CONSULTANT.
- 8) PROJECTOR LOCATION: PROVIDE A SINGLE-GANG, DOUBLE-RECEPTACLE VIA FLEX CONDUIT WITH A 10' WHIP ABOVE CEILING APPROXIMATELY 15' FROM GLASS WALL. COORDINATE PLACEMENT WITH A/V CONSULTANT.

C) PLUMBING:

- 1) DOMESTIC WATER: A MAIN WATER SERVICE SIZED AT APPROXIMATELY 2" SHALL BE PROVIDED, WITH BRANCH PIPING TO ALL SALON, LAUNDRY AND RESTROOM PLUMBING FIXTURES AS NECESSARY. PROVIDE ALL NECESSARY METERS AND BACKFLOW PREVENTION ASSEMBLIES TO SATISFY LOCAL CODES.
- 2) SANITARY AND VENT: A SANITARY MAIN OF APPROXIMATELY 4" DIAMETER AND A MAIN SYSTEM VENT PIP OF APPROXIMATELY 3" DIAMETER SHOULD BE PROVIDED. THESE SIZES MAY BE REDUCED IF THE SITE HAS MULTIPLE SANITARY AND/OR VENT CONNECTIONS AVAILABLE. COORDINATE WITH EXISTING UNDER-SLAB CONDITIONS AND REUSE AND CONNECT TO EXISTING UTILITIES AS APPLICABLE.
- 3) WATER HEATERS: A QUANTITY OF (2) 100 GALLONS DOMESTIC WATER HEATERS SHOULD BE PROVIDED WITH A TOTAL SYSTEM STORAGE CAPACITY OF 200 GALLONS, AND A TOTAL RECOVERY OF 210 GALLONS PER HOUR AT 100F TEMPERATURE RISE. WATER HEATERS SHALL BE GAS OR ELECTRIC TYPE DEPENDING ON SITE CONDITIONS AND UTILITY AVAILABILITY. IN GENERAL, A HOT WATER CIRCULATION SYSTEM SHOULD BE PROVIDED AS REQUIRED BY THE MAXIMUM LENGTH OF HOT WATER PIPING THIS SYSTEM SHOULD BE COMPLETE WITH INLINE PUMP AND THERMOSTATIC MIXING VALVE.

- 4) GAS PIPING: IF GAS IS AVAILABLE, PROVIDE GAS PIPING TO THE HVAC SYSTEMS AND WATER HEATERS AS REQUIRED. WATER HEATER TOTAL REQUIREMENTS WILL BE APPROXIMATELY 300 MBH AND THE HVAC LOAD WILL BE SIZED AT APPROXIMATELY 1,200 MBH DEPENDING ON THE SPECIFIC SITE'S HEATING LOAD. MAIN GAS SUPPLY PIPING SIZE WILL DEPEND ON EXISTING PRESSURE AND MAXIMUM LENGTH RUN. PRESSURE REGULATORS SHALL BE PROVIDED AT THE VARIOUS APPLIANCES AS REQUIRED FOR COMPLIANCE WITH THE MANUFACTURER'S MAXIMUM INLET CONDITIONS.

D) FIRE PROTECTION:

- 1) SPRINKLER SYSTEM: WHERE LOCAL CODE REQUIRES, A STANDARD WET TYPE SPRINKLER SYSTEM SHALL BE PROVIDED FOR THE ENTIRE FACILITY WITH COVERAGE COMPLIANCE TO SATISFY NFPA 13 AND ALL APPLICABLE CODES. AS THE SALON AREA WILL GENERALLY BE DESIGNED WITHOUT A CEILING, SPRINKLER HEADS IN THE SALON AREA SHOULD BE UPRIGHT EXPOSED TYPE WHILE THE CLASSROOM AREA CONCEALED TYPE FOR A LAY-IN CEILING GRID APPLICATION. FLOW AND TAMPER SWITCH NOTIFICATION SHALL BE TIED INTO THE FIRE ALARM SYSTEM AS NECESSARY.

AUDIO & VIDEO SPECIFICATIONS:

Audio / Video will be responsible for the following:

- 1. Provide, install, test and align equipment and related cables, and mounting hardware, to enable system to function as described.
- 2. Define responsibilities of other trades to prepare site for installation of system components.
- 3. Communicate with project manager, architect, facilities director, and/or designer to facilitate room preparation prior to installation of system.
- 4. Provide manufacturers' specifications for items that require custom millwork, cutouts, or wall and ceiling openings prior to installation.
- 5. Clean work site of packaging and installation related debris resulting
- 6. Provide operator orientation and training for system operation to client representative.
- 7. Provide owners instruction manuals for installed equipment.

School Owner will be responsible for the following:

- 1. Prepare site for installation with electrical service, appropriate conduit runs, and related hardware.
- 2. Provide all associated millwork, ceiling modification, mount location blocking, and electric service required for monitors, motorized screen, projectors, and other electronic devices.
- 3. Design classroom cabinetry to ensure 19" equipment mounting rails and adequate depth.
- 4. Maintain the installation and equipment and materials storage areas with appropriate security.
- 5. Provide finishing work and materials associated with ceiling, wall and floor installations.
- 6. Provide written documentation for all change orders related to the system being installed.

LOW VOLTAGE CABLING AND CONDUIT SPECIFICATIONS:

A/V EQUIPMENT RACK:
 PROVIDE TWO (2) DOUBLE-GANG BOXES (DEEP VARIANT) AT STANDARD RECEPTACLE HEIGHT, LOCATED BEHIND A/V RACK, WITH 2" CONDUIT FEEDING TO ABOVE CEILING FOR SPEAKER WIRE TO BE INSTALLED BY A/V CONSULTANT. PROVIDE ALL NECESSARY CONDUIT AND BOXES FOR CAT-6E DISPLAY CABLE RUNS, WHICH WILL EXIT THE WALL AT STANDARD RECEPTACLE HEIGHT, LEAVING A 10'-0" SERVICE LOOP MEASURED FROM WALL TO CABLE END. EACH CABLE WILL BE TERMINATED WITH A RJ-45 CONNECTOR UTILIZING THE 568B WIRING STANDARD. ALL CABLE RUNS WILL BE HOME-RUN, NO SPLICING. INSTALLER IS RESPONSIBLE FOR TESTING AND VERIFICATION OF ALL CABLE RUNS.

T.V. LOCATIONS:
 PROVIDE TWO (2) CAT-6E CABLE RUNS FOR EACH T.V. LOCATION TO THE MAIN RACK. THE T.V. LOCATION WILL BE TERMINATED INTO JACKS IN A SINGLE-GANG WALL-PLATE UTILIZING 568B WIRING STANDARDS. ALSO SEE A/V EQUIPMENT RACK FOR TERMINATION REQUIREMENTS. ALL CABLE RUNS WILL BE HOME-RUNS, NO SPLICING.

PROJECTOR LOCATIONS:
 PROVIDE TWO (2) CAT-6E CABLE RUNS FROM PROJECTOR LOCATION TO MAIN A/V RACK. THE PROJECTOR LOCATION WILL BE TERMINATED WITH RJ-45 CONNECTORS UTILIZING 568B WIRING STANDARDS, LEAVING A 20' SERVICE LOOP ABOVE CEILING. ALSO SEE A/V EQUIPMENT RACK FOR TERMINATION REQUIREMENTS. ALL CABLE RUNS WILL BE HOME-RUN, NO SPLICING.

CORE CLASSROOMS:
 PROVIDE ONE (1) SINGLE-GANG, DOUBLE-DEPTH BOX FOR A/V INPUT WALL-PLATE AT STANDARD RECEPTACLE HEIGHT. PROVIDE ONE (1) SINGLE-GANG, DOUBLE-DEPTH BOX LOCATED BEHIND TV. CONNECT BOTH BOXES WITH 1.5" CONDUIT. COORDINATE PLACEMENT WITH A/V CONSULTANT.

GENERAL CLASSROOM:
 PROVIDE THREE-GANG, DOUBLE-DEPTH BOX FOR A/V INPUT WALL-PLATE AT STANDARD RECEPTACLE HEIGHT WITH DOUBLE 1.5" CONDUIT FEEDING TO ABOVE CEILING. PROVIDE ONE (1) SINGLE-GANG, DOUBLE-DEPTH BOX AT EACH T.V. LOCATION WITH 1.5" CONDUIT FEEDING TO ABOVE-CEILING. PROVIDE ONE (1) SINGLE-GANG BOX FOR SOURCE/VOLUMN CONTROL, SWITCH HEIGHT, 3/4" MINIMUM CONDUIT WITH STUB ABOVE CEILING TILE GRID, LOCATION NEAR ROOM REAR. COORDINATE PLACEMENT WITH A/V CONSULTANT.

WALL-MOUNTED SPEAKERS:
 PROVIDE ONE (1) SINGLE-GANG BOX FOR EACH SPEAKER TO MOUNT ON WITH 3/4" MINIMUM CONDUIT FEEDING TO APPROPRIATE CEILING-HEIGHT LOCATION. SPEAKERS WILL BE MOUNTED AT AN APPROXIMATE HEIGHT OF THIRTEEN FEET FROM FINISHED FLOOR LEVEL (13'-0" AFF). COORDINATE PLACEMENT WITH A/V CONSULTANT.

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**MEP GUIDELINES
 AV GUIDELINES**

A 003

PERMIT ISSUE SET: 12.30.09

GENERAL CODE ANALYSIS:

- A. APPLICABLE CODES**
- BUILDING: IBC 2006
 - ELECTRICAL: NEC 2005
 - MECHANICAL: IMC 2006
 - PLUMBING: LSPC 2000
 - FIRE/LIFE SAFETY: NFPA 101, 2006
 - ACCESSIBILITY: ADAAG
 - STRUCTURAL: IBC 2006
- B. FEDERAL ACCESSIBILITY CODES STANDARDS**
- ADAAG
- C. BUILDING USE/CONSTRUCTION CLASSIFICATION (IBC 302):**
- USE GROUP(S) (IBC 303,304):
 - B/A-3
 - CONSTRUCTION TYPE (IBC 602):
 - 2-B
 - HEIGHT AND AREA LIMITATIONS (IBC 503)
 EXISTING BUILDING MEETS ALL HEIGHT AND AREA LIMITATIONS
 ALLOWABLE HEIGHT:
 B = 4 STORIES A-3 = 2 STORIES
 ALLOWABLE AREA:
 B = 23,000FT² A-3 = 9,500FT²
 EXISTING HEIGHT:
 3 STORY
 PROPOSED TENANT AREA:
 FIRST FLOOR: B = 2,288 FT²
 SECOND FLOOR: B = 10,255 FT² A-3 = 1,895 FT²
 THIRD FLOOR: B = 12,150 FT²
 TOTAL SQ. FT.: B = 24,693 FT² A = 1,895 FT²
- D. PROTECTED VERTICAL OPENINGS (IBC 707.4)**
- 1-HR SEPARATION REQUIRED IF CONNECTING LESS THAN FOUR STORIES
 - SUPPORTING CONSTRUCTION FOR RATED SHAFTS AND STAIRS IS REQUIRED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY (IBC 706)
- E. UNPROTECTED VERTICAL OPENINGS ARE PERMITTED PROVIDED THAT THEY (IBC 707.2.7):**
- CONNECTING NOT MORE THAN TWO ADJACENT STORIES
 - ARE SEPARATED FROM OTHER OPENINGS BY 1 HOUR BARRIER
 - ARE SEPARATED FROM CORRIDORS
 - DO NOT SERVE AS A REQUIRED MEANS OF EGRESS
- F. FIRE PROTECTION SYSTEMS (IBC 901):**
- AUTOMATIC FIRE SUPPRESSION SYSTEM
 - MANUAL/PORTABLE FIRE EXTINGUISHERS ARE REQUIRED AT SPECIAL HAZARD LOCATIONS, WITHIN 75 FEET TRAVEL DISTANCE AND AS DIRECTED BY THE OFFICE OF THE STATE FIRE MARSHAL (IBC 906.1; INTERNATIONAL FIRE CODE)
 - MANUAL FIRE ALARM BOXES SHALL BE LOCATED AT EACH ENTRANCE TO AN EXIT (IBC 907.2)
- G. FIRE RESISTANCE RATINGS (IBC 601, 602):**
- | CONSTRUCTION TYPE 2-B | | 0 HRS. |
|----------------------------------|----------|--------|
| 1. EXTERIOR WALLS (LOAD BEARING) | | 0 HRS. |
| 2. INTERIOR WALLS (LOAD BEARING) | | 0 HRS. |
| 3. COLUMNS | | 0 HRS. |
| 4. BEAMS, GIRDERS, TRUSSES | | 0 HRS. |
| 5. FLOORS | | 0 HRS. |
| 6. ROOF | | 0 HRS. |
| 7. CORRIDORS | | 0 HRS. |
| 8. STORAGE ROOMS | >100 SF. | 0 HRS. |
| 9. ELECTRIC ROOMS | | 0 HRS. |
| 10. FIRE SEPARATION | <30 SF. | 1 HRS. |
- H. MAXIMUM TRAVEL DISTANCE WITHOUT AUTOMATIC SPRINKLER:**
- | | |
|-------------|-----------------------|
| 1. BUSINESS | 200 FEET (IBC 1016.1) |
| 2. ASSEMBLY | 200 FEET (IBC 1016.1) |
- J. MAXIMUM DEAD-END CORRIDOR WITH AUTOMATIC SPRINKLER:**
- | | |
|-------------|----------------------------------|
| 1. ASSEMBLY | 20 FEET (IBC 1017.3) |
| 2. BUSINESS | 50 FEET (IBC 1017.3 EXCEPTION 2) |
- K. MAXIMUM COMMON PATH OF TRAVEL WITH AUTOMATIC SPRINKLER (IBC 1014.3):**
- | | |
|-------------|----------------------|
| 1. ASSEMBLY | 75 FEET EXIT ACCESS |
| 2. BUSINESS | 100 FEET EXIT ACCESS |
- L. EXIT AND EXIT ACCESS WIDTHS FOR SPRINKLERED BUILDING:**
- | EGRESS COMPONENTS (IBC TABLE 1005.1): | |
|---------------------------------------|-------------------------|
| i. STAIRS | .2 INCHES PER OCCUPANT |
| ii. OTHER EGRESS COMPONENTS | .15 INCHES PER OCCUPANT |
- M. SPECIAL LOCKING ARRANGEMENTS**
- DELAYED EGRESS LOCKS ARE NOT PERMITTED (IBC 1008.1.8.6)
- N. ELEVATORS**
- EXISTING ELEVATOR SHALL COMPLY WITH BUILDING CODE

2. EGRESS REQUIREMENTS:

FLOOR	ROOM	AREA	OCCUPANT LOAD FACTOR	OCCUPANTS	
FIRST FLOOR:	DISTRIBUTION STORE	1018 SQ. FT.	/100	= 10 OCCUPANTS	
	SECOND FLOOR:				
	OPEN CLINIC AREA	4875 SQ. FT.	/100	= 49 OCCUPANTS	
	SALES OFFICE	115 SQ. FT.	/100	= 01 OCCUPANTS	
	DISPENSE	92 SQ. FT.	/100	= 01 OCCUPANTS	
	LAUNDRY ROOM	87 SQ. FT.	/100	= 01 OCCUPANTS	
	WASH HOUSE	383 SQ. FT.	/100	= 04 OCCUPANTS	
	GEN. CLASSROOM	1895 SQ. FT.	/15	=126 OCCUPANTS	
	A/V BOOTH	255 SQ. FT.	/100	= 03 OCCUPANTS	
	NAIL CLINIC	490 SQ. FT.	/100	= 05 OCCUPANTS	
THIRD FLOOR:	ADMISSIONS	297 SQ. FT.	/100	= 03 OCCUPANTS	
	FP BREAK ROOM	622 SQ. FT.	/100	= 06 OCCUPANTS	
	LL ADVISOR	154 SQ. FT.	/100	= 02 OCCUPANTS	
	EDUCATION LEADER	181 SQ. FT.	/100	= 02 OCCUPANTS	
	LL OFFICE	1858 SQ. FT.	/100	= 19 OCCUPANTS	
	CONFERENCE ROOM	507 SQ. FT.	/100	= 05 OCCUPANTS	
	FP LIBRARY	247 SQ. FT.	/100	= 02 OCCUPANTS	
	CORE CLASSROOM	502 SQ. FT.	/20	= 25 OCCUPANTS	
	DIRECTOR	329 SQ. FT.	/100	= 03 OCCUPANTS	
	OWNER OFFICE	244 SQ. FT.	/100	= 02 OCCUPANTS	
OPERATIONS	770 SQ. FT.	/100	= 08 OCCUPANTS		
FINANCIAL AID	223 SQ. FT.	/100	= 02 OCCUPANTS		
CORE CLASSROOM	601 SQ. FT.	/20	= 30 OCCUPANTS		
SPECIALTY CLASSROOM	952 SQ. FT.	/20	= 48 OCCUPANTS		
LOCKER ROOM	258 SQ. FT.	/100	= 03 OCCUPANTS		
THEORY CLASSROOM	463 SQ. FT.	/20	= 23 OCCUPANTS		
FP BREAK ROOM	748 SQ. FT.	/100	= 07 OCCUPANTS		

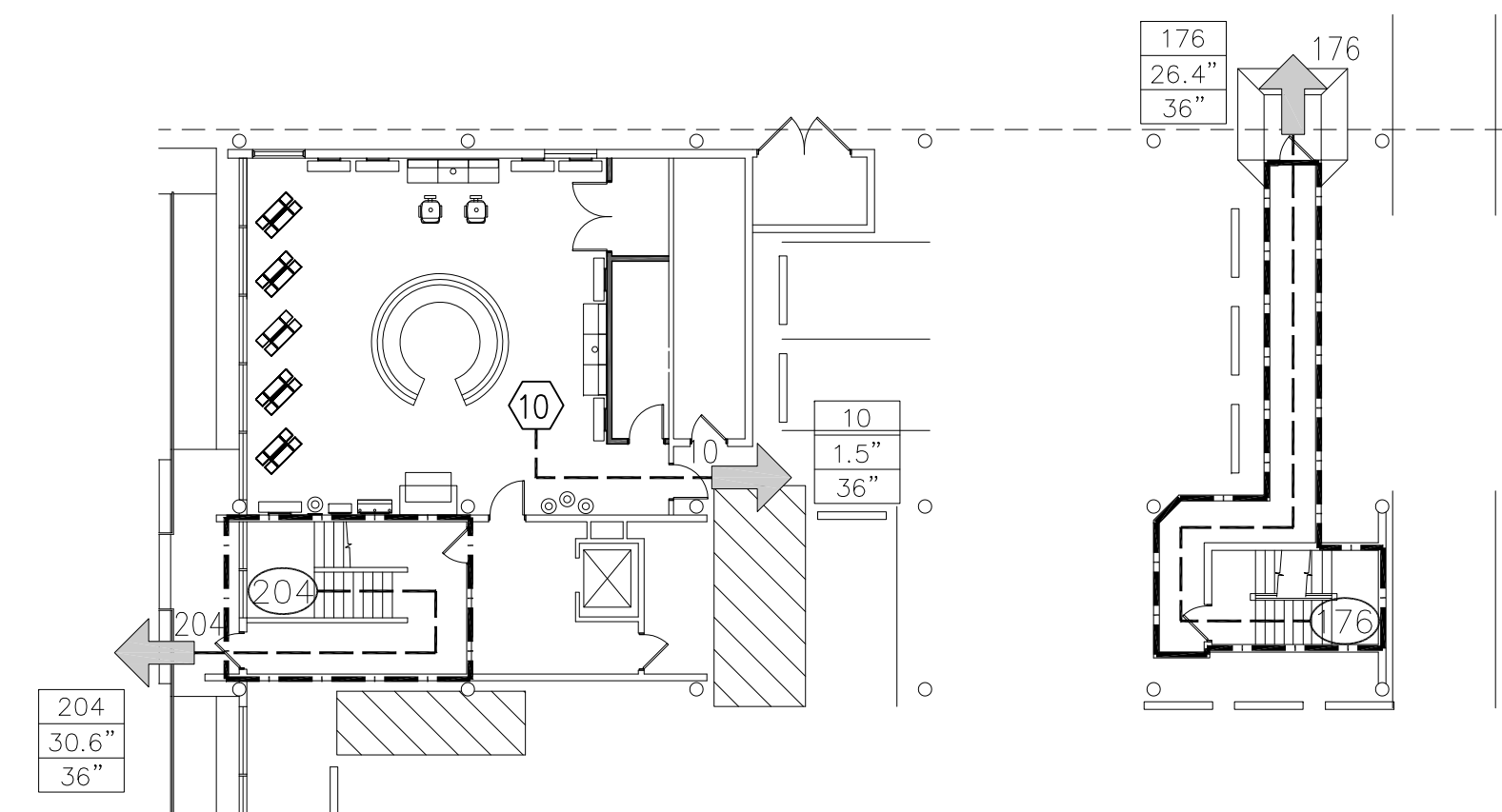
TOTAL PAUL MITCHELL TENANT SPACE = 390 OCCUPANTS

TOTAL OCCUPANTS = 390
 OCCUPANT LOAD CALCULATION: 390 OCCUPANTS X .15 = 58.5" (REQUIRED EXIT WIDTH = 72")

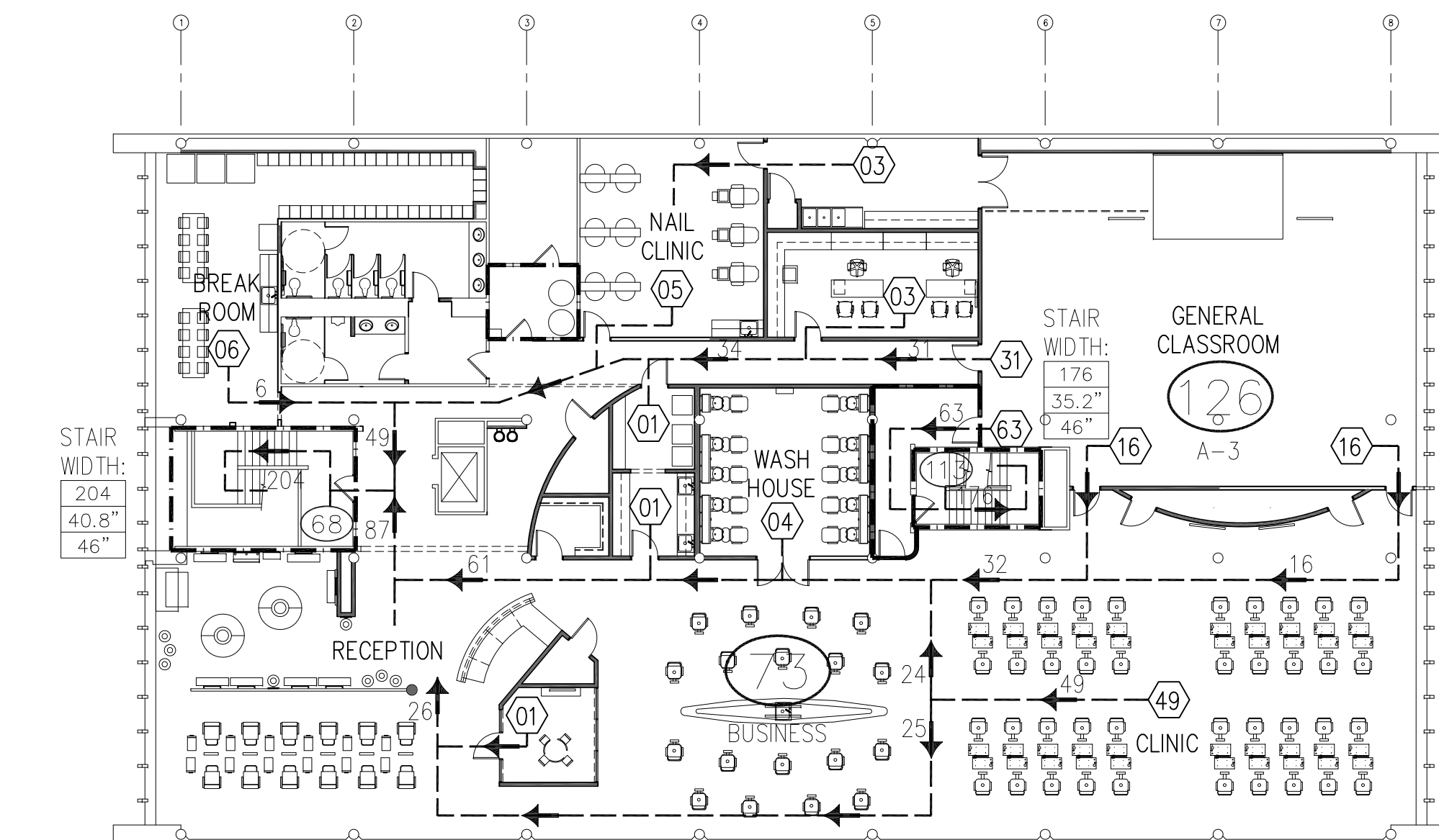
- 3. NET EXIT WIDTH PROVIDED: 108"**
- DOOR NO. 1 - 36" DOOR NO. 3 - 36"
- DOOR NO. 2 - 36"

LIFE SAFETY LEGEND

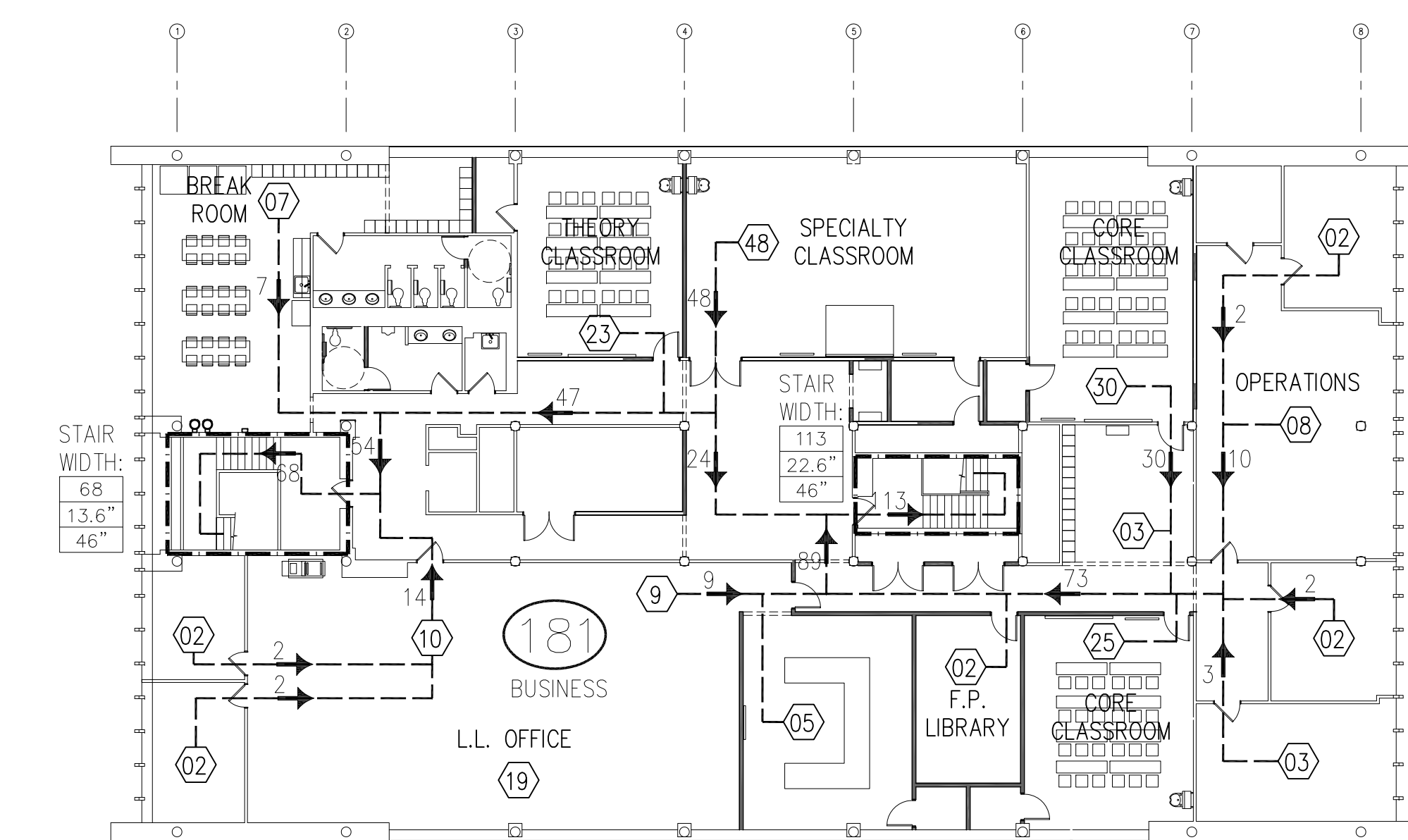
- 1 HR. FIRE SEPARATION ASSEMBLY
- 2 HR. FIRE SEPARATION ASSEMBLY
- EXIT/ END OF COMMON PATH
- TRAVEL DISTANCE/ COMMON PATH OF TRAVEL
- COMMON PATH/ TRAVEL DISTANCE ORIGIN
- EXIT ACCESS/ ACTUAL NUMBER OF OCCUPANTS - SEE GENERAL CODE DATA NOTE RE: OCCUPANT LOAD
- EXIT
- ACTUAL NUMBER OF OCCUPANTS
REQUIRED WIDTH OF EGRESS ELEMENT
ACTUAL WIDTH OF EGRESS ELEMENT
- ZONE EGRESS LOAD
- FIRE EXTINGUISHER CABINET



1 1st LEVEL FLOOR PLAN
 A004 SCALE: 1/16"=1'-0"



2 2nd LEVEL FLOOR PLAN
 A004 SCALE: 1/16"=1'-0"



3 3rd LEVEL FLOOR PLAN
 A004 SCALE: 1/16"=1'-0"

PERMIT ISSUE SET: 12.30.09

ARCHITECTS OF RECORD:

BRADFORD J. DUDLEY
 345 THIRD STREET
 LAGUNA BEACH, CALIFORNIA 92651
 T: 949.376.3076 F: 949.376.3078

PAUL MITCHELL
PARTNER SCHOOL

METAIRIE, LA

3321 HESSMER AVENUE
 METAIRIE, LA 70002

CLIENT:

MARK AND LISA PALERMO

PROFESSIONAL SEAL:

SIGNATURE _____ DATE _____

SUBMISSION	DATE
CONCEPT PLAN	12.01.09
CONSULTANT COORDINATION	12.14.09
PERMIT ISSUE SET	12.30.09

PROJECT NO: 0921

SCALE:

CODE ANALYSIS & LIFE SAFETY

A 004

ARCHITECTS OF RECORD:

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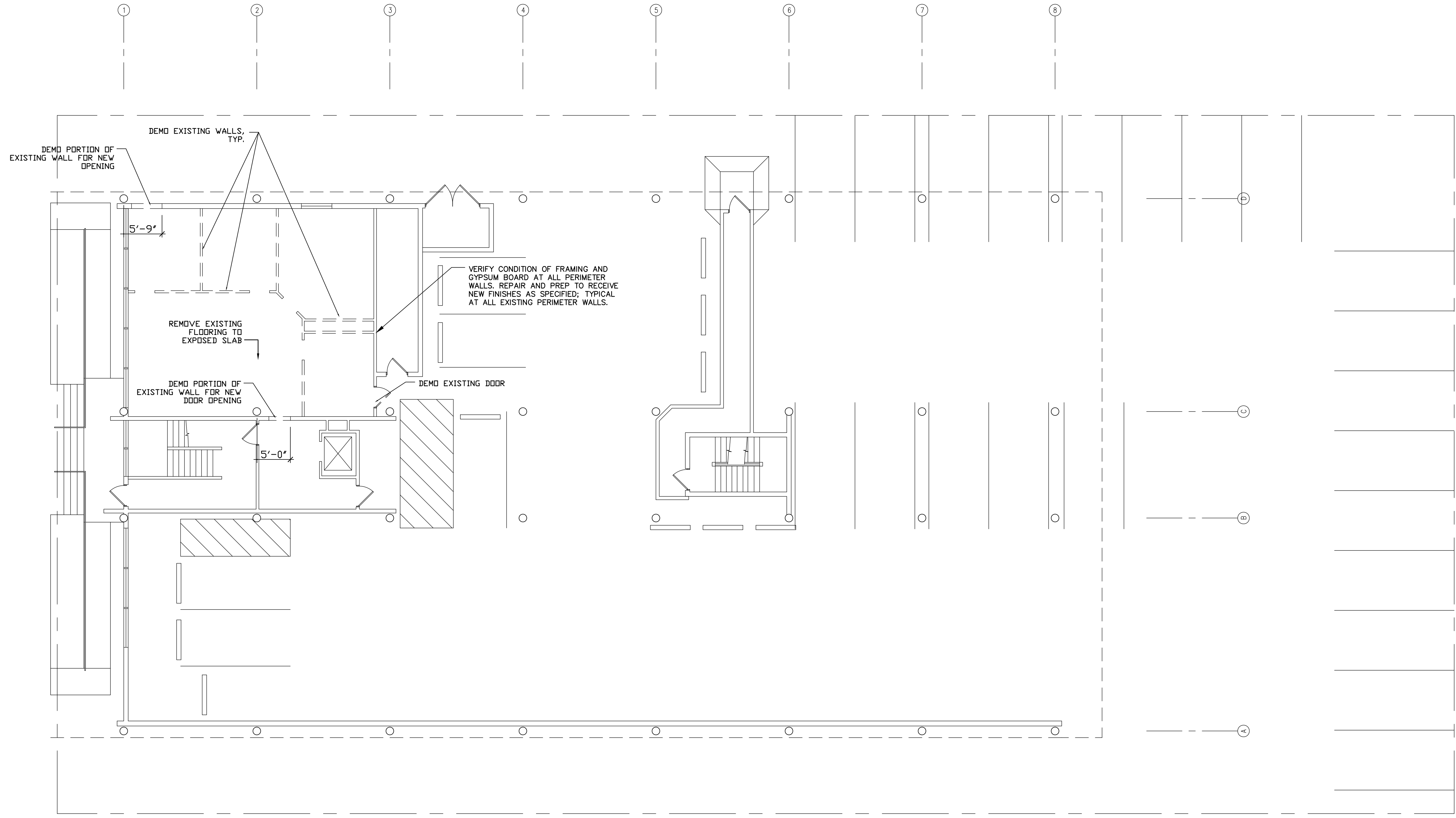
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PROJECT NO: 0921

SCALE: _____

**FIRST FLOOR
 DEMO PLAN**

D 101

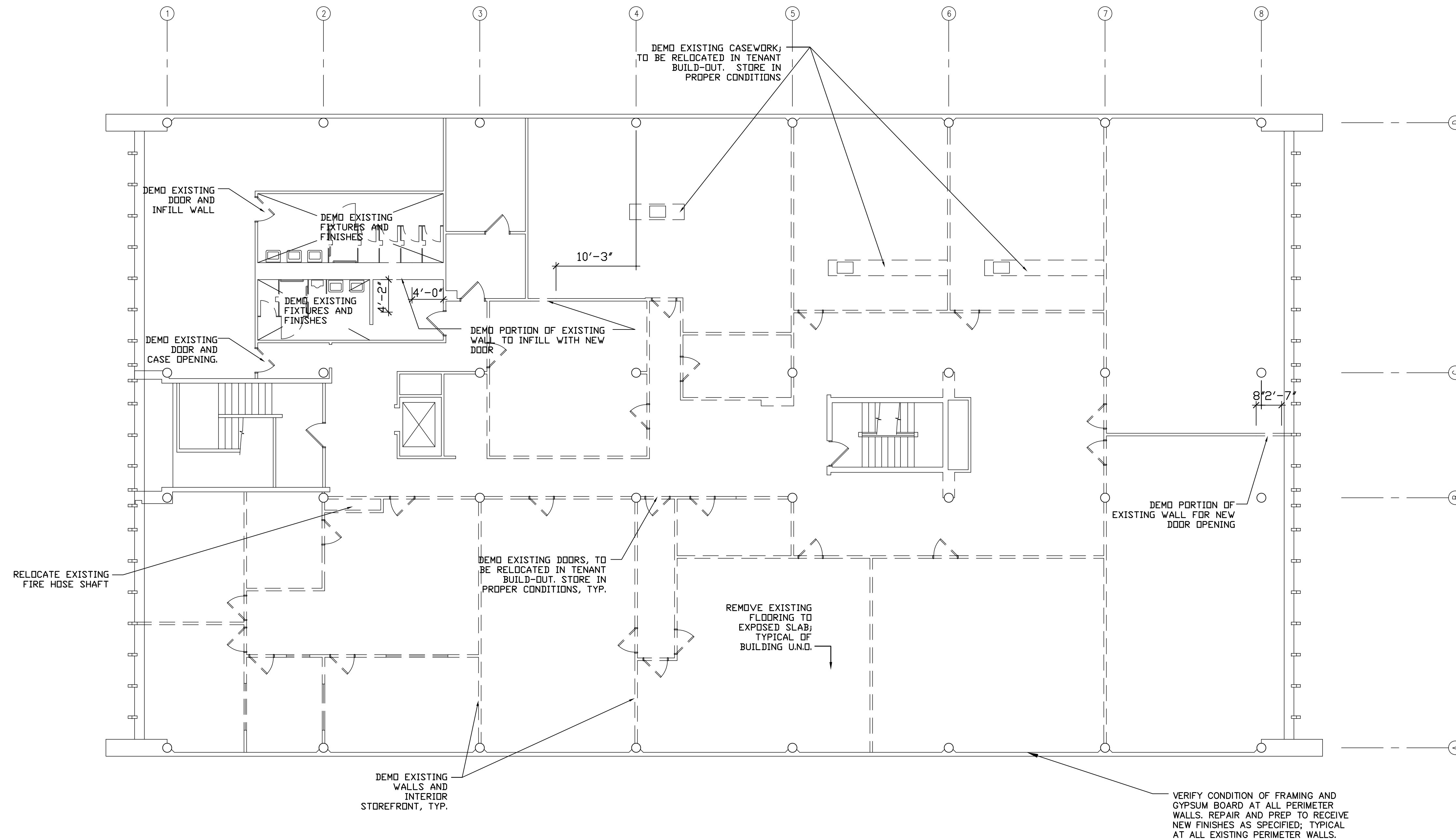


1 DEMO PLAN - FIRST FLOOR
 D101 SCALE: 1/8"=1'-0"

FLOOR PLAN LEGEND

<p>----- DEMO - EXISTING WALL</p> <p>- - - - - DEMO - EXISTING DOOR</p> <p>===== EXISTING WALLS TO REMAIN</p> <p>===== NEW PARTITION WALL</p> <p>--- EXISTING DOOR TO REMAIN</p>	<p>NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501</p> <p>ENLARGED PLAN DETAIL REFERENCE</p>	<p>↑ A ↑ ALIGN FACE OF WALLS</p> <p>(SFXX) STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502</p> <p>(XX) DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501</p> <p>(X) INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502</p>	<p>10'-0" DEAN'S OFFICE 100 WALL FLOORBASE</p> <p>ROOM NAME & NUMBER INDICATION</p> <p>FINISHES: WALL, FLOOR AND WALL BASE</p> <p>PARTITION TYPE, REFERENCE SHEET A601</p> <p>INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS</p>
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PERMIT ISSUE SET: 12.30.09



1 DEMO PLAN - SECOND FLOOR
 D102 SCALE: 1/8"=1'-0"

FLOOR PLAN LEGEND

- DEMO - EXISTING WALL
- - - DEMO - EXISTING DOOR
- == EXISTING WALLS TO REMAIN
- == NEW PARTITION WALL
- - - EXISTING DOOR TO REMAIN
- NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501
- XX STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502
- XXX DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501
- X INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502
- 10'-0" DEAN'S OFFICE
- ROOM NAME & NUMBER INDICATION
- FINISHES: WALL, FLOOR AND WALL BASE
- PARTITION TYPE, REFERENCE SHEET A601
- INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS

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 3321 HESSMER AVENUE
 METAIRIE, LA 70002

CLIENT:
 MARK AND LISA PALERMO

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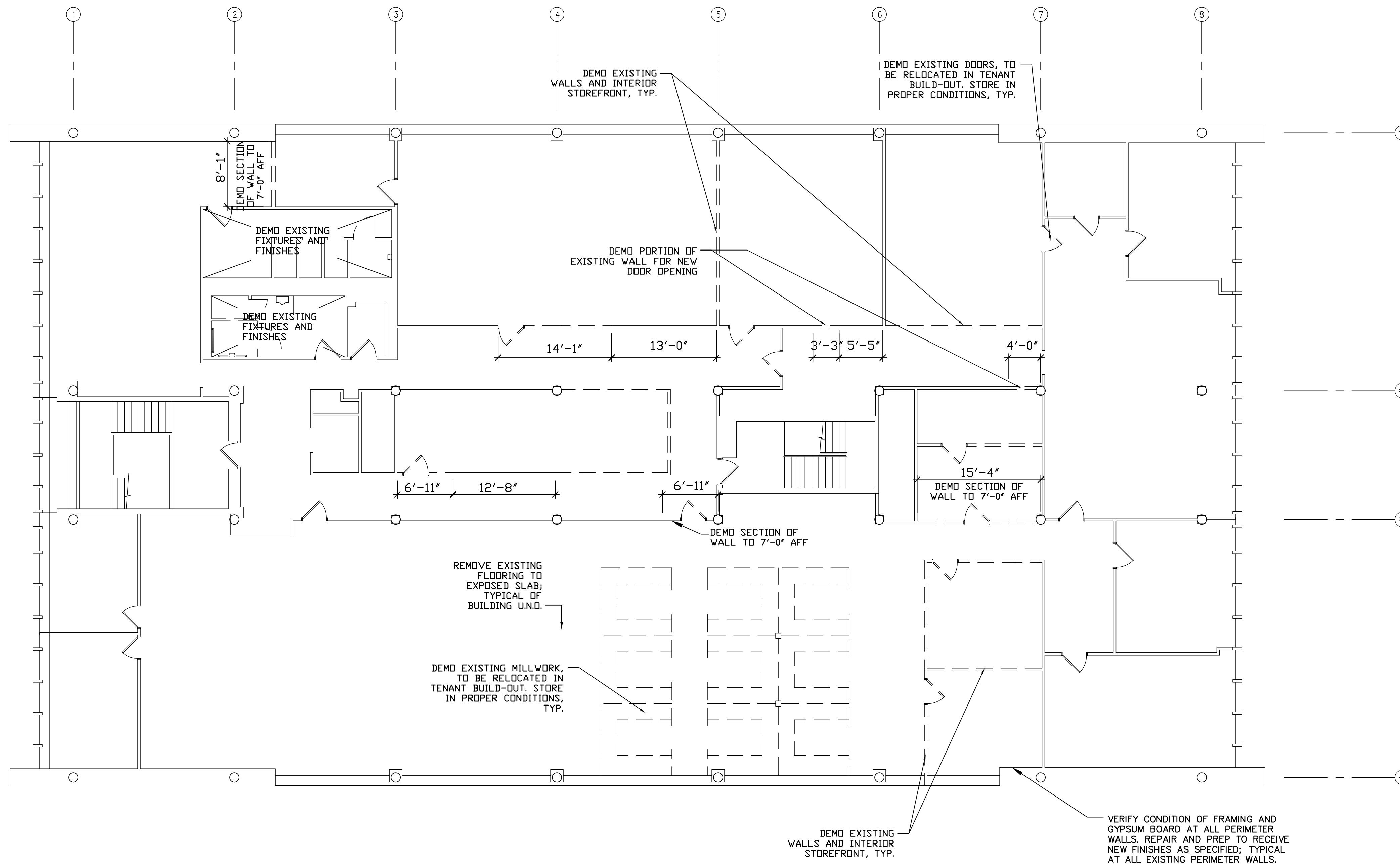
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PROJECT NO: 0921
 SCALE: _____

SECOND FLOOR DEMO PLAN

 D 102



1 DEMO PLAN - THIRD FLOOR
 D103 SCALE: 1/8"=1'-0"

FLOOR PLAN LEGEND

<p>----- DEMO - EXISTING WALL</p> <p>- - - - - DEMO - EXISTING DOOR</p> <p>===== EXISTING WALLS TO REMAIN</p> <p>===== NEW PARTITION WALL</p> <p>--- EXISTING DOOR TO REMAIN</p>	<p>NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501</p> <p>ENLARGED PLAN DETAIL REFERENCE</p>	<p>↑ A ↑ ALIGN FACE OF WALLS</p> <p>(SFXX) STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502</p> <p>(XX) DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501</p> <p>(X) INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502</p>	<p>DEAN'S OFFICE</p> <p>ROOM NAME & NUMBER INDICATION</p> <p>FINISHES: WALL, FLOOR AND WALL BASE</p> <p>PARTITION TYPE, REFERENCE SHEET A601</p> <p>INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS</p>
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SCALE: _____

**THIRD FLOOR
 DEMO PLAN**

D 103



1 REFLECTED CEILING DEMO PLAN – THIRD FLOOR
 D223 SCALE: 1/8"=1'-0"

FIXTURE DEMO LEGEND:

E1 - 2 X 4 FIXTURE TO BE REMOVED AND REUSED IN BUILD-OUT

E2 - 2 X 2 FIXTURE TO BE REMOVED AND REUSED IN BUILD-OUT

--- EXISTING GRID CEILING TO BE REMOVED. (SAVE GRID AND TILES AS NEEDED FOR REUSE IN BUILD-OUT)

DEMO NOTES:

1. CEILING FIXTURES THAT ARE REMOVED SHOULD BE PROPERLY STORED FOR REUSE IN TENANT BUILD-OUT.
2. ANY EXISTING ELECTRICAL DEVICES OR FIXTURES NOT BEING USED IN THE BUILD-OUT NEED TO BE DISCONNECTED AND REMOVED.

FLOOR PLAN LEGEND

- DEMO - EXISTING WALL
- - - - - DEMO - EXISTING DOOR
- ===== EXISTING WALLS TO REMAIN
- ===== NEW PARTITION WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501
- ENLARGED PLAN DETAIL REFERENCE
- ALIGN FACE OF WALLS
- (SFXX) STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502
- (XX) DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501
- (X) INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502
- DEAN'S OFFICE
- ROOM NAME & NUMBER INDICATION
- FINISHES: WALL, FLOOR AND WALL BASE
- PARTITION TYPE, REFERENCE SHEET A601
- INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS

ARCHITECTS OF RECORD:

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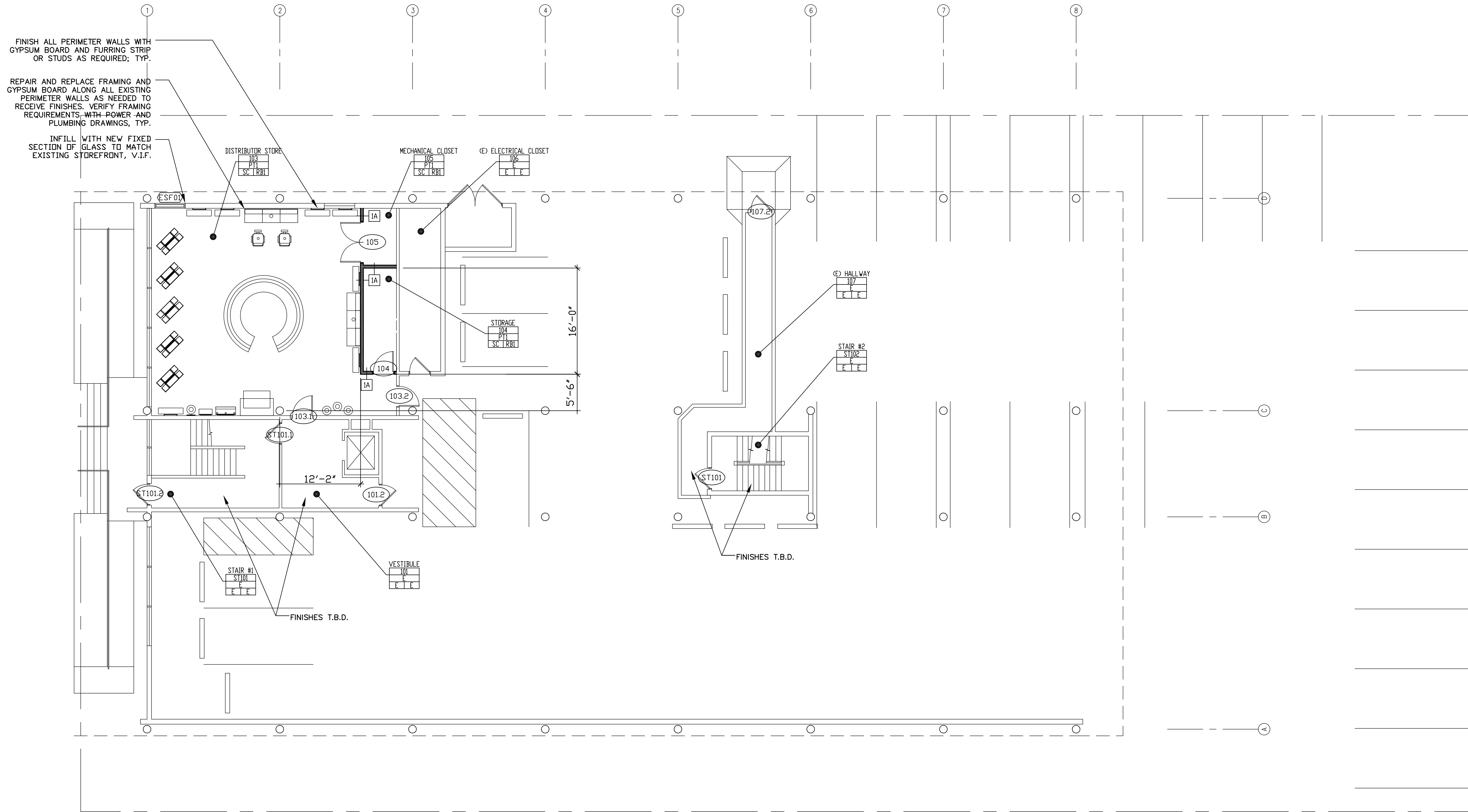
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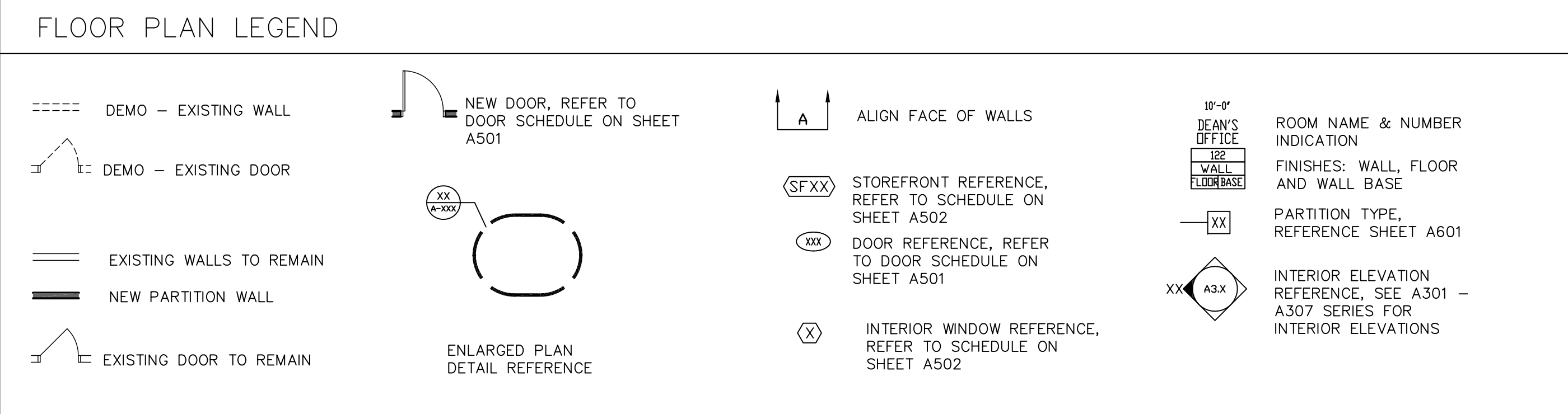
THIRD FLOOR REFLECT CEILING DEMO PLAN

D 223

PERMIT ISSUE SET: 12.30.09



1 FIRST FLOOR PLAN
A101 SCALE: 1/8"=1'-0"



PERMIT ISSUE SET: 12.30.09

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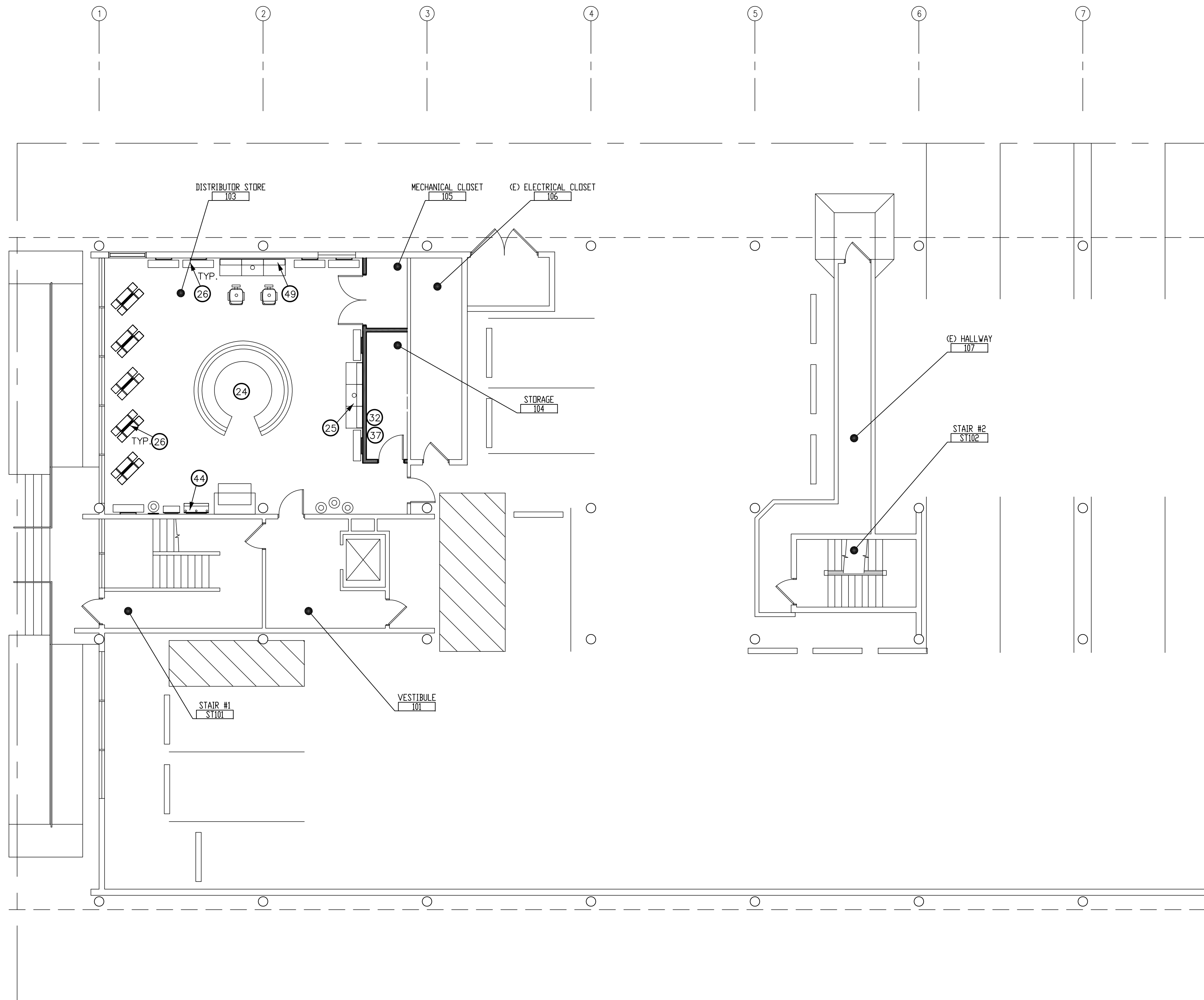
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SCALE: _____

FIRST FLOOR PLAN

A 101



1 KEYNOTE PLAN – FIRST FLOOR
 A101a SCALE: 1/8"=1'-0"

KEYNOTES

1. COMMERCIAL WASHER / DRYER, STACKED UNIT, BY 'SPEED QUEEN' – ALLIANCE LAUNDRY SYSTEMS LLC. 1.800.345.5649. MODEL #LTSA9A (GAS). REFER TO SPECIFICATIONS. OWNER PROVIDED. CONTRACTOR TO INSTALL. G.C TO VERIFY POWER, GAS AND VENTILATION REQUIREMENTS.
2. SINK # K-3208-3 "BALLAD" BY KOHLER, SELF RIMMING. 25" X 22". PROVIDE GOOSENECK FAUCET #7502.170 "MONTEREY" BY AMERICAN STANDARD.
3. SINK, FAUCET AND STOP INCLUDED IN WADSWORTH SINK BASE CABINET; S/S SINK – ELKAY MODEL #DLR221910, FAUCET – MOEN MODEL #8948, SINK STRAINER – KEENEY MODEL #760-1. REFER TO CUTSHEETS FROM WADSWORTH DESIGN. G.C TO PROVIDE ROUGH-IN AND ALL PLUMBING CONNECTIONS AS REQUIRED.
4. CLASSROOM TABLES BY SOUTHERN ALUMINUM. 18" X 72" RECTANGULAR ALUITE TABLES, CHROME I-LEG WITH ALUMINUM TOP. VERIFY COUNT WITH OWNER. RECOMMENDED VENDER CONTACT: BRIAN KRUG WITH W B MASON @ 401.255.8449.
5. 6" HIGH RAISED PLATFORM WITH PERGO LAMINATE WOOD FLOORING FINISH, COLOR SPECIFICATION TO BE DETERMINED BY ARCHITECT AND OWNER.
6. 8'-0" X 5'-0" DRY, ERASABLE, WHITE BOARDS BY OPTIMA CO. #085. VERIFY WITH OWNER.
7. STAINLESS STEEL CORNER GUARDS BY WADSWORTH DESIGN.
8. ROLLING COUNTER DOOR # ESC 20 ALUM. LOCKABLE. BY CORNELL. WWW.CORNELLIRON.COM.
9. STUDENT LOCKERS BY A.S.I. LOCKERS- TRADITIONAL COLLECTION. 3 TIER, SIZE 15"W X 18" D X 78" H, SLOPE TOP, 6" BASE WITH NO LEGS, COLOR: CHARCOAL #23. VERIFY QUANTITY WITH ARCHITECT / OWNER. (MINIMUM SIZE REQUIRED TO ACCOMMODATE FUTURE PROFESSION CASE BY PM PROFESSIONAL TOOLS. SIZE OF CASE IS 9.25" D x 16.5" W x 13-1/2" H.) OWNER PROVIDED, CONTRACTOR INSTALLED. RECOMMENDED VENDOR CONTACT: BRIAN KRUG AT W B MASON 401.255.8449.
10. STUDENT LOUNGE TABLES BY SOUTHERN ALUMINUM. ROUND ALUITE TABLES, CHROME I LEG, ALUMINUM TOP. VERIFY COUNT WITH OWNER. RECOMMENDED VENDER CONTACT: BRIAN KRUG WITH W B MASON @ 401.255.8449
11. STAINLESS STEEL 25 CU. FT. BOTTOM-FREEZER REFRIGERATOR BY MAYTAG #MBR2556KES, 36" WIDE. VERIFY POWER REQUIREMENTS PRIOR TO INSTALLATION. BY OWNER.
12. STAINLESS STEEL MICROWAVE; OWNER PROVIDED. VERIFY POWER REQUIREMENTS PRIOR TO INSTALLATION. QUANTITY (4) AT STUDENT BREAK ROOM. QUANTITY (2) AT LEARNING LEADERS BREAK ROOM. RECOMMENDED MICROWAVE SIZE SMALLER OR EQUAL TO 18"W x 13"D x 10.5"H.
13. STUDENT TIME CLOCK BY GALAXY TECHNOLOGIES (800.314.8223). MODEL "HANDPUNCH 3000" (HP-3000). OWNER PROVIDED, CONTRACTOR INSTALLED.
14. BARRIER FREE-DUAL HEIGHT WALL MOUNTED DRINKING FOUNTAIN #MMRSL. STAINLESS STEEL BY SUNROC "OASIS". INSTALL PER MANUFACTURER'S REQUIREMENTS.
15. FLOOR DRAIN #20050B BY J.R. SMITH, CAST IRON BODY WITH 4" ROUND NICKEL BRONZE STRAINER HEAD. SLOPE FLOOR DRAIN PER PLAN, 1/4" PER 12".
16. PLASMA T.V. W/ SPEAKERS. PROVIDE WALL OR CEILING MOUNT AS REQUIRED.. REFER TO AUDIO/VIDEO SPECIFICATIONS AND CUTSHEETS PROVIDED BY A/V PROVIDER. G.C TO COORDINATE POWER, DATA AND BLOCKING REQUIREMENTS AS REQUIRED.
17. PROPOSED LOCATION OF HIGH EFFICIENCY COMMERCIAL GAS WATER HEATER BY POLARIS. REFER TO SPECIFICATIONS FOR INSTALLATION. 1.888.599.2837.
18. ANGLE TERRAZZO MOP SINK BY FLORESTONE #07. VERIFY SIZE WITH ARCHITECT. MINIMUM ACCESSORIES REQUIRED: #MR 370 (HOSE W/ CLAMP) & #MR 371 (FAUCET). SEE WWW.FLORESTONE.COM FOR MORE OPTIONS.
19. BACKWASH SHAMPOO BOWLS, BY WADSWORTH DESIGNS. VERIFY EXACT PLUMBING LAYOUT BEFORE INSTALLATION. OWNER FURNISHED, WADSWORTH INSTALLED. ALL BLOCK AND PLUMBING ROUGH-IN BY G.C. REFER TO WADSWORTH CUT SHEETS & SPECS.
20. DOUBLE SHAMPOO BOWLS, WALL MOUNTED, BY WADSWORTH DESIGNS. VERIFY EXACT PLUMBING LAYOUT BEFORE INSTALLATION. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING AND PLUMBING ROUGH-IN BY G.C., REFER TO WADSWORTH CUTSHEETS.
21. SINGLE SHAMPOO BOWL, WALL MOUNTED, BY WADSWORTH DESIGNS. VERIFY EXACT PLUMBING LAYOUT BEFORE INSTALLATION. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING AND PLUMBING ROUGH-IN BY G.C. REFER TO WADSWORTH CUT SHEETS.
22. 12" DEEP SHELVING WITH STAINLESS STEEL FINISH. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING BY G.C. REFER TO WADSWORTH CUTSHEETS.
23. CUTTING STATIONS BY WADSWORTH DESIGNS. OWNER PROVIDED, WADSWORTH INSTALLED. G.C. TO PROVIDE ALL ELECTRICAL ROUGH-IN, CONNECTIONS AND OUTLETS. REFER TO WADSWORTH DESIGN CUTSHEETS AND SPECS FOR DETAILS.
24. RECEPTION DESK BY WADSWORTH DESIGNS. OWNER PROVIDED. REFER TO WADSWORTH CUTSHEETS.
25. COLOR BAR BY WADSWORTH DESIGNS. REFER TO WADSWORTH CUTSHEETS.
26. RETAIL SHELVING BY WADSWORTH DESIGNS. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING BY G.C, REFER TO WADSWORTH CUT SHEETS.
27. 6'-0" CLASSROOM CABINET / SINK UNIT BY WADSWORTH DESIGN. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING AND PLUMBING ROUGH-IN BY G.C REFER TO WADSWORTH CUT SHEETS AND SPECS.
28. CONTINUOUS,FRAMELESS, WALL MOUNTED MIRRORS. BOTTOM AT 2'-10" A.F.F.-ABOVE THE 12" STAINLESS STEEL SHELF, SEE INTERIOR ELEVATIONS.
29. RECEPTION SEATING BY WADSWORTH DESIGNS. OWNER PROVIDED.
30. STAINLESS STEEL SIGNAGE BY WADSWORTH DESIGN, REFER TO INTERIOR ELEVATIONS FOR LOCATION AND DETAILS.
31. BREAK ROOM CABINET / SINK UNIT BY WADSWORTH DESIGN. OWNER PROVIDED, WADSWORTH INSTALLED. ALL BLOCKING AND PLUMBING ROUGH-IN BY G.C REFER TO WADSWORTH CUTSHEETS.
32. LOCATION OF A/V EQUIPMENT, VERIFY ALL EQUIPMENT WITH OWNER. G.C TO VERIFY AND COORDINATE ALL POWER, DATA AND BLOCKING REQUIREMENTS.
33. CHAIRS BY WADSWORTH DESIGN
34. OFFICE FURNITURE BY WADSWORTH DESIGN. OWNER PROVIDED WADSWORTH INSTALLED. G.C TO VERIFY WITH CUTSHEETS ALL NECESSARY BLOCKING.
35. VENDING MACHINE BY OWNER. VERIFY POWER REQUIREMENTS PRIOR TO INSTALLATION.
36. MILLWORK BY CONTRACTOR. REFER TO INTERIOR ELEVATIONS. AT COAT CLOSETS ONLY, ENSURE (MIN.) 3'-0" LONG SECTION OF COAT SHELF IS MOUNTED AT H.C. ACCESSIBLE HEIGHT. LOCATION OF BRANCH PANEL TO BE PLACED INSIDE CORRESPONDING ROOM, RECESSED . SEE MEP GUIDELINES ON A 003
38. WATER WALL, OWNER PROVIDED. CONTRACTOR TO PROVIDE POWER, DRAIN AND WATER SUPPLY AS REQUIRED. REFER TO CUTSHEETS PROVIDED BY WATER WALL PROVIDER.
39. PEDICURE STATIONS, OWNER PROVIDED, CONTRACTOR INSTALLED. CONTRACTOR TO PROVIDE ROUGH-IN FOR PLUMBING AND POWER. REFER TO CUT SHEETS FOR FIXTURE.
40. NAIL TABLES AND CHAIR BY WADSWORTH DESIGN. OWNER PROVIDED, WADSWORTH INSTALLED
41. ESTY MACHINE AND TABLE; OWNER PROVIDED AND INSTALLED. G.C TO VERIFY POWER REQUIREMENTS OF ELECTRICAL FIXTURE.
42. OWNER PROVIDED COPIER
43. MILLWORK BY WADSWORTH DESIGN. OWNER PROVIDED. WADSWORTH INSTALLED. G.C TO COORDINATE ALL NECESSARY BLOCKING.
44. TOOL BAR BY WADSWORTH DESIGN. OWNER PROVIDED, WADSWORTH INSTALLED.
45. OFFICE FURNITURE BY WB MASON. RECOMMENDED CONTACT: BRIAN KRUG
46. OWNER PROVIDED DISHWASHER. G.C TO COORDINATE POWER AND PLUMBING REQUIREMENTS
47. LARGE IMAGE FRAMES BY WADSWORTH DESIGN. OWNER PROVIDED, WADSWORTH INSTALLED.
48. 1" BRUSHED ALUMINUM FRAMED MIRROR AT STAGE. VERIFY EXACT SIZE WITH OWNER/ARCHITECT. COORDINATE OUTLET IN MIRROR
49. MAKE-UP BAR BY WADSWORTH DESIGN. G.C TO COORDINATE POWER AND BLOCKING
50. 3 BASIN UTILITY SINK. VERIFY SPEC WITH OWNER/ARCHITECT.
51. OWNER PROVIDED MANNEQUIN DRYER. G.C TO COORDINATE POWER.

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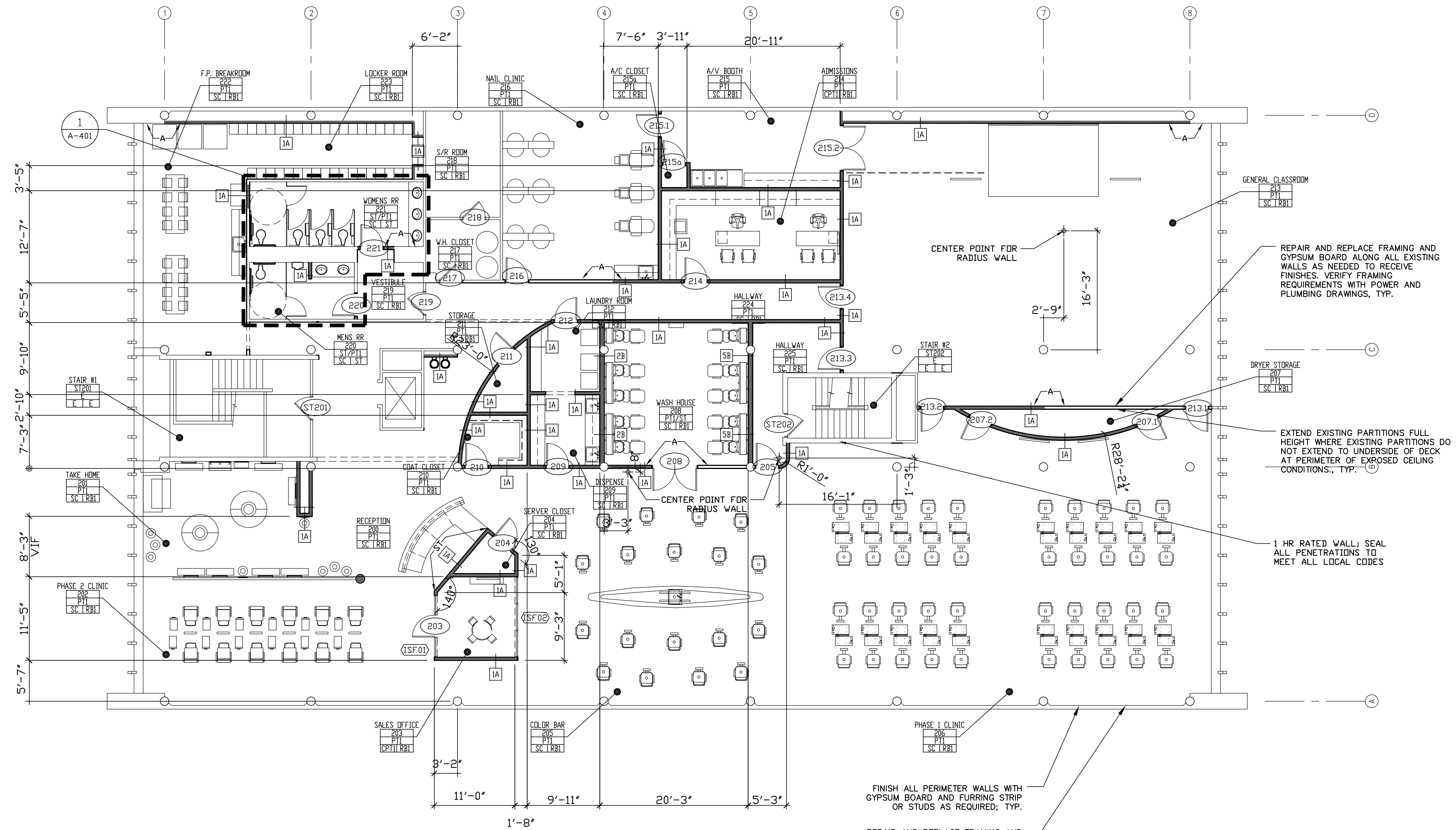
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 SCALE: _____

**FIRST FLOOR
 KEYNOTE PLAN**

 A 101a



1 SECOND FLOOR PLAN
 A102 SCALE: 1/8"=1'-0"

FLOOR PLAN LEGEND			
	DEMO - EXISTING WALL		NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501
	DEMO - EXISTING DOOR		ENLARGED PLAN DETAIL REFERENCE
	EXISTING WALLS TO REMAIN		STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502
	NEW PARTITION WALL		DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501
	EXISTING DOOR TO REMAIN		INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502
	ALIGN FACE OF WALLS		ROOM NAME & NUMBER INDICATION
	FINISHES: WALL, FLOOR AND WALL BASE		PARTITION TYPE, REFERENCE SHEET A601
	INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS		

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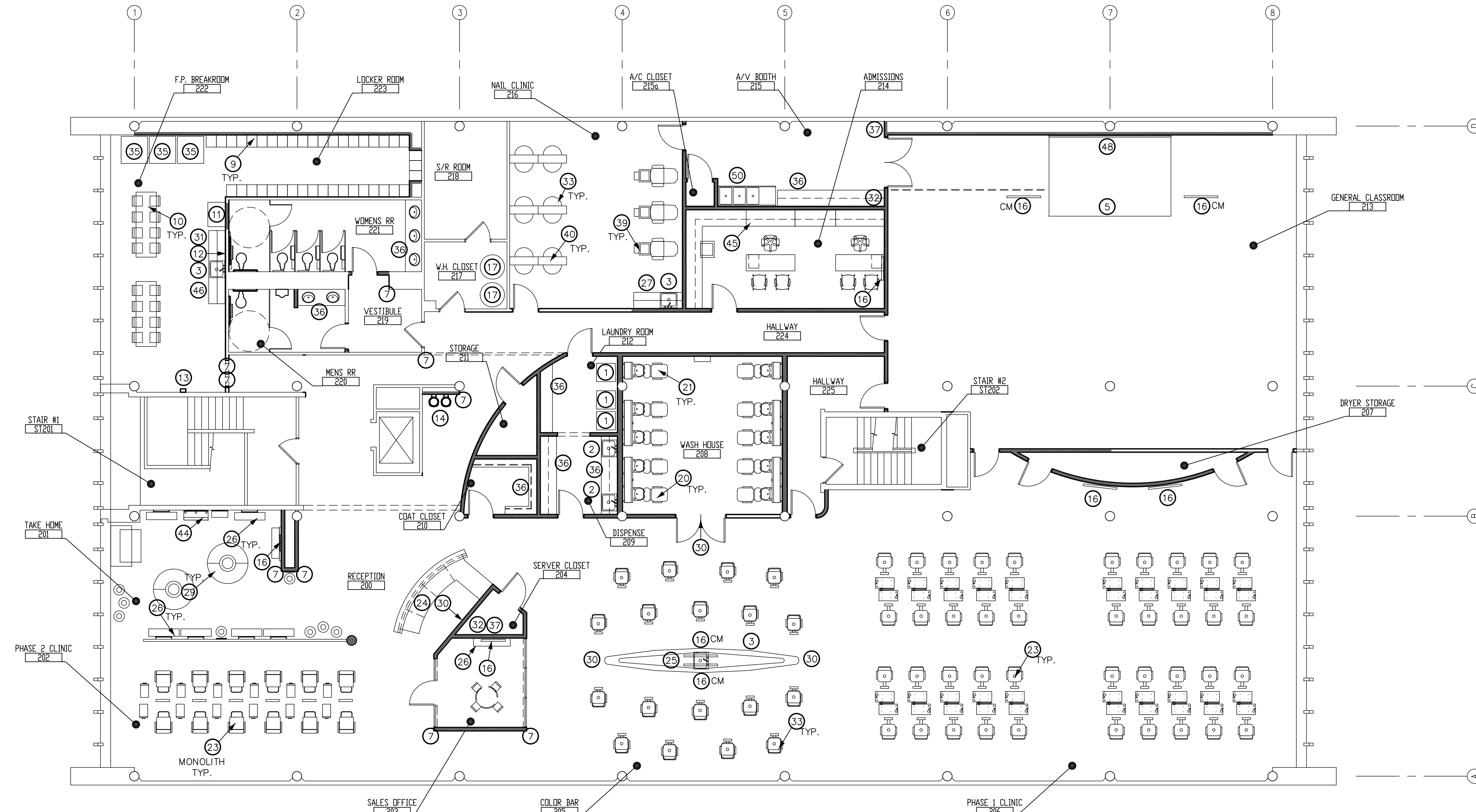
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SECOND FLOOR PLAN

 A 102



1 KEYNOTE PLAN - SECOND FLOOR
 A102a SCALE: 1/8"=1'-0"

NOTES:
 1. REFER TO SHEET A 101g FOR ALL KEYNOTES.

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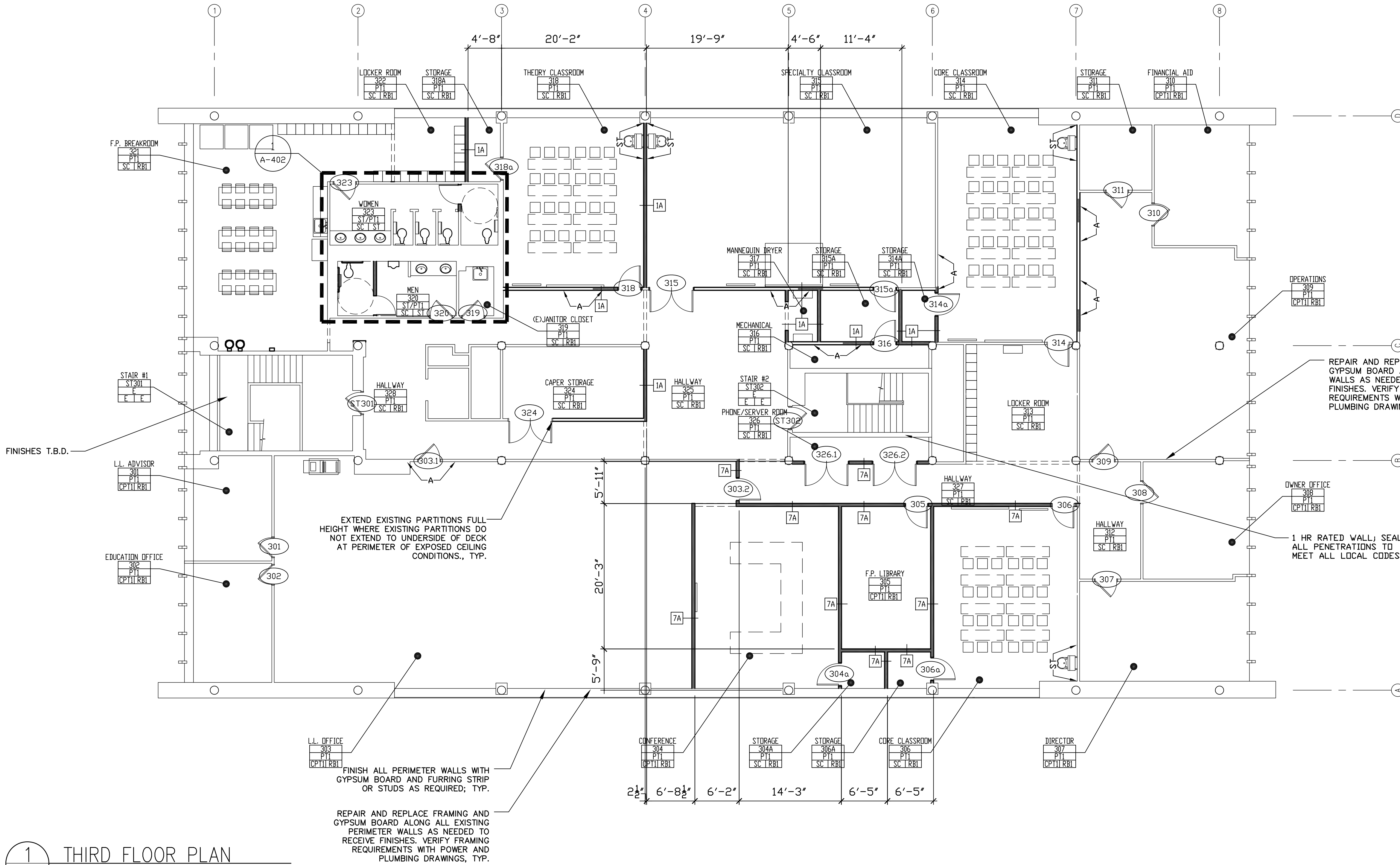
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**SECOND FLOOR
 KEYNOTE PLAN**

 A 102a



1 THIRD FLOOR PLAN
 A103 SCALE: 1/8"=1'-0"

FLOOR PLAN LEGEND	
	DEMO - EXISTING WALL
	DEMO - EXISTING DOOR
	EXISTING WALLS TO REMAIN
	NEW PARTITION WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR, REFER TO DOOR SCHEDULE ON SHEET A501
	ENLARGED PLAN DETAIL REFERENCE
	ALIGN FACE OF WALLS
	STOREFRONT REFERENCE, REFER TO SCHEDULE ON SHEET A502
	DOOR REFERENCE, REFER TO DOOR SCHEDULE ON SHEET A501
	INTERIOR WINDOW REFERENCE, REFER TO SCHEDULE ON SHEET A502
	ROOM NAME & NUMBER INDICATION
	FINISHES: WALL, FLOOR AND WALL BASE
	PARTITION TYPE, REFERENCE SHEET A601
	INTERIOR ELEVATION REFERENCE, SEE A301 - A307 SERIES FOR INTERIOR ELEVATIONS

PERMIT ISSUE SET: 12.30.09

ARCHITECTS OF RECORD:

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PAUL MITCHELL
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 METAIRIE, LA

 3321 HESSMER AVENUE
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CLIENT:
 MARK AND LISA PALERMO

PROFESSIONAL SEAL:

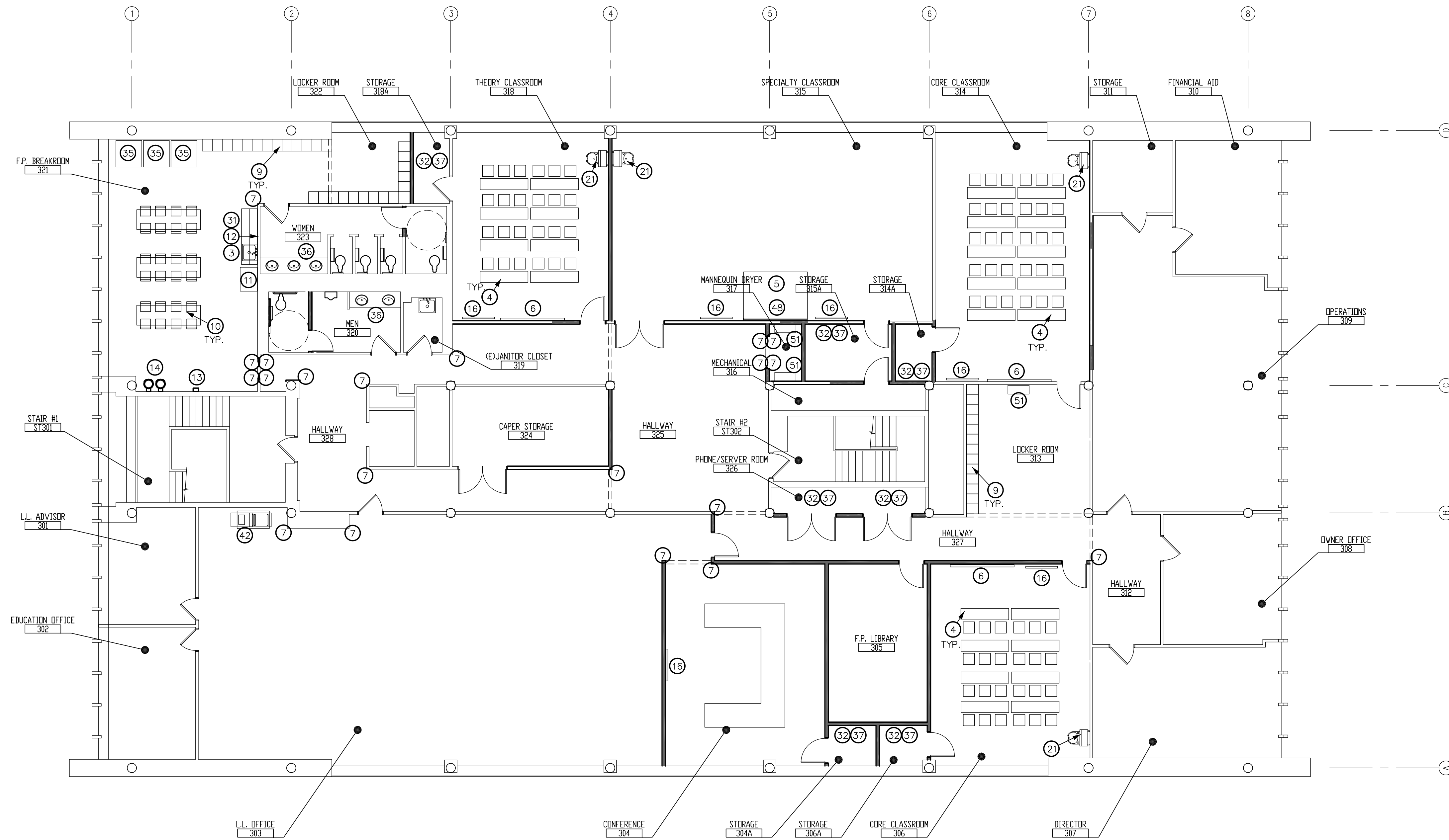
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PROJECT NO: 0921
 SCALE: _____

THIRD FLOOR PLAN

 A 103



1 KEYNOTE PLAN – THIRD FLOOR
 A103a SCALE: 1/8"=1'-0"

NOTES:
 1. REFER TO SHEET A 101g FOR ALL KEYNOTES.

PERMIT ISSUE SET: 12.30.09

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**THIRD FLOOR
 KEYNOTE PLAN**

A 103a

FINISH LEGEND			
FLOOR			
CPT:	CARPET	SC:	SEALED CONCRETE
CT:	CERAMIC TILE	SF:	SPRUNG FLOOR
P:	PAINT	SS:	SOLID SURFACE MATERIAL
LF:	MARMOLEUM/LINOLEUM	SV:	SHEET VINYL
RF:	RUBBER FLOORING	TR:	TERRAZZO
RS:	RESILIENT STAIR	VCT:	VINYL COMPOSITION TILE
	ACCESSORIES	WF:	WOOD FLOOR
RFT:	RUBBER FLOORING TILE	SVT:	SOLID VINYL TILE
WALL			
AWP:	ACOUSTIC WALL PANEL	ST:	SLATE TILE
BB:	BULLETIN BOARD	PT:	PAINT
BRK:	EXPOSED BRICK	PGB:	PAINTED GYPSUM BOARD
FB:	FACE BRICK	PL:	PLASTIC LAMINATE
GT:	GLASS TILE	WW:	WOOD WALL
CMU:	CONCRETE MASONRY UNIT	ST2:	SCHULTER TRANSITION STRIP
CT:	CERAMIC TILE		
BASE			
CT:	CERAMIC TILE		
N:	NONE		
TR:	TERRAZZO		
ST:	SLATE TILE		
RB:	RUBBER BASE		

FINISH SCHEDULE NOTES:

1. VERIFY LOCATION, HEIGHT, AND AMOUNT OF EACH MATERIAL WITH INTERIOR ELEVATIONS.
2. WHERE EXPOSED, PAINT CONCRETE COLUMNS SAME COLOR AS ADJACENT SURFACES.
3. PROVIDE PT1 WALL PAINT FINISH TYP. UNLESS NOTED OTHERWISE.

FINISH KEY LEGEND

FINISHES PLAN NOTES

* INDICATES MORE THAN ONE MATERIAL USED, REFER TO PLAN AND INTERIOR ELEVATIONS FOR OTHER FINISHES TO USED AND EXACT LOCATION OF EACH TYPE OF FINISH.

FINISH SCHEDULE :					
	SYMBOL	MATERIAL	MANUFACTURER	DETAILS	NOTES
FLOORING	SC	CONCRETE HARDENER AND DENSIFIER	JEFFCO CONCRETE 1.205.345.3443 1.205.233.0318 Contact: Brian Short E: bshort@jeffcoconcrete.com		CONFIRM CURRENT SPECIFICATIONS WITH ARCHITECT. PDF ARCHITECTS 1-949-376-3076
	CPT1	Carpet	PATCRAFT CARPET 1-800-241-4014	10069 - SOCRATES II - 28, #69509 - GELLNER	
	RB1	Wall base	ARMSTRONG 1-877-ARMSTRONG	61- GRAPHITE GRAY	4" rubber
WALLS	LW	LAMINATE WOOD FLOORING	PERGO LAMINATE FLOORING	OPTIONS: Oak Foscarì #W80093 Suffield Oak #80108 Java Teak #PS50402	FLOORING FOR STAGEONLY: CONFIRM FINISH WITH OWNER AND ARCHITECT. SEE LIST OF THREE OPTIONS TO CHOOSE FROM.
	ST	Slate tile	AMERICAN SLATE Contact: Murch King O: 949.650.2200 C: 949.678.2261 murch.king@americanslate.com	EMBER ASH # S7206 COLLECTION: PEAKS OF EVEREST	Seal tile per manufacturer recommendations Butt joint tile, no grout
	PT1	Paint	BENJAMIN MOORE	FOG MIST # OC-31	Flat finish Restrooms = Semi-gloss
CEILING	ST2	Stainless Transition Strip	Schluter-Systems 1.800.472.4588 To find dealer near you: www.schluter.com/dealer_locator.aspx	Schluter Quadec 1/2" Q125E	For 5'-0" high tile in Restrooms ONLY
	ACT1	Ceiling tile	USG 1.443.794.1233 Contact: Susan Raneri	Mars ClimaPlus Item #86985	FLB 2'x2'x3/4", USG Centricitee DXT Grid, White
	PT2	Paint	BENJAMIN MOORE	GULL WING GRAY # 2134-50	Flat finish Exposed Structure Ceilings
MILLWORK	PT1	Paint	BENJAMIN MOORE	FOG MIST # OC-31	Flat finish Gypsum Board Ceilings
	PL1	Cabinetry laminate	NEVAMAR	# S6054 - T	Wrought iron texture
	SL1	Solid Surface Countertops	AVONITE www.avonitesurfaces.com 1.800.428.6648	BLACK CORAL, #F1-9125, SATIN FINISH	Restroom counter tops
ACCENT PAINT	SS	Stainless Steel	-	STAINLESS STEEL	
	PT3	Orange	BENJAMIN MOORE	CALYPSO ORANGE # 2015-30	
	PT4	Green	BEHR	BAMBOO LEAF # 410B-7	
	PT5	Grey	BENJAMIN MOORE	SANDWASHED DRIFTWOOD # 770D-6	

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PROJECT NO: 0921

SCALE: _____

FINISH SCHEDULE

A 104

PERMIT ISSUE SET: 12.30.09

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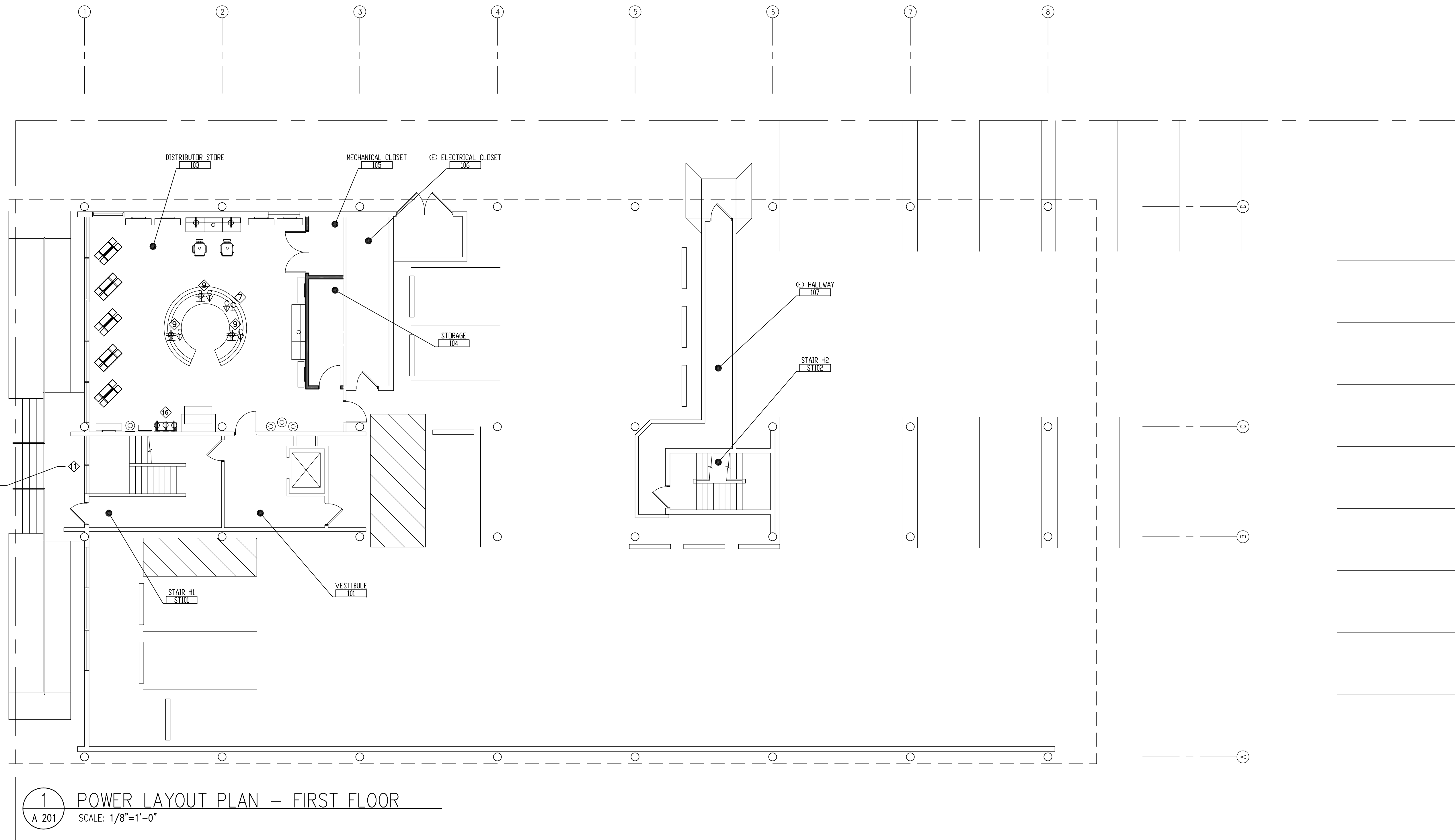
PROJECT NO: 0921

SCALE:

**POWER LAYOUT PLAN
 FIRST FLOOR**

A 201

PERMIT ISSUE SET: 12.30.09



1 POWER LAYOUT PLAN - FIRST FLOOR
 A 201 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- GENERAL CONTRACTOR TO COORDINATE A PRECONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
- VERIFY POWER REQUIREMENTS OF ALL APPLIANCES WITH SELECTED APPLIANCE MANUFACTURER.
- RECESSED LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITER LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
- EXHAUST FAN TO BE CAPABLE OF PROVIDING 5 FULL VOLUME AIR CHANGES PER HOUR.
- WIRING DEVICES: SWITCHES AND CONVENIENCE OUTLETS SHALL BE "LEVITON" SPEC. GRADE. COLOR: WHITE, NOT IVORY. INSTALL AT HEIGHTS REQUIRED BY CURRENT CODE, U.N.O.
- EXTENT: COMPLETE WIRING INSTALLATION FOR POWER, LIGHTING, SIGNAL SYSTEM AND TELEPHONE. CODES: ALL WIRING AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES INCLUDING TITLE 24.
- OUTLET HEIGHTS INDICATED ON PLAN ARE TO CENTER OF FIXTURE AND HEIGHT ABOVE THE FINISHED FLOOR ELEVATION. VERIFY CODE COMPLIANCE WITH BUILDING INSPECTOR.
- OUTLETS AT ALL WADSWORTH DESIGN CUTTING STATIONS SHOULD BE GREY WITH BRUSHED ALUMINUM COVER PLATES
- ALL COVER PLATES AT FLOOR BOX LOCATIONS SHALL HAVE STAINLESS STEEL COVER PLATES.
- ALL OUTLETS IN STAINLESS STEEL TO BE GREY WITH STAINLESS STEEL COVER PLATES.
- ALL OUTLETS/SWITCHES IN SLATE WALLS TO BE BLACK WITH BLACK COVER PLATES.

POWER LEGEND:

- WALL MOUNTED FLUSH J-BOX
- DUPLEX CONVENIENCE OUTLET
- GFI GROUND FAULT INDICATOR (GFI) RECEPTACLE
- WP EXTERIOR WALL MOUNTED WATER RESISTANT CONVENIENCE OUTLET. PROVIDE GROUND FAULT INDICATOR (GFI), TYPICAL.
- HALF SWITCHED CONVENIENCE OUTLET
- FOURPLEX CONVENIENCE OUTLET
- FLOOR MOUNTED DUPLEX CONVENIENCE OUTLET
- FLOOR MOUNTED FOURPLEX CONVENIENCE OUTLET
- (4) CIRCUITS AT EACH STYLING STATION STUBBED THROUGH CONDUIT IN THE FLOOR. INSTALL FOURPLEX RECEPTACLE IN PRE-INSTALLED JUNCTION BOX IN STYLING STATION
- FLUSH MOUNTED RECESSED JUNCTION BOX
- CM CEILING MOUNTED OUTLET
- DATA CONNECTION. VERIFY WITH AV CONSULTANT AND COMPUTER, PHONE PROVIDER.

SPECIALTY NOTES:

- CEILING RECEPTACLE PROVIDED WITH AV PROJECTOR CEILING MOUNT PANEL.
- PROVIDE CABLE AND QUAD RECEPTACLE FOR FLATSCREEN TELEVISION, COORDINATE MOUNTING HEIGHT WITH A.V. CONSULTANT
- AV RACK FOR EQUIPMENT LOCATED IN CLOSET. COORDINATE EXACT POWER REQUIREMENT AND LOCATION WITH AV CONSULTANT.
- OWNER PROVIDED WASHER AND DRYER, VERIFY EXACT POWER, GAS, AND PLUMBING REQUIREMENTS WITH MANUFACTURER OF SELECTED UNITS.
- VERIFY POWER AND DATA REQUIREMENTS FOR TIME CLOCK. COORDINATE LOCATION WITH OWNER.
- PROVIDE 4 DUPLEX OUTLETS, EACH WITH A DEDICATED CIRCUIT FOR 4 MICROWAVES. COORDINATE HEIGHTS WITH WALL SHELVES FOR MICROWAVES. REFERENCE 6/A6.2 FOR DETAILS.
- PROVIDE POWER AND NETWORK CONNECTION FOR OWNER PROVIDED COPIER/PRINTER; VERIFY EQUIPMENT WITH OWNER.
- PROVIDE 2 DUPLEX OUTLETS, EACH WITH A DEDICATED CIRCUIT FOR 2 MICROWAVES. COORDINATE HEIGHTS WITH WALL SHELVES FOR MICROWAVES.
- AT 63" AFF AND (2) AT 78" AFF VERIFY WITH WADSWORTH DESIGN.
- PROVIDE POWER AND NETWORK CONNECTION FOR OWNER PROVIDED COMPUTERS AND POINT OF SALE EQUIPMENT; VERIFY EQUIPMENT WITH OWNER. VERIFY EXACT LOCATION WITH WADSWORTH DESIGN. (RECEPTACLES INSTALLED BY G.C. INSIDE DESK)
- PROVIDE POWER FOR OWNER PROVIDED REFRIGERATORS AND VENDING MACHINES. VERIFY EQUIPMENT WITH OWNER.
- POWER FOR EXTERIOR BACK LIT SIGNAGE. REFER TO EXTERIOR ELEVATIONS FOR DETAILS.
- GAS HOT WATER HEATERS AND RECIRCULATING PUMP. REFER TO MEP DRAWINGS AND CUT SHEETS FOR REQUIREMENTS
- ELECTRIC HAND DRYER. REFER TO SHEET A401 AND A402 FOR DETAILS.
- WATERWALL. VERIFY WATER SUPPLY, DRAIN & POWER REQUIREMENTS WITH MANUFACTURER.
- PEDICURE STATIONS. PROVIDE GFI WALL OUTLET WITH DEDICATED CIRCUIT FOR EACH UNIT. REFER TO CUT SHEETS FOR DETAILS.
- WALL MOUNTED TOOL BAR BY WADSWORTH DESIGN. 3 OUTLETS WITH DEDICATED CIRCUITS REQ.
- OWNER PROVIDED SKIN BED AND MACHINES; VERIFY POWER REQ. WITH CUT SHEETS. PROVIDE DEDICATED CIRCUIT PER BED.
- PROVIDE POWER FOR OWNER PROVIDED DISHWASHER AS REQUIRED.
- PROVIDE POWER FOR MANNEQUIN DRYER CABINET; VERIFY EQUIPMENT WITH OWNER.
- PROVIDE POWER AND DATA FOR LAPTOP OVER RISE. VERIFY EXACT REQUIREMENTS AND LOCATION WITH A/V CONSULTANT. (LOCATE DIRECTLY UNDER LED SCREEN)

ARCHITECTS OF RECORD:

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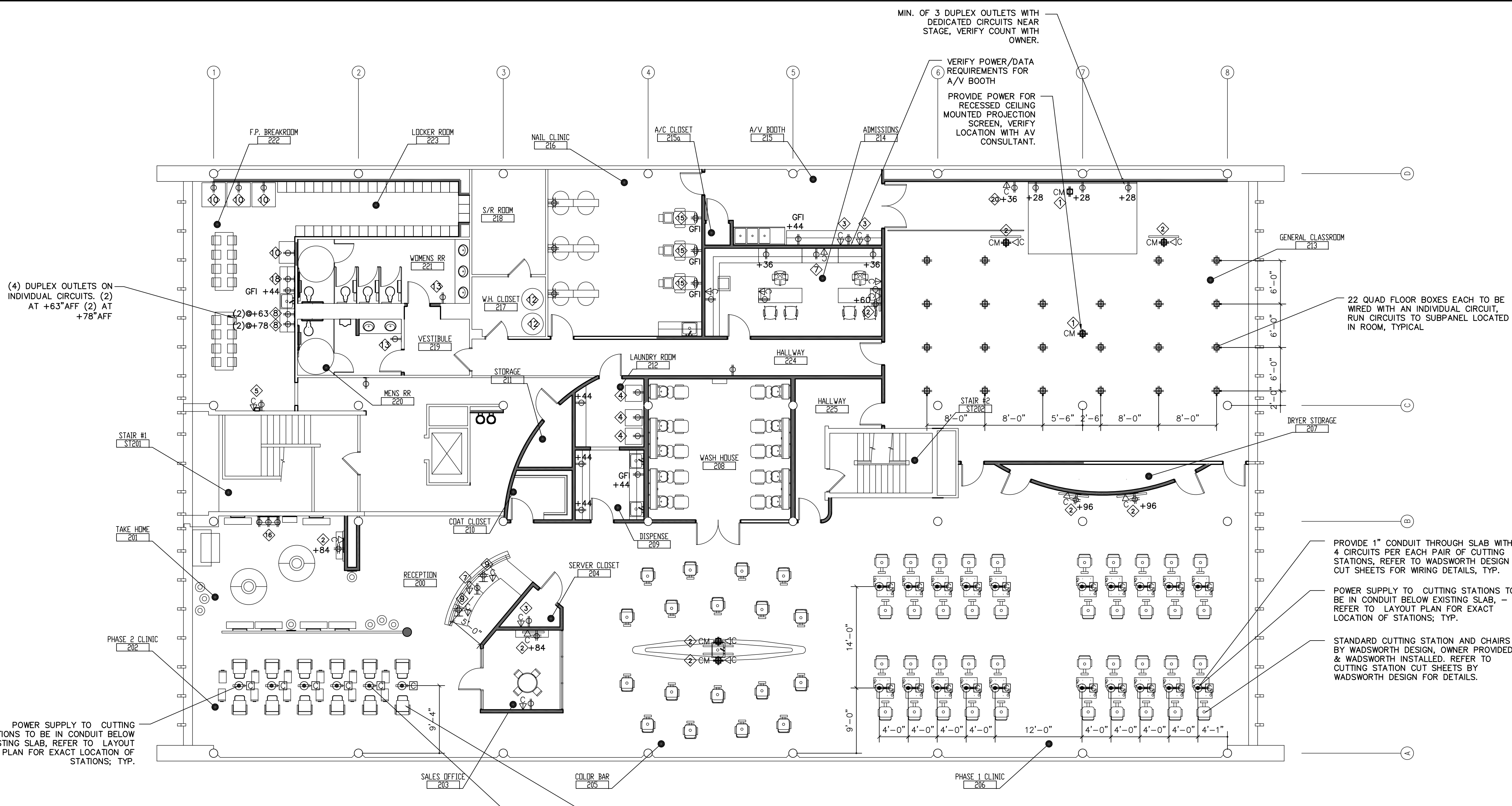
PROJECT NO: 0921

SCALE:

**POWER LAYOUT PLAN
SECOND FLOOR**

A 202

PERMIT ISSUE SET: 12.30.09



1 POWER LAYOUT PLAN - SECOND FLOOR
A 202 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- GENERAL CONTRACTOR TO COORDINATE A PRECONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
- VERIFY POWER REQUIREMENTS OF ALL APPLIANCES WITH SELECTED APPLIANCE MANUFACTURER.
- RECESSED LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITER LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
- EXHAUST FAN TO BE CAPABLE OF PROVIDING 5 FULL VOLUME AIR CHANGES PER HOUR.
- WIRING DEVICES: SWITCHES AND CONVENIENCE OUTLETS SHALL BE "LEVITON" SPEC. GRADE. COLOR: WHITE, NOT IVORY. INSTALL AT HEIGHTS REQUIRED BY CURRENT CODE, U.N.O.
- EXTENT: COMPLETE WIRING INSTALLATION FOR POWER, LIGHTING, SIGNAL SYSTEM AND TELEPHONE. CODES: ALL WIRING AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES INCLUDING TITLE 24.
- OUTLET HEIGHTS INDICATED ON PLAN ARE TO CENTER OF FIXTURE AND HEIGHT ABOVE THE FINISHED FLOOR ELEVATION, VERIFY CODE COMPLIANCE WITH BUILDING INSPECTOR.
- OUTLETS AT ALL WADSWORTH DESIGN CUTTING STATIONS SHOULD BE GREY WITH BRUSHED ALUMINUM COVER PLATES
- ALL COVER PLATES AT FLOOR BOX LOCATIONS SHALL HAVE STAINLESS STEEL COVER PLATES.
- ALL OUTLETS IN STAINLESS STEEL TO BE GREY WITH STAINLESS STEEL COVER PLATES.
- ALL OUTLETS/SWITCHES IN SLATE WALLS TO BE BLACK WITH BLACK COVER PLATES.

POWER LEGEND:

- WALL MOUNTED FLUSH J-BOX
- DUPLEX CONVENIENCE OUTLET
- GFI GROUND FAULT INDICATOR (GFI) RECEPTICAL
- WP EXTERIOR WALL MOUNTED WATER RESISTANT CONVENIENCE OUTLET. PROVIDE GROUND FAULT INDICATOR (GFI), TYPICAL.
- HALF SWITCHED CONVENIENCE OUTLET
- FOURPLEX CONVENIENCE OUTLET
- FLOOR MOUNTED DUPLEX CONVENIENCE OUTLET
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- FLUSH MOUNTED RECESSED JUNCTION BOX
- CM CEILING MOUNTED OUTLET
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SPECIALTY NOTES:

- CEILING RECEPTACLE PROVIDED WITH AV PROJECTOR CEILING MOUNT PANEL.
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- PROVIDE POWER AND NETWORK CONNECTION FOR OWNER PROVIDED COMPUTERS AND POINT OF SALE EQUIPMENT; VERIFY EQUIPMENT WITH OWNER. VERIFY EXACT LOCATION WITH WADSWORTH DESIGN. (RECEPTACLES INSTALLED BY G.C. INSIDE DESK)
- PROVIDE POWER FOR OWNER PROVIDED REFRIGERATORS AND VENDING MACHINES; VERIFY EQUIPMENT WITH OWNER.
- POWER FOR EXTERIOR BACK LIT SIGNAGE. REFER TO EXTERIOR ELEVATIONS FOR DETAILS.
- GAS HOT WATER HEATERS AND RECIRCULATING PUMP. REFER TO MEP DRAWINGS AND CUT SHEETS FOR REQUIREMENTS
- ELECTRIC HAND DRYER. REFER TO SHEET A401 AND A402 FOR DETAILS.
- WATERWALL - VERIFY WATER SUPPLY, DRAIN & POWER REQUIREMENTS WITH MANUFACTURER.
- PEDICURE STATIONS; PROVIDE GFI WALL OUTLET WITH DEDICATED CIRCUIT FOR EACH UNIT. REFER TO CUT SHEETS FOR DETAILS.
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- OWNER PROVIDED SKIN BED AND MACHINES; VERIFY POWER REQ. WITH CUT SHEETS. PROVIDE DEDICATED CIRCUIT PER BED
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ARCHITECTS OF RECORD:

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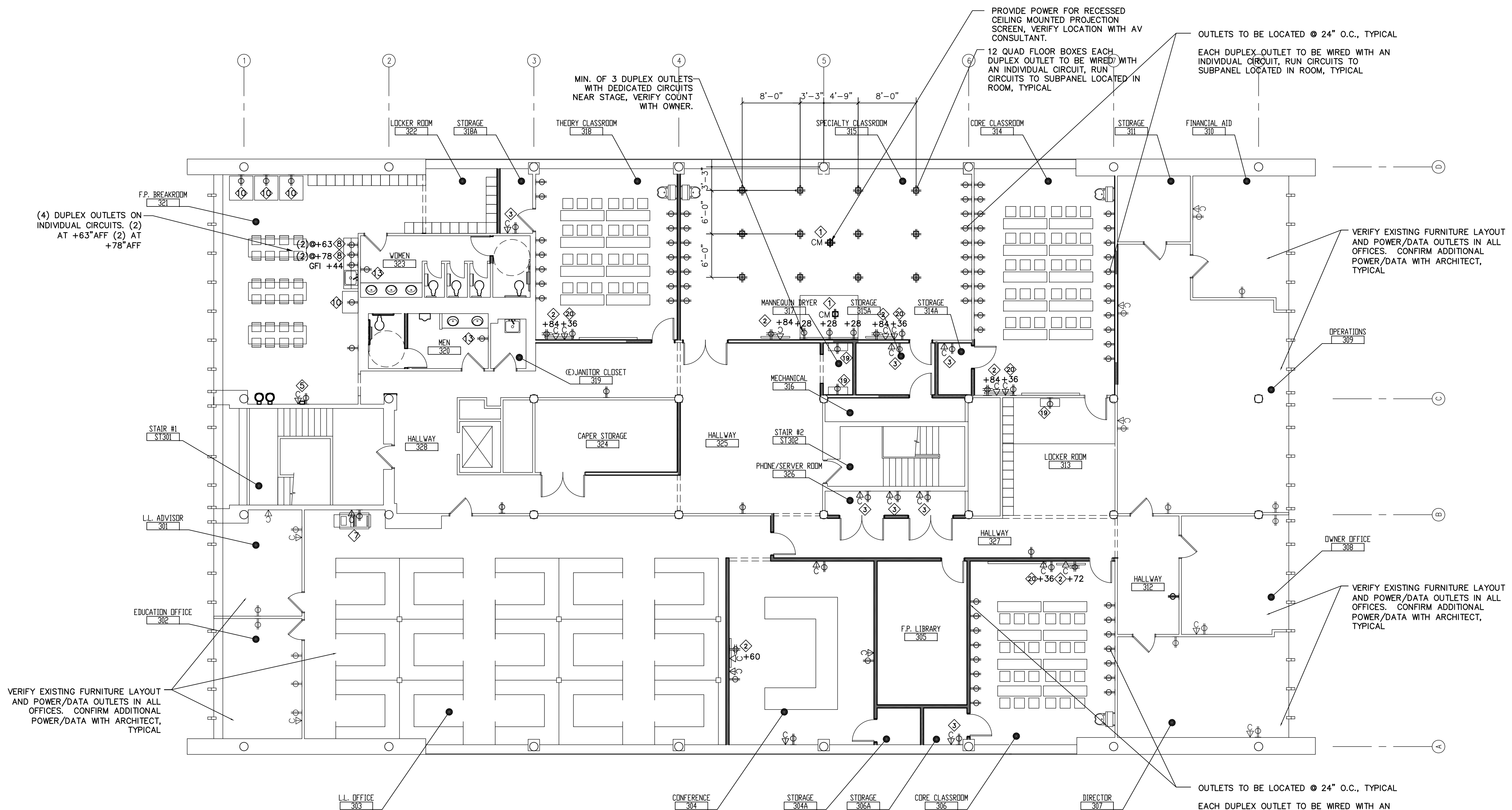
PROJECT NO: 0921

SCALE:

**POWER LAYOUT PLAN
THIRD FLOOR**

A 203

PERMIT ISSUE SET: 12.30.09



1 POWER LAYOUT PLAN - THIRD FLOOR
A 203 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- GENERAL CONTRACTOR TO COORDINATE A PRECONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
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SPECIALTY NOTES:

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- ELECTRIC HAND DRYER. REFER TO SHEET A401 AND A402 FOR DETAILS.
- WATERWALL. VERIFY WATER SUPPLY, DRAIN & POWER REQUIREMENTS WITH MANUFACTURER.
- REDUCER STATIONS. PROVIDE GFI WALL OUTLET WITH DEDICATED CIRCUIT FOR EACH UNIT. REFER TO CUT SHEETS FOR DETAILS.
- WALL MOUNTED TOOL BAR BY WADSWORTH DESIGN. 3 OUTLETS WITH DEDICATED CIRCUITS REQ.
- OWNER PROVIDED SKIN BED AND MACHINES. VERIFY POWER REQ. WITH CUT SHEETS. PROVIDE DEDICATED CIRCUIT PER BED.
- PROVIDE POWER FOR OWNER PROVIDED DISHWASHER AS REQUIRED.
- PROVIDE POWER FOR MANNEQUIN DRYER CABINET; VERIFY EQUIPMENT WITH OWNER.
- PROVIDE POWER AND DATA FOR LAPTOP OVER RIDE. VERIFY EXACT REQUIREMENTS AND LOCATION WITH A/V CONSULTANT. (LOCATE DIRECTLY UNDER LCD SCREEN)

ARCHITECTS OF RECORD:

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CLIENT:

MARK AND LISA PALERMO

PROFESSIONAL SEAL:

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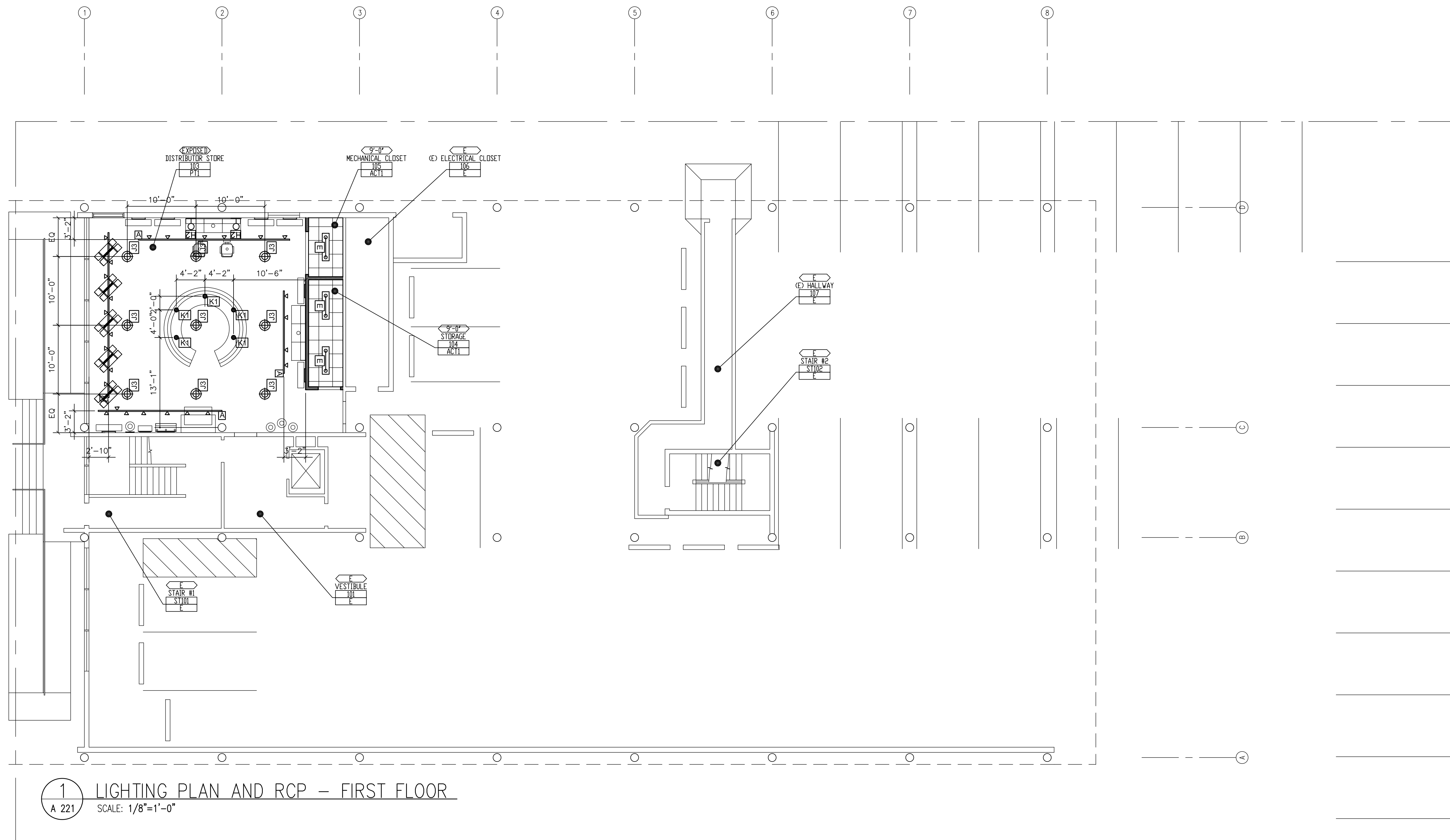
PROJECT NO: 0921

SCALE: _____

**FIRST FLOOR
 REFLECTED
 CEILING
 PLAN**

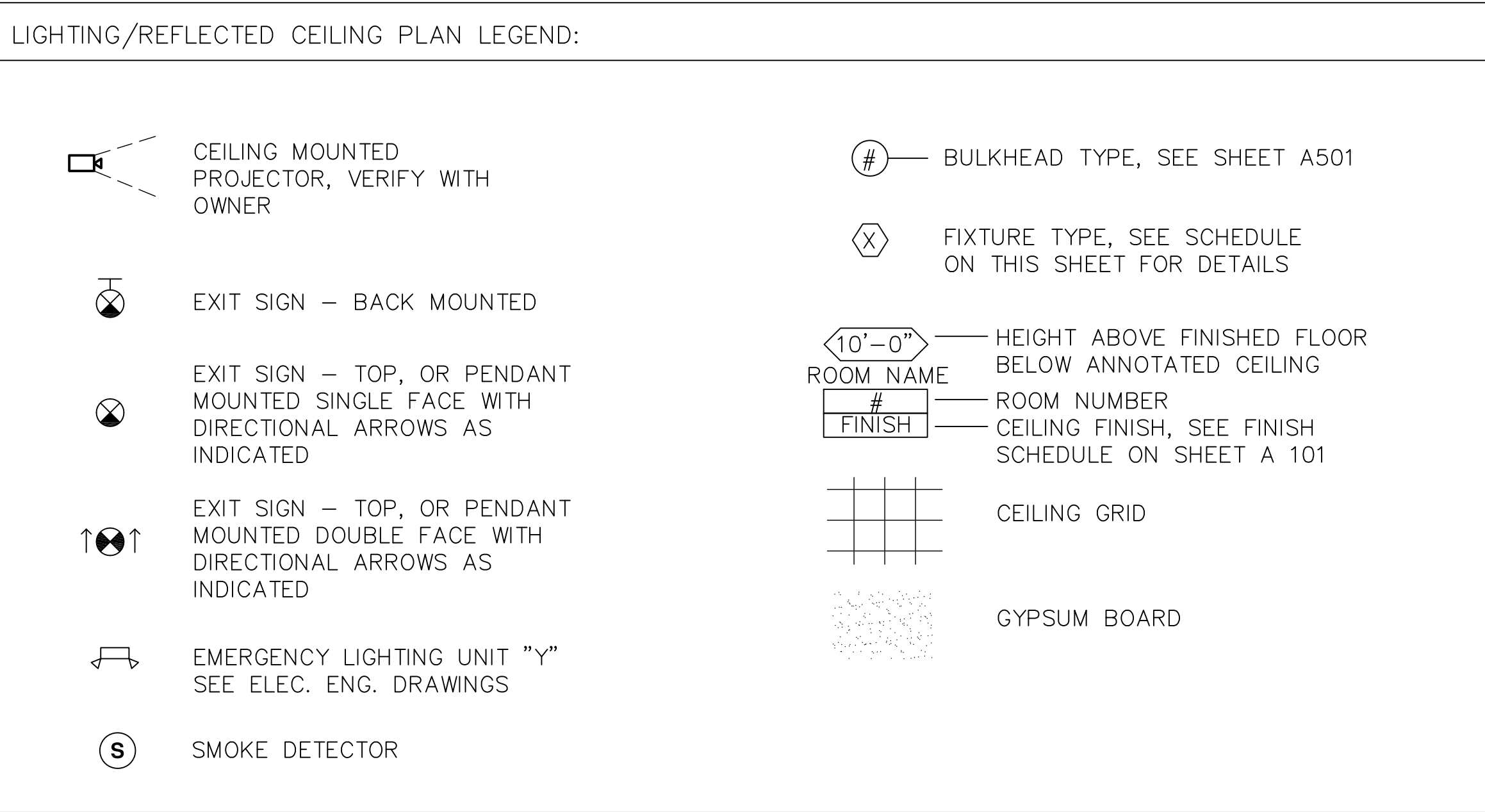
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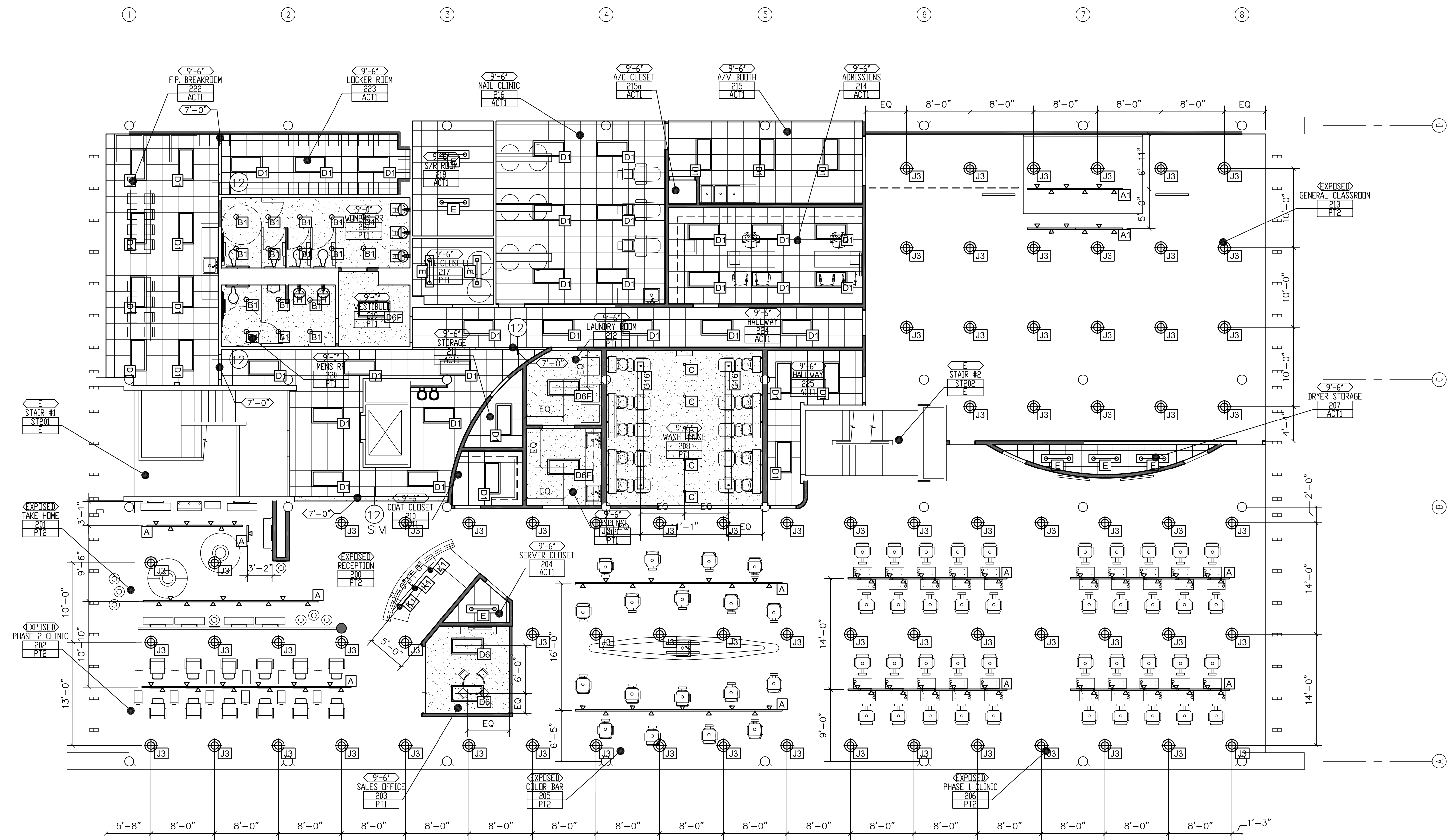
PERMIT ISSUE SET: 12.30.09



GENERAL NOTES:

- GENERAL CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
- VERIFY POWER REQUIREMENTS OF ALL APPLIANCES WITH SELECTED APPLIANCE MANUFACTURER.
- RECESSED LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITER LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
- EXHAUST FAN TO BE CAPABLE OF PROVIDING 5 FULL VOLUME AIR CHANGES PER HOUR.
- WIRING DEVICES: SWITCHES AND CONVENIENCE OUTLETS SHALL BE "LEVITON" SPEC. GRADE. COLOR: WHITE, NOT IVORY. INSTALL AT HEIGHTS REQUIRED BY CURRENT CODE.
- EXTENT: COMPLETE WIRING INSTALLATION FOR POWER, LIGHTING, SIGNAL SYSTEM AND TELEPHONE. CODES: ALL WIRING AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES INCLUDING TITLE 24.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTAL PACKAGE FOR ARCHITECT TO REVIEW PRIOR TO ORDERING ANY LIGHT FIXTURES.





1 LIGHTING PLAN AND RCP - SECOND FLOOR
A 222 SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
2. VERIFY POWER REQUIREMENTS OF ALL APPLIANCES WITH SELECTED APPLIANCE MANUFACTURER.
3. RECESSED LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITER LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
4. EXHAUST FAN TO BE CAPABLE OF PROVIDING 5 FULL VOLUME AIR CHANGES PER HOUR.
5. WIRING DEVICES: SWITCHES AND CONVENIENCE OUTLETS SHALL BE "LEVITON" SPEC. GRADE. COLOR: WHITE, NOT IVORY. INSTALL AT HEIGHTS REQUIRED BY CURRENT CODE.
6. EXTENT: COMPLETE WIRING INSTALLATION FOR POWER, LIGHTING, SIGNAL SYSTEM AND TELEPHONE. CODES: ALL WIRING AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES INCLUDING TITLE 24.
7. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL PACKAGE FOR ARCHITECT TO REVIEW PRIOR TO ORDERING ANY LIGHT FIXTURES.

LIGHTING/REFLECTED CEILING PLAN LEGEND:

- CEILING MOUNTED PROJECTOR, VERIFY WITH OWNER
- EXIT SIGN - BACK MOUNTED
- EXIT SIGN - TOP, OR PENDANT MOUNTED SINGLE FACE WITH DIRECTIONAL ARROWS AS INDICATED
- EXIT SIGN - TOP, OR PENDANT MOUNTED DOUBLE FACE WITH DIRECTIONAL ARROWS AS INDICATED
- EMERGENCY LIGHTING UNIT "Y" SEE ELEC. ENG. DRAWINGS
- SMOKE DETECTOR
- BULKHEAD TYPE, SEE SHEET A501
- FIXTURE TYPE, SEE SCHEDULE ON THIS SHEET FOR DETAILS
- HEIGHT ABOVE FINISHED FLOOR BELOW ANNOTATED CEILING
- ROOM NAME
- ROOM NUMBER
- CEILING FINISH, SEE FINISH SCHEDULE ON SHEET A 101
- CEILING GRID
- GYPSUM BOARD

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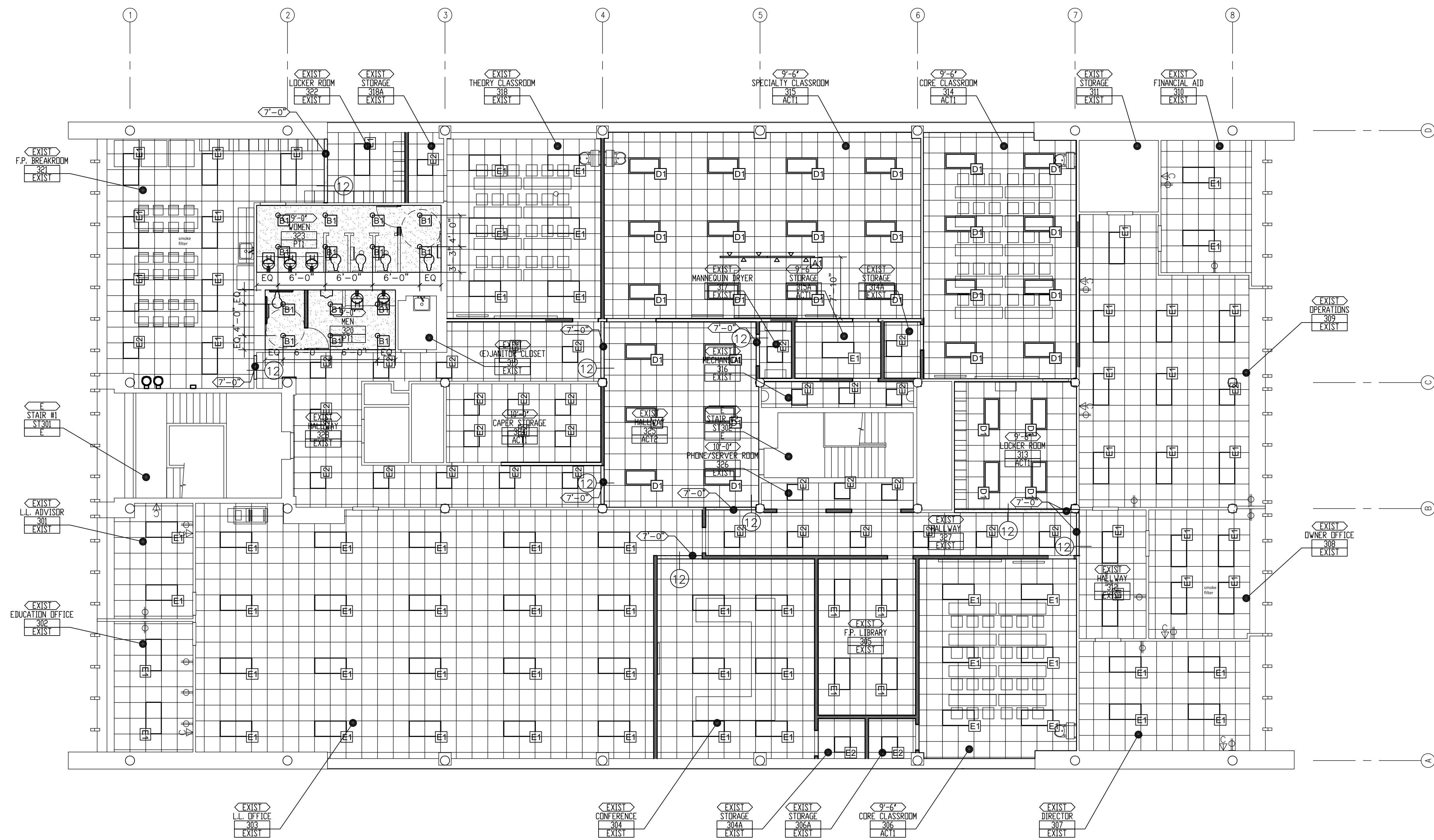
PROJECT NO: 0921

SCALE:

**SECOND FLOOR
REFLECTED
CEILING
PLAN**

A 222

PERMIT ISSUE SET: 12.30.09



1 LIGHTING PLAN AND RCP - THIRD FLOOR
 A 223 SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION SITE WALK THROUGH MEETING TO FIELD VERIFY OUTLET AND FIXTURE LOCATIONS AND TYPES WITH ARCHITECT, OWNER AND ELECTRICAL SUBCONTRACTOR PRIOR TO COMMENCING ELECTRICAL WORK AND PURCHASE OF FIXTURES.
2. VERIFY POWER REQUIREMENTS OF ALL APPLIANCES WITH SELECTED APPLIANCE MANUFACTURER.
3. RECESSED LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITER LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
4. EXHAUST FAN TO BE CAPABLE OF PROVIDING 5 FULL VOLUME AIR CHANGES PER HOUR.
5. WIRING DEVICES: SWITCHES AND CONVENIENCE OUTLETS SHALL BE "LEVITON" SPEC. GRADE. COLOR: WHITE, NOT IVORY. INSTALL AT HEIGHTS REQUIRED BY CURRENT CODE.
6. EXTENT: COMPLETE WIRING INSTALLATION FOR POWER, LIGHTING, SIGNAL SYSTEM AND TELEPHONE. CODES: ALL WIRING AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES INCLUDING TITLE 24.
7. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL PACKAGE FOR ARCHITECT TO REVIEW PRIOR TO ORDERING ANY LIGHT FIXTURES.

LIGHTING/REFLECTED CEILING PLAN LEGEND:

- CEILING MOUNTED PROJECTOR, VERIFY WITH OWNER
- EXIT SIGN - BACK MOUNTED
- EXIT SIGN - TOP, OR PENDANT MOUNTED SINGLE FACE WITH DIRECTIONAL ARROWS AS INDICATED
- EXIT SIGN - TOP, OR PENDANT MOUNTED DOUBLE FACE WITH DIRECTIONAL ARROWS AS INDICATED
- EMERGENCY LIGHTING UNIT "Y" SEE ELEC. ENG. DRAWINGS
- SMOKE DETECTOR
- BULKHEAD TYPE, SEE SHEET A501
- FIXTURE TYPE, SEE SCHEDULE ON THIS SHEET FOR DETAILS
- HEIGHT ABOVE FINISHED FLOOR BELOW ANNOTATED CEILING
- ROOM NAME
- ROOM NUMBER
- CEILING FINISH, SEE FINISH SCHEDULE ON SHEET A 101
- CEILING GRID
- GYPSUM BOARD

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CLIENT:

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PROJECT NO: 0921
 SCALE: _____

**THIRD FLOOR
 REFLECTED
 CEILING
 PLAN**

A 223

PERMIT ISSUE SET: 12.30.09

ELECTRICAL LIGHTING FIXTURE SCHEDULE

1. ALL FIXTURES AND LAMPS SHALL BE AS SPECIFIED. SUBSTITUTES NOT ALLOWED. LEAD TIME ON LIGHTING FIXTURES IS UP TO 8 WEEKS AFTER RELEASE OF ORDER. PRE-APPROVED LIGHTING SUBMITTALS AVAILABLE ON LINE AFTER AWARD OF CONTRACT. DOWNLIGHTS WILL BE FURNISHED WITH HANGER BARS SHIPPED SEPARATELY. ALL TRACK SHALL BE MOUNTED TO STRUT FURNISHED BY THE CONTRACTOR.

2. LIGHT FIXTURES AND LAMPS ARE FURNISHED BY THE NATIONAL ACCOUNT VENDOR, PURCHASED BY THE CONTRACTOR. VERIFY W/ OWNER. ALL QUANTITIES OF FIXTURES ON QUOTATIONS ARE GUARANTEED.

CONTACT INFORMATION AS FOLLOWS:
 WIEDENBACH-BROWN
 YORBA LINDA, CA
 (714) 692-2200
 N.A. EXEC: RON DOYLE X322
 ron.doyle@wblight.com
 N.AN PM: CAROL BROWN X324
 carol.brown@wblight.com

ELECTRICAL LIGHTING FIXTURE SCHEDULE

Symbol	Ref.	Height	Fixture Type	Manufacturer	Order Number	Lamps	Notes
	A	12'-0"	MH CAST CLOSED BACK GIMBAL TRACK FIXTURE - FURNISH WITH BLACK TRACK AND END-FEED CURRENT LIMITER	CON-TECH LIGHTING	# CTL8235S39MH6-B FIXTURE # LT8-X-B TRACK # LA-23-R-B-REGX	GE #CMH39 T/U/830/G12 (20153)	ONE HEAD PER CHAIR IN CLINIC AREAS, PROVIDE CURRENT-LIMITERS AS INDICATED ON ELECTRICAL PLANS. MOUNT TO UNI-STRUT WITH THREAD ROD.
	A1	12'-0"	HALOGEN PAR 38 BLACK TRACK FIXTURE FURNISH WITH BLACK TRACK.	COOPER - HALO	# L1807-PAL #L1980MB # L653-MB TRACK	GE #100 PAR38/HR/ SP-10-120V	6 TO 8 LIGHTS PER 12'-0" SECTION OF TRACK. VERIFY REQUIRED CONNECTIONS WITH MANUF. MOUNT TO UNI-STRUT WITH THREAD ROD.
	B	CEILING	7" COMPACT FLUOR HORIZONTAL DOWNLIGHT HAZE FINISH AND WHITE TRIM	COOPER - PORTFOLIO	# C7242E-7350H	(2)GE #F32/ TBX/SPX30	PROVIDE DIMMER SWITCH
	B1	CEILING	7" COMPACT FLUOR HORIZONTAL DOWNLIGHT HAZE FINISH AND WHITE TRIM	COOPER - PORTFOLIO	# C7142E-7150H	(1)GE #F26/ TBX/SPX30	
	C	CEILING	3" LOW VOLTAGE ADJUSTABLE DOWNLIGHT CLEAR FINISH AND WHITE TRIM	COOPER - HALO	# H36LVTAT-3004WHC	GE #Q37 MR16/CG/FL	PROVIDE DIMMER SWITCH
	D1	CEILING	2X4 (2) LAMP RECESSED INDIRECT FLUORESCENT TROFFER	CORELITE - CLASS R2	# R2-W-L-2T5-1-S-24 - UNV	(2) F54T5HO/ 830	
	D1F	CEILING	2X4 (2) LAMP RECESSED INDIRECT FLUORESCENT TROFFER WITH FLANGE KIT	CORELITE - CLASS R2	# R2-W-L-2T5-1-S-24 - UNV	(2) F54T5HO/ 830	
	D6	CEILING	2X4 (3) LAMP RECESSED INDIRECT FLUORESCENT TROFFER	CORELITE - CLASS R2	# R2-W-L-3T5-1-S-24 - UNV	(3) F54T5HO/ 830	
	D6F	CEILING	2X4 (3) LAMP RECESSED INDIRECT FLUORESCENT TROFFER WITH FLANGE KIT	CORELITE - CLASS R2	# R2-W-L-3T5-1-S-24 - UNV	(3) F54T5HO/ 830	
	E	CEILING	1X4 WRAP SURFACE MOUNT WITH ACRYLIC LENSE FLUORESCENT	METALUX - W SERIES	# W-232A-UNV-EB81	(2) F32T8/ SPX30	
	G	8'-3" - 9'-0"	LINEAR FLUORESCENT PENDANT MOUNTED UPLIGHT	FOCAL POINT - EVOLUTION 1	# FEVS-CT-2T8-UNV-S-CXX - TS	(2) F32T8/ SPX30	T-BAR, HARD-LID, OR DROP CEILING CONDITION. VERIFY CABLE SUSPENSION LENGTH "CXX"
	H	7'-0"	VAPOR-TITE INCANDESCENT WALL/CEILING FIXTURE	COOPER - LUMARK	# ICVC1G	GE #60A/ RVL-120V	CEILING MOUNT FIXTURE TO BE MOUNTED ON WALL IN RESTROOMS. RECESS J-BOX.
	H2	WALL	WALL MOUNT LINEAR FLUORESCENT	LIGHTOLIER "BRISA" CURVE	# FC14U-FCA1	F14-T5/830	WALL MOUNTED FIXTURE AT MAKE-UP BAR
	J3	CEILING	12" METAL HALIDE HIGH-BAY WITH ELECTRONIC BALLAST	SPECTRUM - LUMEN MAX EXT CF SERIES	# CZ1208PR12/MH100EX/CNL/ SM/WH	CMH100/C/U/ MED	
	K1	7'-0" - 8'-0"	7.5" INCANDESCENT DECORATIVE PENDANT	PRISMA - OPTALUM	# 073726-2781	GE #60A/ RVL-120V	FOR USE AT RECEPTION AND CONFERENCE ROOM; PROVIDE DIMMER SWITCH IN CONF. ROOM ONLY VERIFY FIXTURE WITH OWNER
	E1	CEILING	EXISTING 2X4 FIXTURE TO BE RELOCATED AND REUSED				CLEAN AND RELAMP FIXTURE
	E2	CEILING	EXISTING 2X2 FIXTURE TO BE RELOCATED AND REUSED				CLEAN AND RELAMP FIXTURE

EMERGENCY LIGHTS (SEE ELECTRICAL DRAWINGS)

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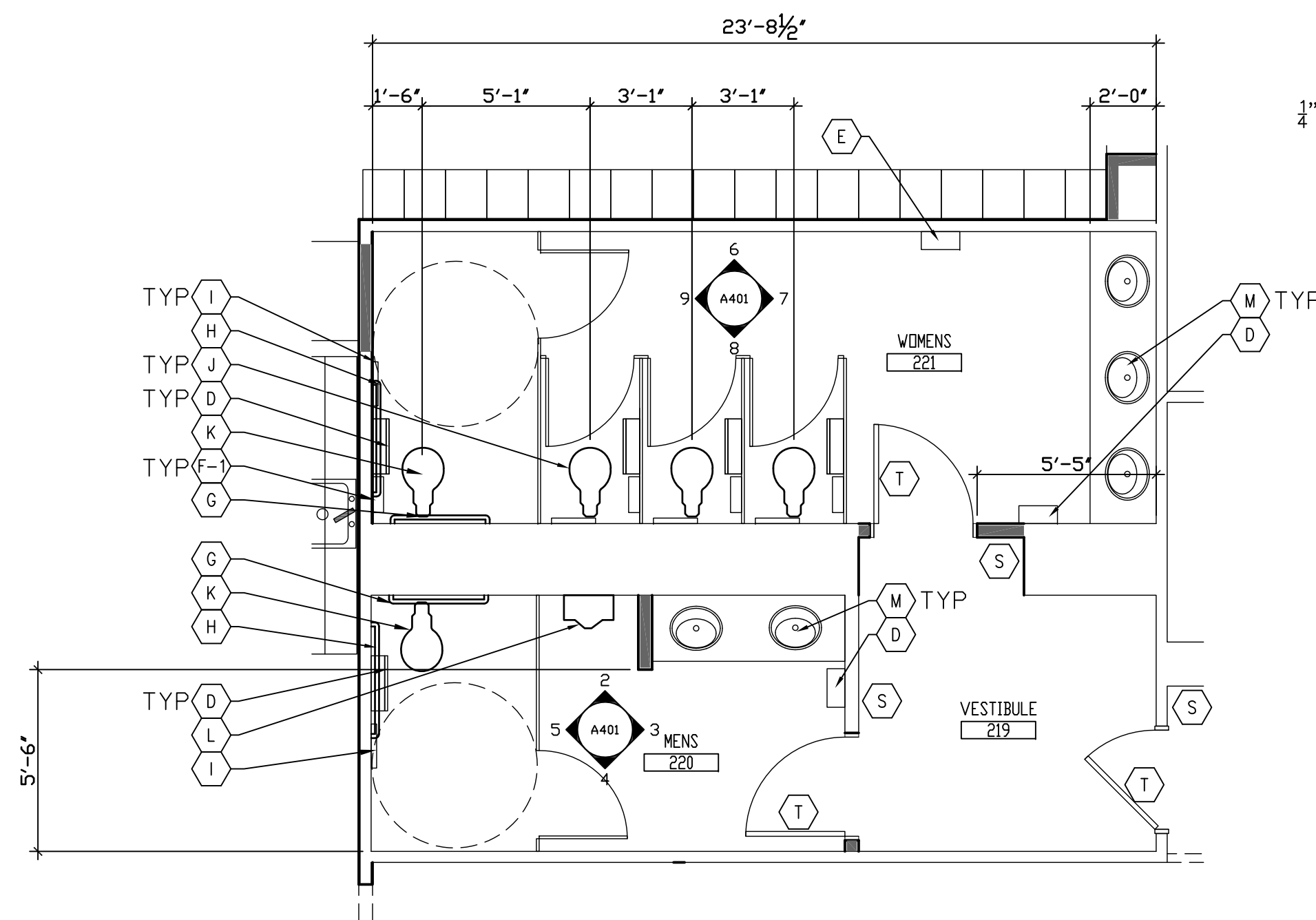
PROJECT NO: 0921

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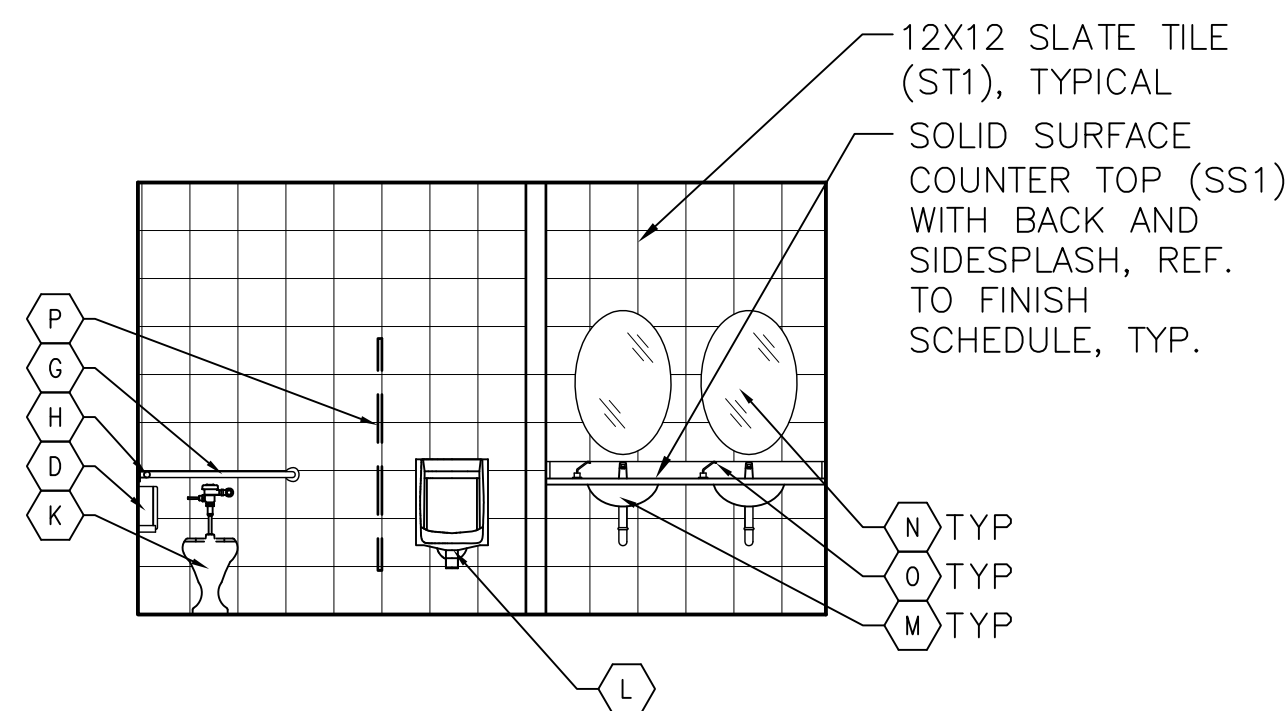
LIGHTING
 SCHEDULE

A 224

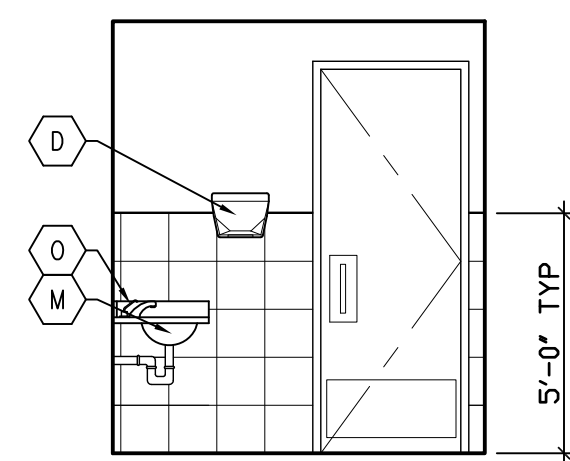
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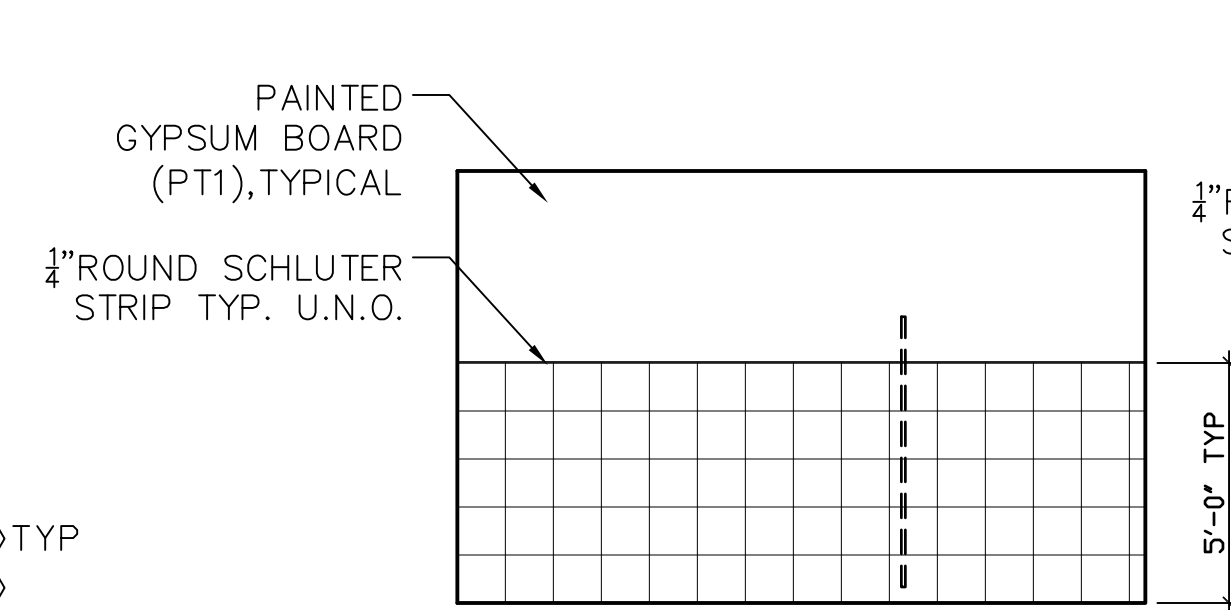
1 ENLARGE RESTROOM PLANS
A402 SCALE: 3/16"=1'-0"



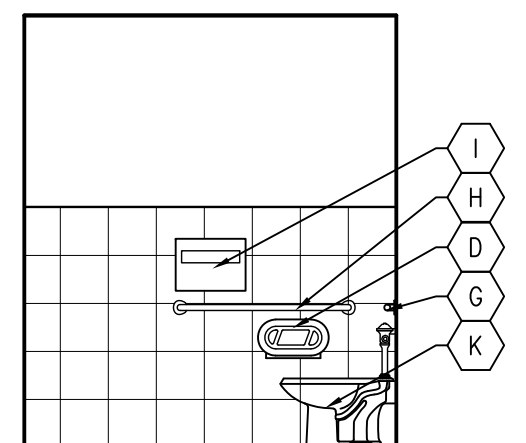
2 MENS #220 - NORTH
A402 SCALE: 1/4"=1'-0"



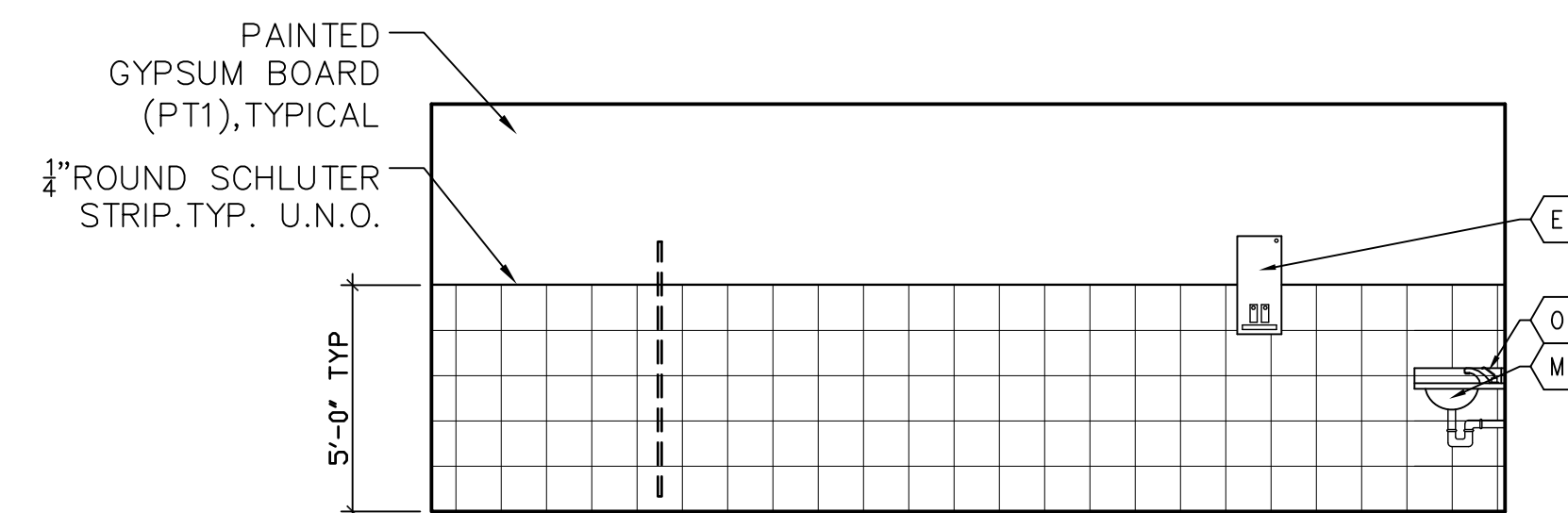
3 MENS #119 - EAST
A402 SCALE: 1/4"=1'-0"



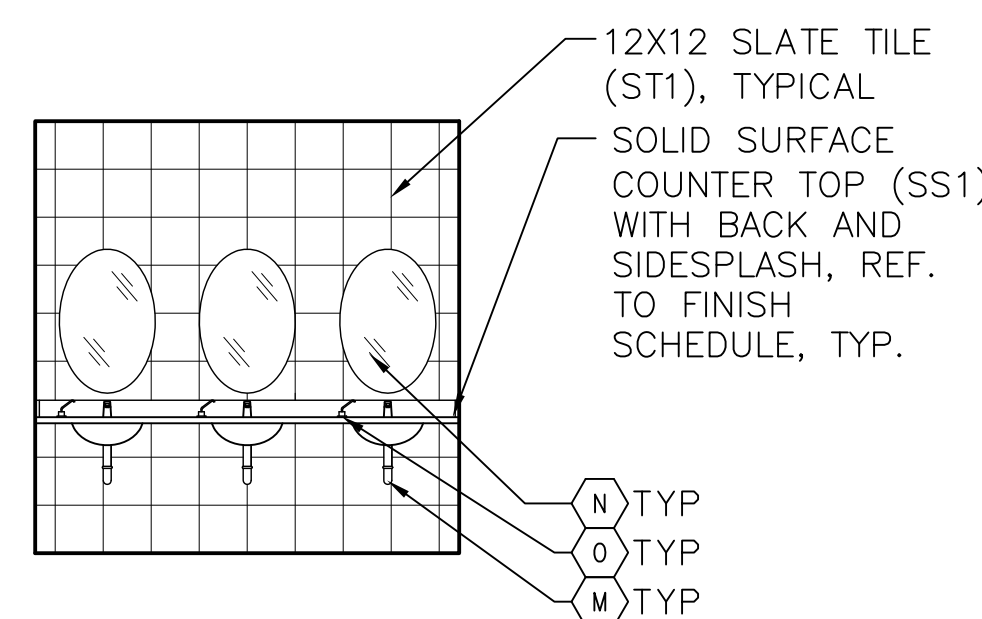
4 MENS #119 - SOUTH
A402 SCALE: 1/4"=1'-0"



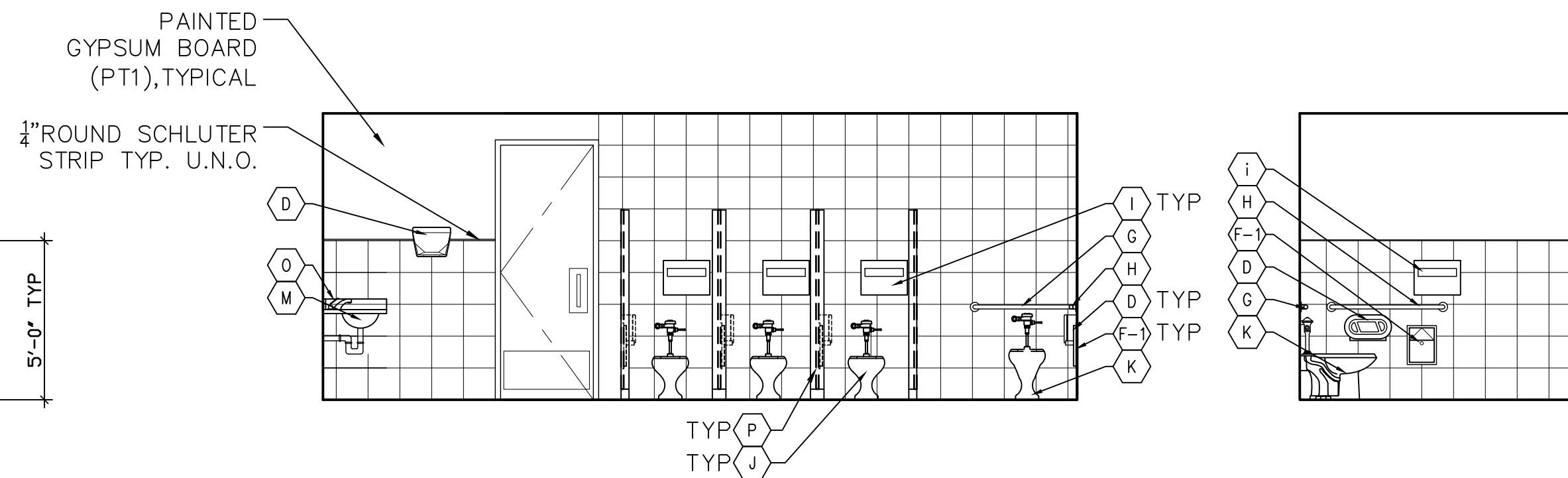
5 MENS #119 - WEST
A402 SCALE: 1/4"=1'-0"



6 WOMENS #118 - NORTH
A402 SCALE: 1/4"=1'-0"



7 WOMENS #118 - EAST
A402 SCALE: 1/4"=1'-0"



8 WOMENS #118 - SOUTH
A402 SCALE: 1/4"=1'-0"

9 WOMENS #118 - WEST
A402 SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL RESTROOMS FLOORS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE WHICH EXTENDS FLOOR TO CEILING (MINIMUM 48" REQUIRED). REFER TO FINISH SCHEDULE.
2. ACCESSIBLE TOILET COMPARTMENT DOORS TO BE SELF CLOSING, PROVIDED WITH A "U" SHAPE HANDLE ON THE INSIDE AND OUTSIDE OF THE DOOR IMMEDIATELY BELOW THE ACCESSIBLE LATCH. PROVIDE 32" MIN. CLEAR AT END OPENING OF COMPARTMENT AND 34" CLEAR AT SIDE OF OPENING COMPARTMENT.
3. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
4. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR ALL BLOCKING AND SUPPORT REQUIRED FOR ANCHORING OF ACCESSORIES TO PARTITIONS, REFER TO PLANS FOR LOCATIONS OF RECESSED OR SURFACE MOUNTED ITEMS.
5. REFER TO SHEET A221, A222, A223 FOR FINISHED CEILING HEIGHTS.
6. REFER TO SHEET A104 FOR FINISH SCHEDULE.
7. REFER TO SHEET A402 FOR TOILET ACCESSORY AND PLUMBING FIXTURE SCHEDULE AND MOUNTING HEIGHTS.
8. SCHULTER STRIP TRIM PIECE AT 5'-0" SLATE WALL, REFER TO A104

RESTROOM KEYNOTES:

- A. SURFACE MOUNTED PAPER TOWEL DISPENSER BY A.S.I. #821
- A-1. SURFACE MOUNTED AUTOMATIC PAPER TOWEL DISPENSER BY GEORGIA PACIFIC ENVIROMENT #59428
- B. SURFACE MOUNTED ELECTRIC HAND DRYER BY XLERATOR #XL-CR - TEXTURE GRAPHITE. VERIFY POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION.
- C. SURFACE MOUNTED WASTE RECEPTACLE, #8825 BY A.S.I.
- C-1. FREE STANDING WASTE RECEPTACLE BY A.S.I. #8810
- D. SURFACE MOUNTED JUMBO-ROLL TOILET TISSUE DISPENSER BY A.S.I. #0040.
- D-1. SURFACE MOUNTED TWIN LIDE-A ROLL TOILET TISSUE DISPENSER BY A.S.I. # 0030
- E. SURFACE MOUNTED SANITARY NAPKIN/TAMPON VENDOR #0864 BY A.S.I. PARTITION MOUNTED DUAL SANITARY NAPKIN DISPOSAL #0472 BY A.S.I.
- F-1. SURFACE MOUNTED SANITARY NAPKIN DISPOSAL #0473 BY A.S.I.
- G. EXISTING 36" GRAB BARS TO BE RELOCATED
- H. EXISTING 42" GRAB BARS TO BE RELOCATED
- I. WALL MOUNTED TOILET SEAT COVER DISPENSER, PROFILE COLLECTION, #9477-SM BY A.S.I.
- J. EXISTING WATER CLOSET TO BE RELOCATED
- K. EXISTING H.C. WATER CLOSET TO BE RELOCATED
- L. EXISTING URINAL TO BE RELOCATED
- M. LAVATORY #K-2602-S "RHYTHM" BY KOHLER, SATIN FINISH, UNDER COUNTER, FLAT RIM. PROVIDE RELIANT #2385.005, 2.2 GPM FAUCET BY AMERICAN STANDARD WITH TEMPERATURE STOPS SET AT 110F.
- N. MIRROR BY GENERAL CONTRACTOR, VERIFY WITH OWNER
- O. SOAP DISPENSER WITH 6" LONG SPOUT AND HIGH RISE STEM FOR CLEARANCE WITH SINK BY A.S.I. #0332-D.
- P. SOLID PLASTIC TOILET PARTITION OR WALL-HUNG URINAL SCREEN BY COMTEC INDUSTRIES / CAPITAL PARTITIONS OR EQUAL. FLOOR MOUNTED, OVERHEAD BRACED, COLOR CHARCOAL GRAY. PROVIDE LOOP OR U-SHAPED HARDWARE. 800.445.5148. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW.
- Q. BARRIER FREE DUAL HEIGHT WALL MOUNTED DRINKING FOUNTAIN # MMRSL STAINLESS STEEL BY "OASIS"
- OPTION: BOTTLE COOLER - BSA SERIES OASIS # BSATSK (COLD N' COLD) STAINLESS STEEL.
- R. I.C. UNIVERSAL DESIGN WALL HUNG LAVATORY # 0954-023 BY AMERICAN STANDARD "MORRO", 34" MAX HEIGHT REQUIRED. ADA FAUCET #1895 -CP BY CHICAGO FAUCETS. ADA FIXED ANGLE TILT MIRROR # 0535 BY A.S.I.
- S. WALL-MOUNTED STANDARD ACCESSIBLE SIGNAGE WITH CORRESPONDING GRADE II BRAILLE TO BE LOCATED ON LATCH SIDE OF DOOR, CLEAR OF DOOR SWING. MOUNT AT 60" TO CENTERLINE OF SIGN FROM DOOR. ADA #4.30.
- T. DOOR MOUNTED STANDARD ACCESSIBLE SIGNAGE. MOUNT AT 60" TO CENTERLINE OF SIGN FROM FLOOR. PROVIDE A CONTRASTING COLORED 1/4" THICK, 12" EQUILATERAL TRIANGLE ON MEN'S RESTROOM DOOR, AND A 1/4" THICK, CONTRASTING COLORED 12" DIAMETER CIRCLE ON THE WOMEN'S RESTROOM DOOR. ADA #4.30.6.
- U. FLOOR DRAIN #2805-B BY J.R. SMITH, CAST IRON BODY WITH 1/2" NICKEL-BRONZE STRAINER HEAD. SLOPE FLOOR DRAIN PER PLAN, 1/4" PER 12".
- V. WALL MOUNTED VERTICAL SOAP DISPENSER BY A.S.I. #6217

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ENLARGED RESTROOM PLANS & ELEVATIONS

A 401

DOOR SCHEDULE

MAS. = MASONITE HARDBOARD ALUM. = ALUMINUM STL. = STEEL
PT. = PAINTED H.M. = HOLLOW METAL SF = STORE FRONT

DOOR NO.	LOCATION	FIRE RATING (IN HOURS)	SIZE			TYPE	MAT.	FIN.	FRAME				HARDWARE SET NO.	PANC. HDW.	TEMP GLASS	NOTES/REMARKS
			WIDTH	HEIGHT	THK.				TYPE	CASING MAT.	CASING FIN.	DETAIL HEAD				
FIRST FLOOR:																
ST101.1	STAIR #1	EXIST.					EXIST.									PANIC HARDWARE; VIF
103.1	DISTRIBUTION	-	3'-0"	7'-0"	1 3/4"	B	MAS.	PT.	01	ALUM.	MILL	H1	J1			
104	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
105	MECHANICAL CLOS.	-	PR 3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
102	STAIR #2	EXIST.					EXIST.									PANIC HARDWARE; VIF
SECOND FLOOR:																
ST201	STAIR #1	EXIST.					EXIST.									PANIC HARDWARE; VIF
203	SALES OFFICE	-	3'-0"	7'-0"	1 3/4"	B1	ALUM.	SF.	04	ALUM.	MILL	H1	J2			
204	SERVER CLOSET	-	3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
205	HALLWAY 225	45 MIN	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
207.1	DRYER STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
207.2	DRYER STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
208	WASH HOUSE	-	PR 3'-0"	7'-0"	1 3/4"	H	ALUM.	SF.	06	ALUM.	MILL	H1	J2			PIVOT HINGED FROSTED GLASS DOORS
209	BACK DISPENSE	-	3'-0"	7'-0"	1 3/4"	G	MAS.	PT.	01	ALUM.	MILL	H1	J1			
210	COAT CLOSET	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
211	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
212	LAUNDRY	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
213.1	GEN. CLASSROOM	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
213.2	GEN. CLASSROOM	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
213.3	GEN. CLASSROOM	45 MIN	3'-0"	7'-0"	1 3/4"	C2	MAS.	PT.	01	ALUM.	MILL	H1	J1			
213.4	GEN. CLASSROOM	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
214	ADMISSIONS	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
215.1	A/V BOOTH	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
215.2	A/V BOOTH	-	PR 3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
215a	A/C CLOSET	-	3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
216	NAIL CLINIC	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
217	W.H. CLOSET	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
218	S/R ROOM	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
219	VESTIBULE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
220	MENS	-	3'-0"	8'-0"	1 3/4"	F	MAS.	PT.	01	ALUM.	MILL	H1	J1			
221	WOMENS	-	3'-0"	7'-0"	1 3/4"	F	MAS.	PT.	01	ALUM.	MILL	H1	J1			
ST202	STAIR #2	EXIST.					EXIST.									PANIC HARDWARE; VIF
THIRD FLOOR:																
301	L.L. ADVISOR	EXIST.					EXIST.									
302	EDUCATION	EXIST.					EXIST.									
303.1	L.L. OFFICE	EXIST.					EXIST.									
303.2	L.L. OFFICE	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
304a	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
305	F.P. LIBRARY	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
306	CORE CLASSROOM	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
306a	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
307	DIRECTOR OFFICE	EXIST.					EXIST.									
308	OWNER OFFICE	EXIST.					EXIST.									
309	OPERATIONS	EXIST.					EXIST.									
310	FINANCIAL AID	EXIST.					EXIST.									
311	STORAGE	EXIST.					EXIST.									
314	CORE CLASSROOM	-	3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
314a	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
315	SPECIALTY CLASS	-	PR 3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
315a	STORAGE	-	3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
316	MECHANICAL CLOS.	-	3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
318	THEORY CLASS	-	PR 3'-0"	7'-0"	1 3/4"	C	MAS.	PT.	01	ALUM.	MILL	H1	J1			
318a	STORAGE	EXIST.					EXIST.									
319	JANITOR CLOSET	EXIST.					EXIST.									
320	MENS	EXIST.					EXIST.									
323	WOMENS	EXIST.					EXIST.									
324	CAPER STOR.	-	PR 3'-0"	7'-0"	1 3/4"	A	MAS.	PT.	01	ALUM.	MILL	H1	J1			
ST302	STAIR #2	EXIST.					EXIST.									PANIC HARDWARE; VIF
326.1	PHONE/SERVER	-	PR 3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
326.2	PHONE/SERVER	-	PR 3'-0"	7'-0"	1 3/4"	A1	MAS.	PT.	01	ALUM.	MILL	H1	J1			
ST301	STAIR #1	EXIST.					EXIST.									PANIC HARDWARE; VIF

DOOR NOTES

- ALL INTERIOR DOORS TO BE SOLID CORE MASONITE HARDBOARD WITH SMOOTH FINISH, UNLESS NOTED OTHERWISE. DOOR FRAMES AND CASING TO BE ALUMINUM BY "ADVANCED ARCHITECTURAL FRAMES" - COMMERCIAL ANODIZED FINISH, WITH "VENUS" 1 1/2" X 3/8" TRIM. EXTERIOR DOORS AND FRAMES TO MATCH EXISTING; VERIFY WITH OWNER.
- DOOR CLOSERS SHALL BE ADJUSTED TO PROVIDE A MAXIMUM FORCE OF 5 LBS TO OPERATE. FIRE DOOR CLOSER SHALL BE ADJUSTED TO MINIMUM FORCE ACCEPTABLE TO FIRE MARSHAL.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
- ALL LEGAL EXITS SHALL BE PROVIDED WITH SELF-ILLUMINATING EXIT SIGNS HAVING 6" LETTERS WITH 3/4" STROKES IN CONTRASTING COLORS AND WITH TWO SOURCES OF POWER.(SEE SIGNAGE DETAIL).
- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD.
- PAINT INTERIOR DOORS TO MATCH ADJACENT WALL COLOR, U.O.N.
- ALL GLASS SHALL BE TEMPERED, CLEAR GLASS, U.O.N.
- ALL PAIRS OF DOORS SHALL HAVE FLUSH BOLTS.
- ALL HARDWARE TO BE USED IN LABELED ASSEMBLIES SHALL BE UL LISTED FOR USE IN SUCH ASSEMBLIES.
- DO NOT INSTALL ALARM LOCKS ON DOORS WITH HOLD-OPENS.
- EXIT DOORS SHALL HAVE A SIGN ON TOP RAIL STATING 'THIS DOOR SHALL REMAIN UNLOCKED WHENEVER BUILDING IS OCCUPIED' IN 1" HIGH WHITE LETTERS ON A TRANSPARENT BACKGROUND. LOCKING DEVICE TO BE OF TYPE THAT IS READILY DISTINGUISHABLE AS LOCKED.
- DOORS WITHIN THE PATH OF TRAVEL FOR HANDICAPPED SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER, PANIC BAR OR PUSH/PULL HARDWARE.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

HARDWARE SCHEDULE AND NOTES

HARDWARE NOTES:

- DOOR STOPS AND BUMPERS TO BE INSTALLED BEHIND ALL DOORS PER HARDWARE SCHEDULE.
- PROVIDE ONE DOZEN KEYS FOR EACH LOCK.
- PLEASE CONTACT PDF ARCHITECTS FOR CURRENT HARDWARE SET SPECIFICATIONS.

MANUFACTURERS:

ABBR.

MC	MCKINNEY
MW	MCKINNEY WEATHERSTRIP
NO	NORTON
RX	RIXSON
SA	SARGENT

FINISHES:

ANSI	US	FINSIH	BASE METAL
619	15	SATIN NICKEL PLATED, CLEAR COATED	BRASS, BRONZE
626	26D	SATIN CHROMIUM PLATED	BRASS, BRONZE
630	32D	SATIN STAINLESS STEEL	STAINLESS STEEL
689		ALUMINUM PAINTED	ANY
BLU		BLUE	ANY
GRY		GRAY	ANY

DOOR TYPES:

TYPE

A	TYPICAL STORAGE/TYPICAL STORAGE PAIR
B	TYPICAL OFFICE
C	TYPICAL CLASSROOM
D	TYPICAL EXTERIOR STOREFRONT
E	TYPICAL EMERGENCY EXIST
F	TYPICAL RESTROOM/TYPICAL UNISEX RESTROOM
G	TYPICAL BACK DISPENSE
H	TYPICAL WASH HOUSE

DOOR SIGNAGE :

ACCESSIBLE RESTROOM SIGNAGE

WALL MOUNTED SIGNAGE

INTERNATIONAL SYMBOL OF ACCESSIBILITY

1/32" RAISED INTERNATIONAL MALE AND FEMALE "SUBSURFACE" SYMBOLS IN CONTRASTING COLORS WITH BACKGROUND.

INTERNATION SIGN OF ACCESSIBILITY

1/4" TH. CLEAR MATTE ACRYLIC BACKGROUND PAINT

3/4" HIGH X 1/32" RAISED ACRYLIC.

TYPE STYLE: "OPTIMA", ALL CAPS. TYPE WIDTH: NORMAL OR .66 MIN. CORRESPONDING GRADE 11 BRAILLE

ADDITIONAL SIGNAGE SHALL BE PROVIDED ON WALL AT A HEIGHT OF 60" ADJACENT TO THE STRIKE EDGE OF THE DOORS TO THE SANITARY FACILITIES. SIGNAGE SHALL CONSIST OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ABOVE A VERBAL DESCRIPTION OF THE ROOM AND ACCOMPANIED BY CORRESPONDING GRADE 2 BRAILLE.

3/4" HIGH X 1/32" RAISED ACRYLIC. TYPE STYLE: "OPTIMA", ALL CAPS. TYPE WIDTH: NORMAL OR .66 MIN. CORRESPONDING GRADE 11 BRAILLE

AS PER SEC. 522.(B)7 SUPPLY AT ALL ACCESSIBLE BUILDING ENTRANCES.

BLUE BACKGROUND. NOTE: BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595a.

12 GA. NON-CORROSIVE METAL FINISH.

WHITE SYMBOL BACKGROUND. BACKGROUND AND TYPE TO HAVE CONTRASTING COLORS.

MOUNT TO SUBSTRATE AS REQUIRED FOR EACH LOCATION.

ALL SIGNAGE TO MEET CURRENT ADA AND TITLE 24 STANDARDS.

4' X 6' CURVED ALUMINUM FRAME WITH CLEAR ACRYLIC LENS WITH BLACK TEXT AND BRAILLE BEADS

PERMIT ISSUE SET: 12.30.09

ARCHITECTS OF RECORD:

BRADFORD J. DUDLEY
345 THIRD STREET
LAGUNA BEACH, CALIFORNIA 92651
T: 949.376.3076 F: 949.376.3078

PAUL MITCHELL
PARTNER SCHOOL

METAIRIE, LA

3321 HESSMER AVENUE
METAIRIE, LA 70002

CLIENT:

MARK AND LISA PALERMO

PROFESSIONAL SEAL:

SIGNATURE _____ DATE _____

SUBMISSION	DATE
CONCEPT PLAN	12.01.09
CONSULTANT COORDINATION	12.14.09
PERMIT ISSUE SET	12.30.09

PROJECT NO: 0921

SCALE: _____

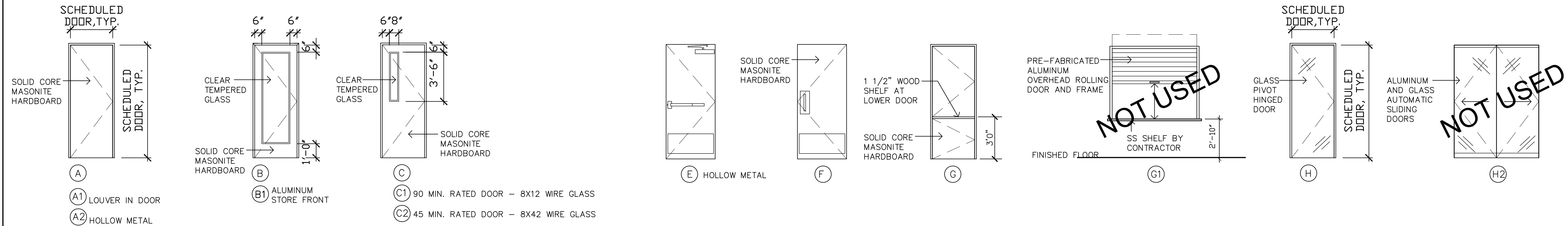
DOOR SCHEDULE
HARDWARE
& SIGNAGE

A 501

DOOR TYPES:

- A = STORAGE, JANITOR, CLOSETS, LAUNDRY.
- B = FACULTY OFFICES
- C = CLASSROOMS, GENERAL CLASSROOM
- D = EXTERIOR STOREFRONT
- E = EMERGENCY EXIT
- F = RESTROOMS
- G = DISPENSE
- H = WASH HOUSE

- GENERAL NOTES:
1. REFERENCE SHEET A502 FOR FRAME DETAILS (B)
 2. REFERENCE SHEET A501 FOR DOOR SCHEDULE AND HARDWARE SCHEDULE
 3. ALL DIMENSIONS TO BE VERIFIED IN FIELD.



- NOTE:
1. ALL NEW INTERIOR DOORS TO BE PAINTED TO MATCH SCHEDULED WALL COLOR, UNLESS OTHERWISE NOTED.
 2. EXISTING DOORS TO REMAIN SHALL BE FINISHED TO MATCH NEW DOORS.

ARCHITECTS OF RECORD:

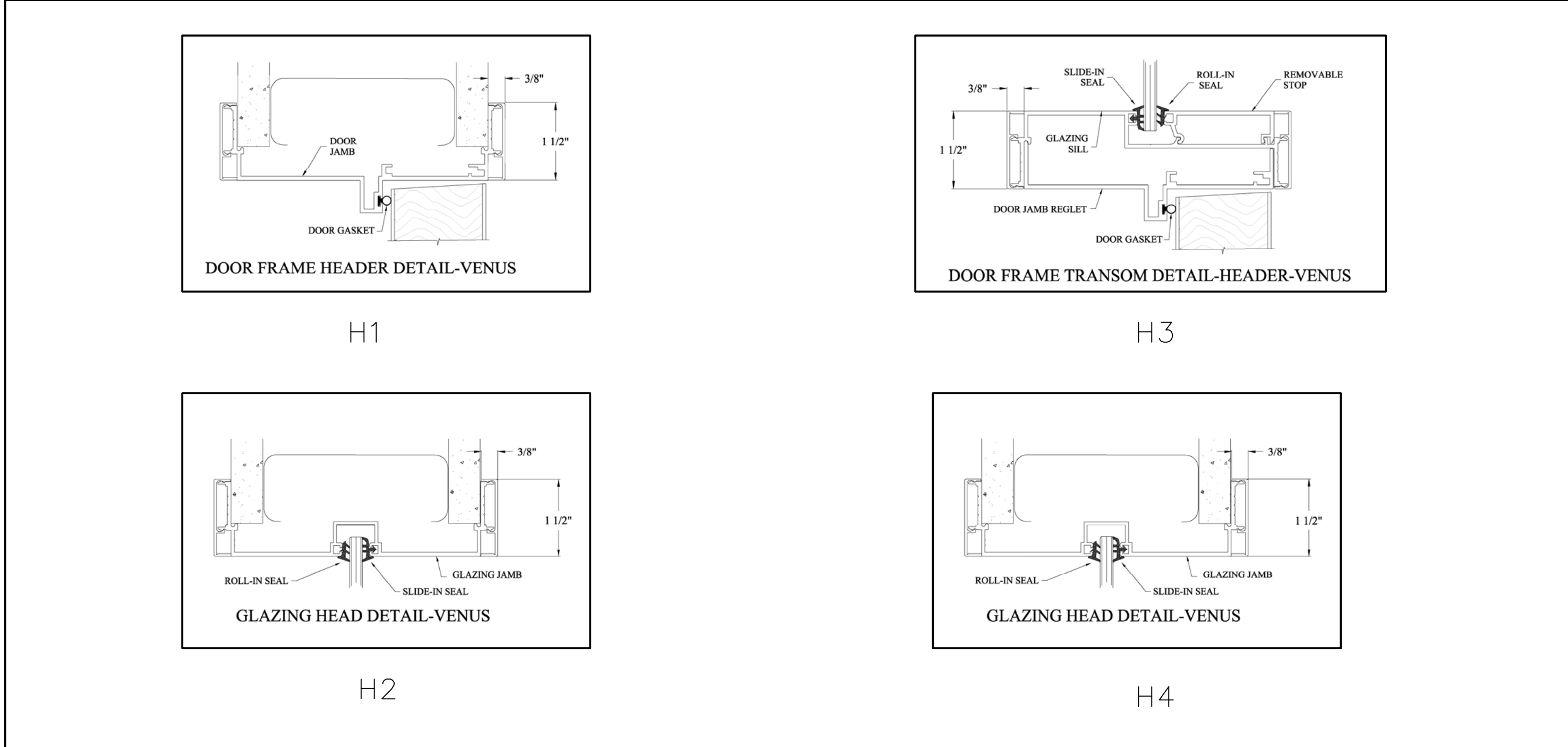
BRADFORD J. DUDLEY
 345 THIRD STREET
 LAGUNA BEACH, CALIFORNIA 92651
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PAUL MITCHELL
PARTNER SCHOOL

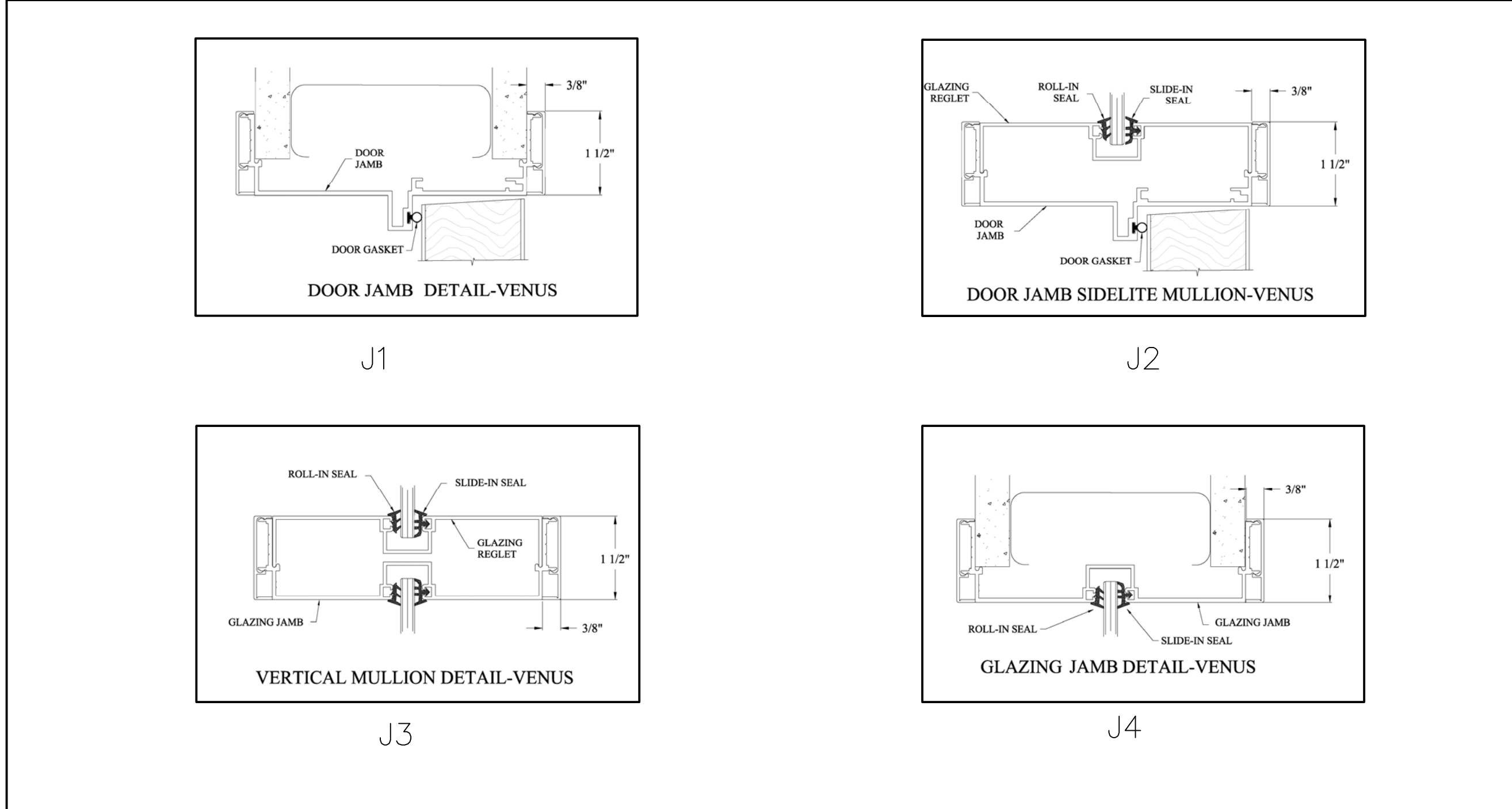
METAIRIE, LA

3321 HESSMER AVENUE
 METAIRIE, LA 70002

HEAD DETAILS:



JAMB DETAILS:



CLIENT:

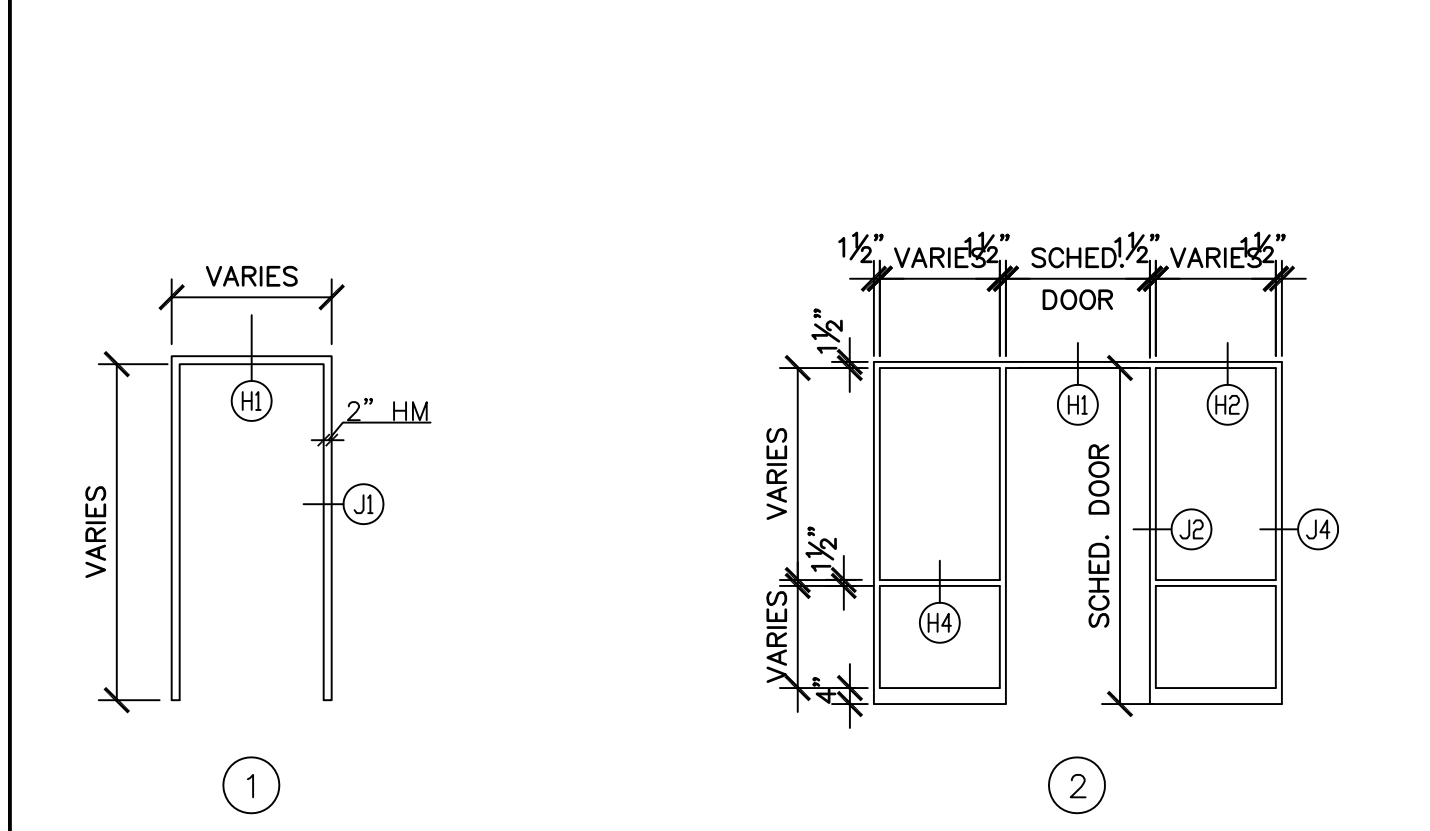
MARK AND LISA PALERMO

PROFESSIONAL SEAL:

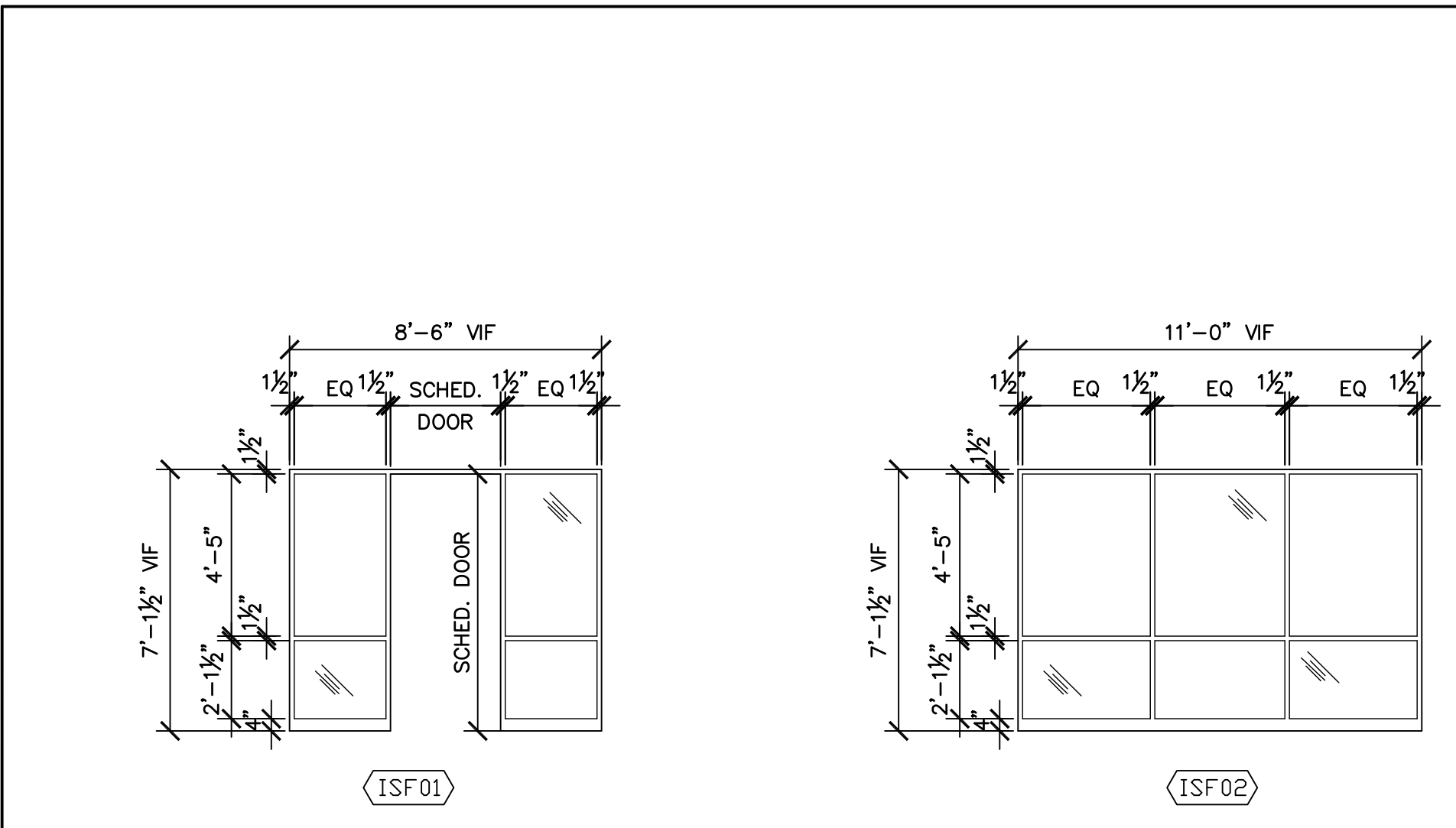
SIGNATURE _____ DATE _____

FRAME TYPES:

- NOTE:
1. SEE DOOR SCHEDULE FOR FRAME MATERIAL AND FINISH.
 2. EXISTING FRAMES TO REMAIN SHALL BE FINISHED TO MATCH NEW DOORS.
 3. REFER TO SHEET A502 FOR HEAD AND JAMB DETAILS.



INTERIOR STOREFRONT SCHEDULE:



PERMIT ISSUE SET: 12.30.09

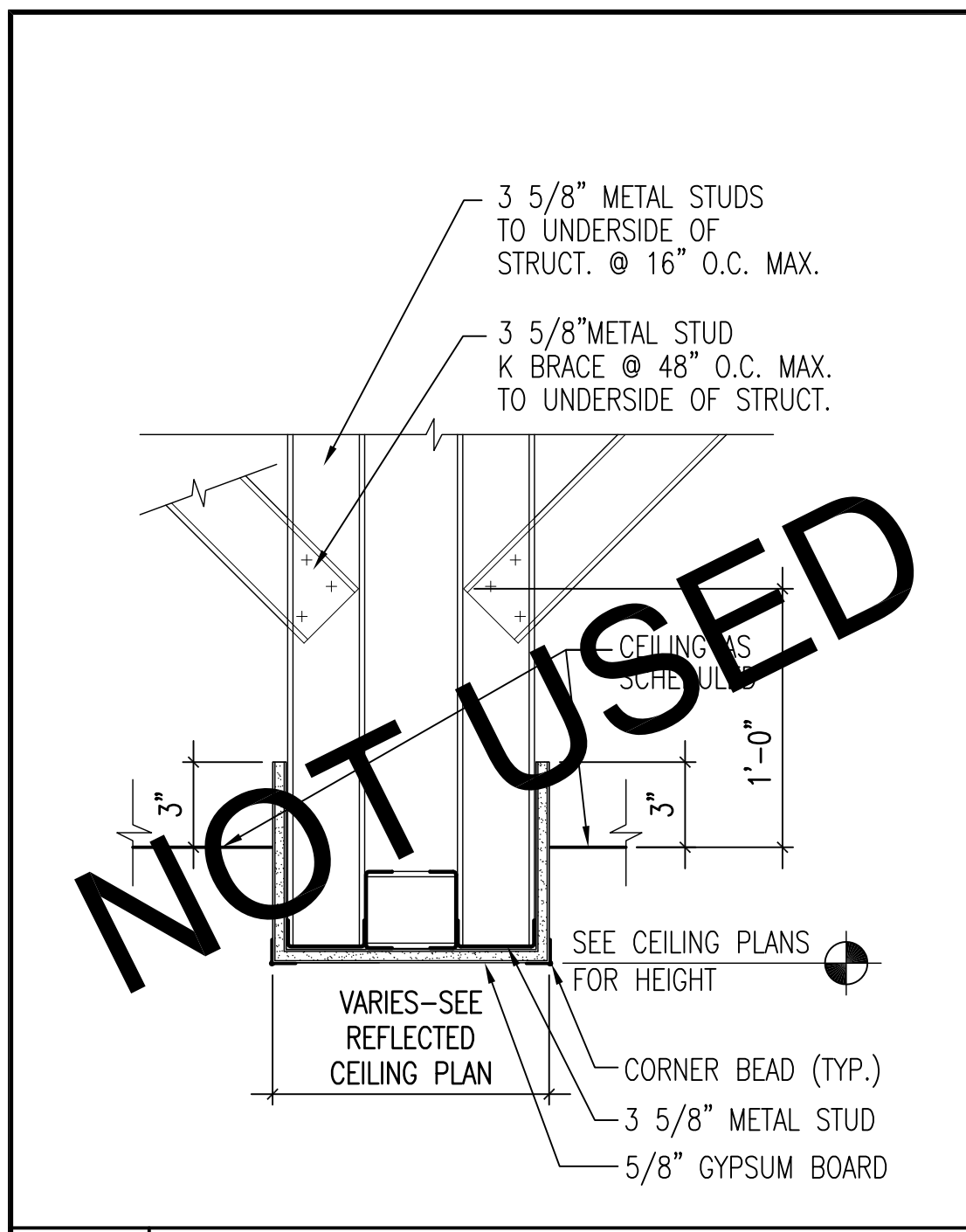
SUBMISSION	DATE
CONCEPT PLAN	12.01.09
CONSULTANT COORDINATION	12.14.09
PERMIT ISSUE SET	12.30.09

PROJECT NO: 0921

SCALE: _____

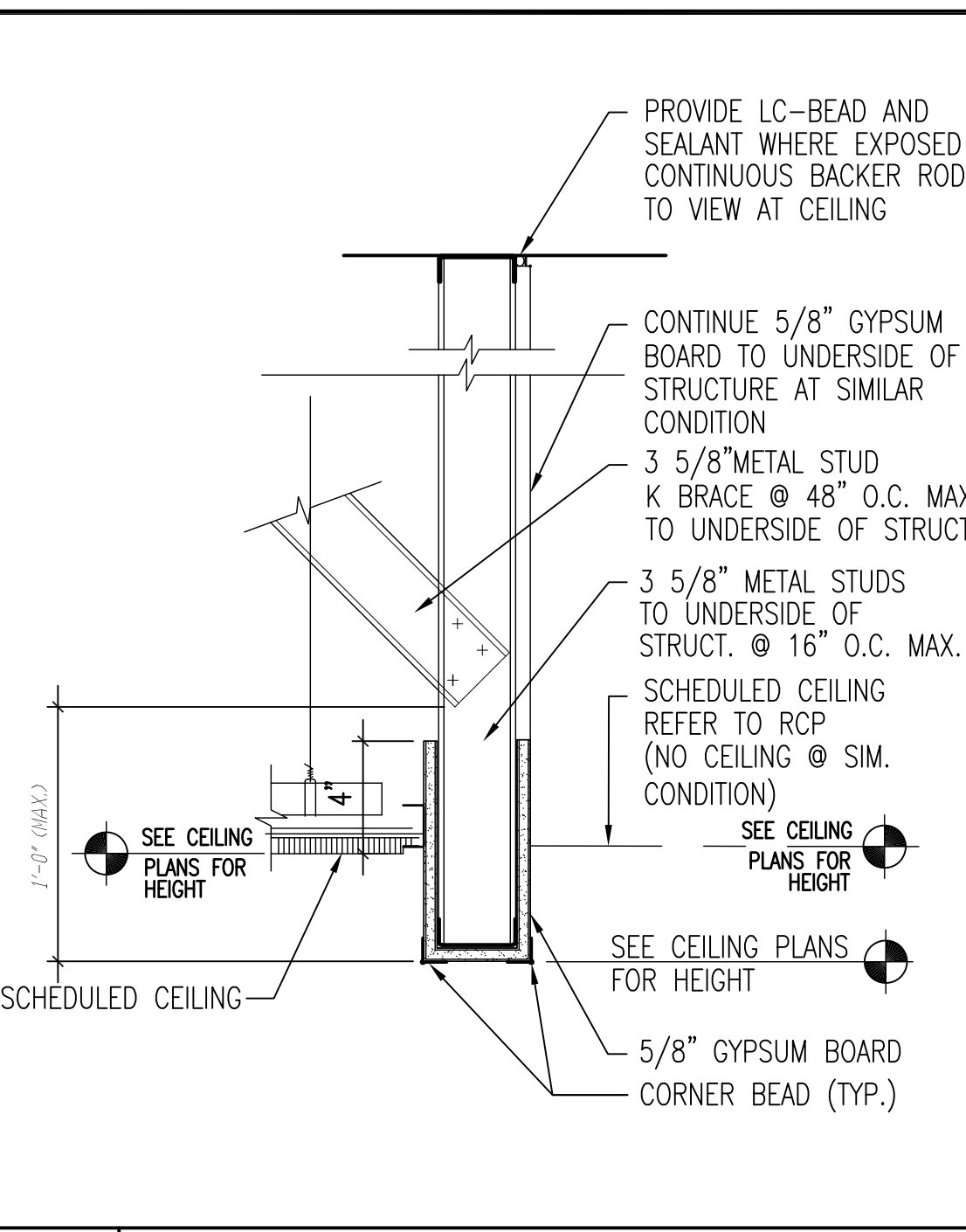
DOOR TYPES,
 SF SCHEDULE,
 FRAME DETAILS
 & TYPES

A 502

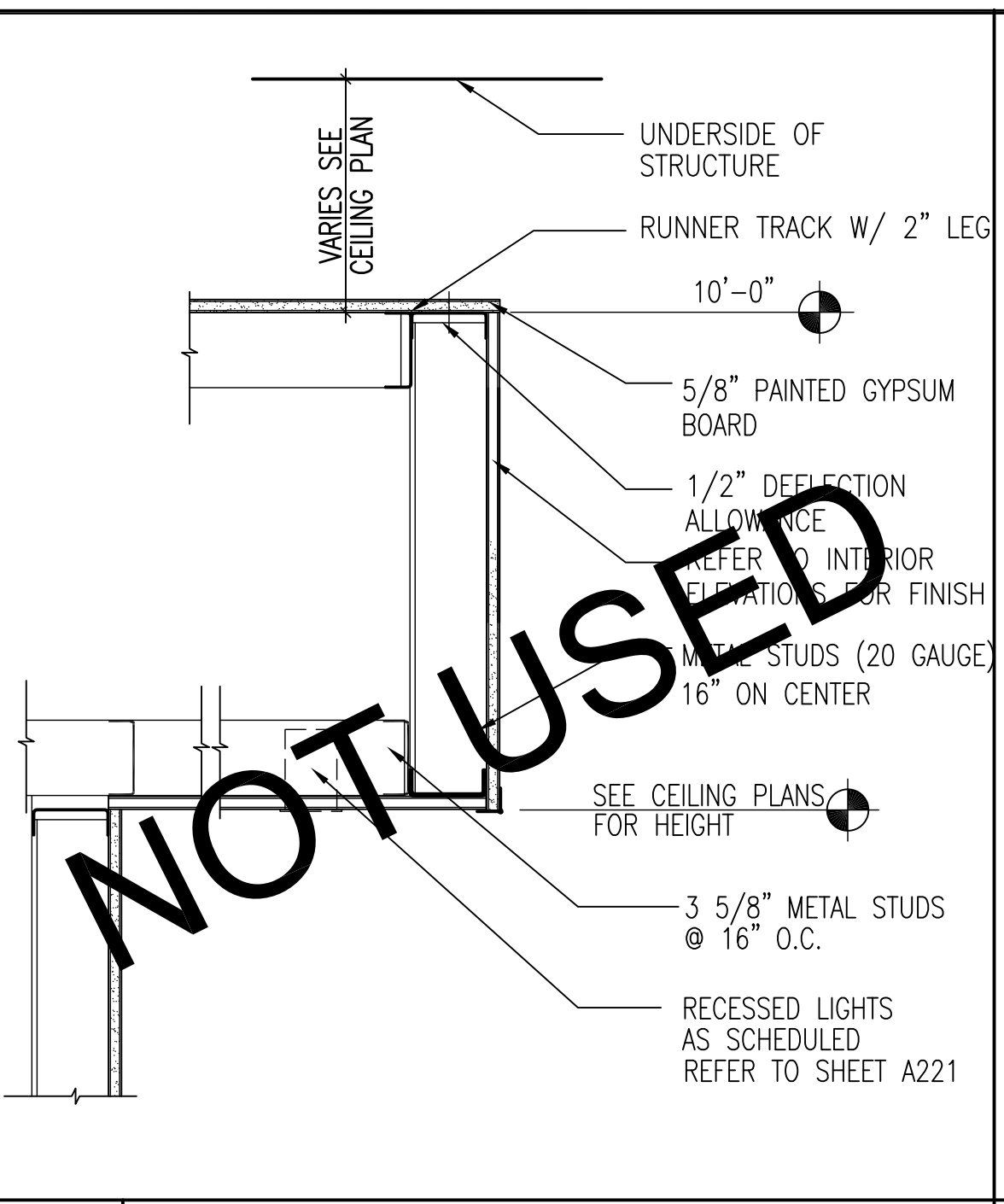


NOT USED

15 GYPSUM BOARD BULKHEAD

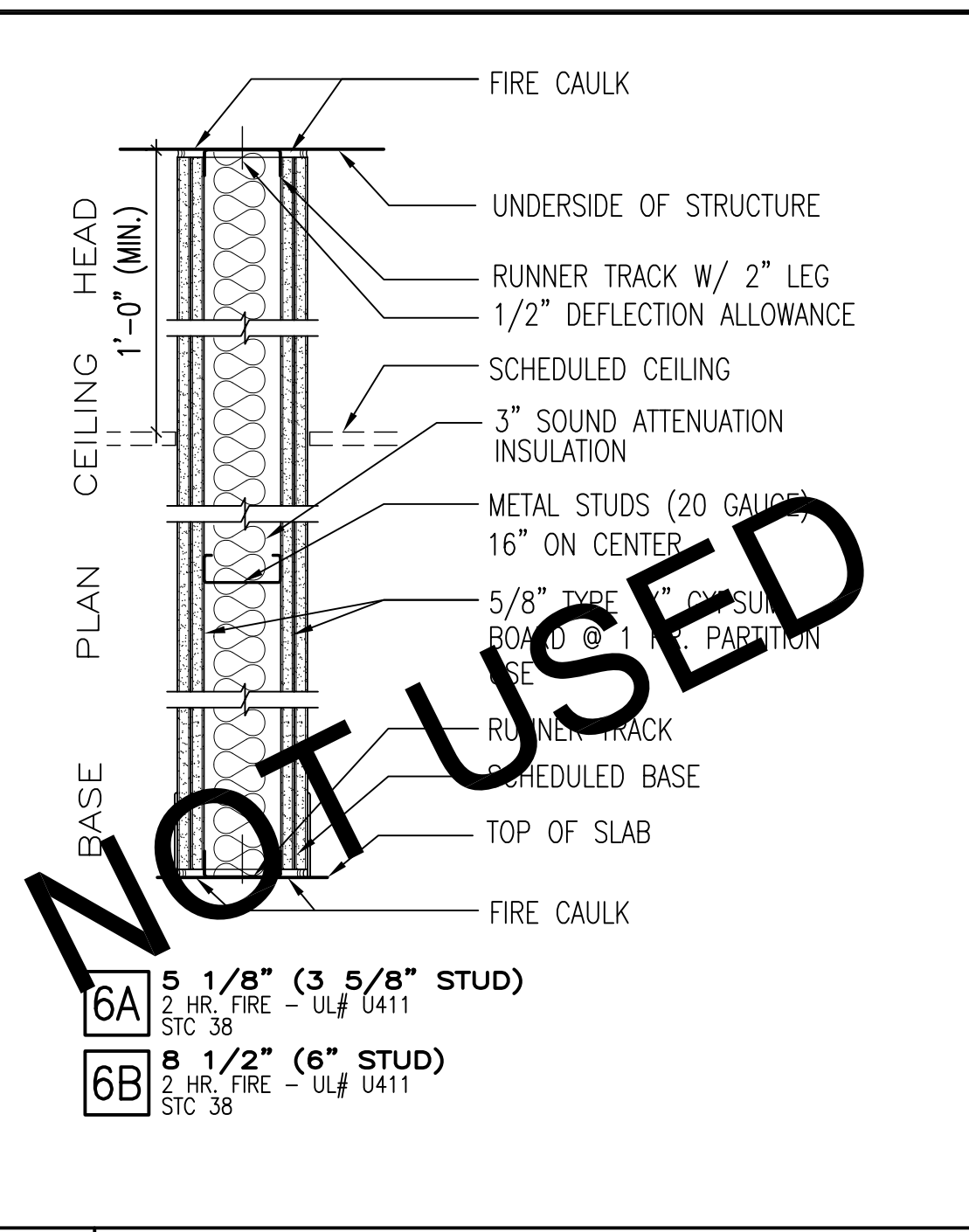


12 GYPSUM BOARD BULKHEAD



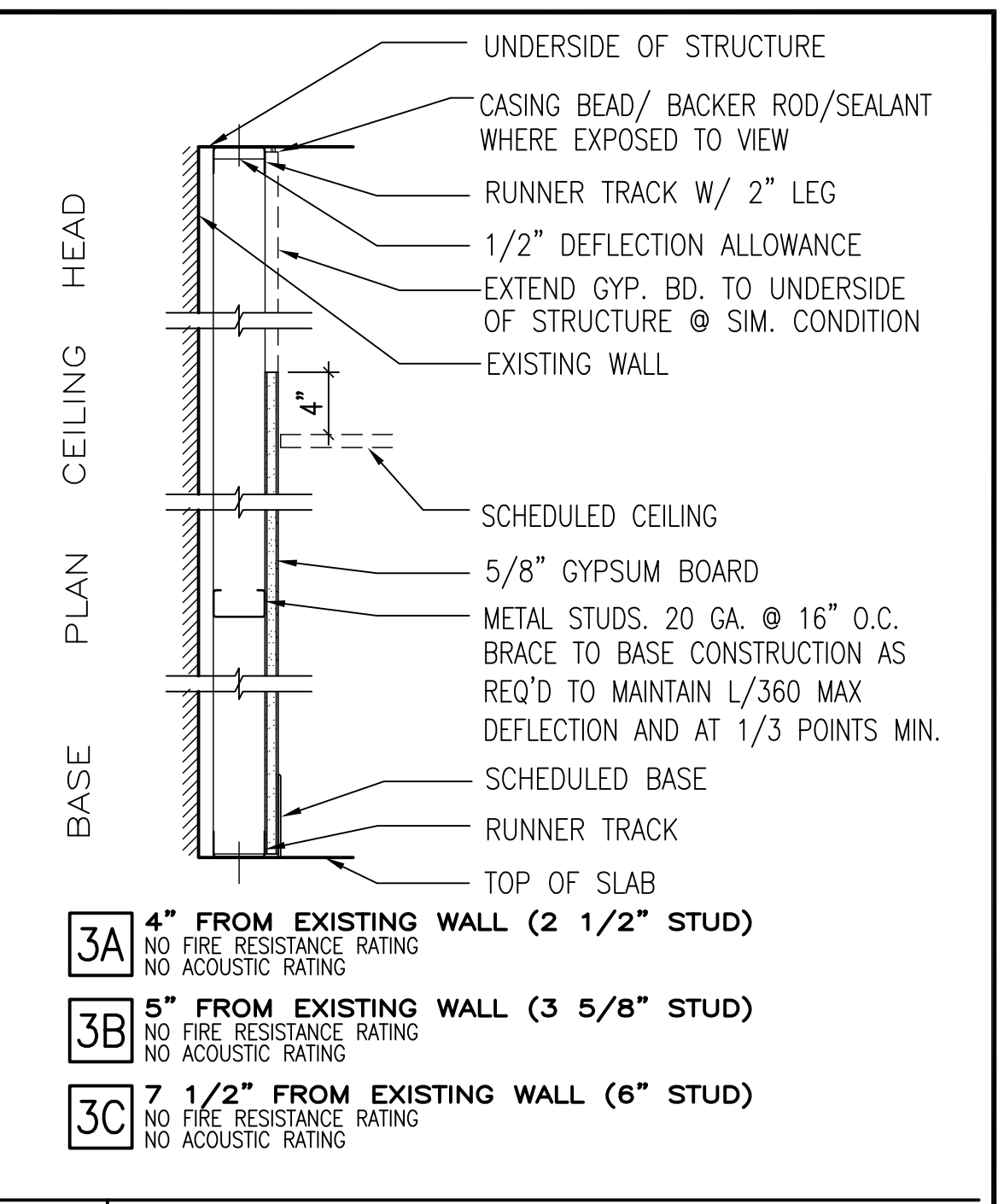
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9 GYPSUM BOARD BULKHEAD



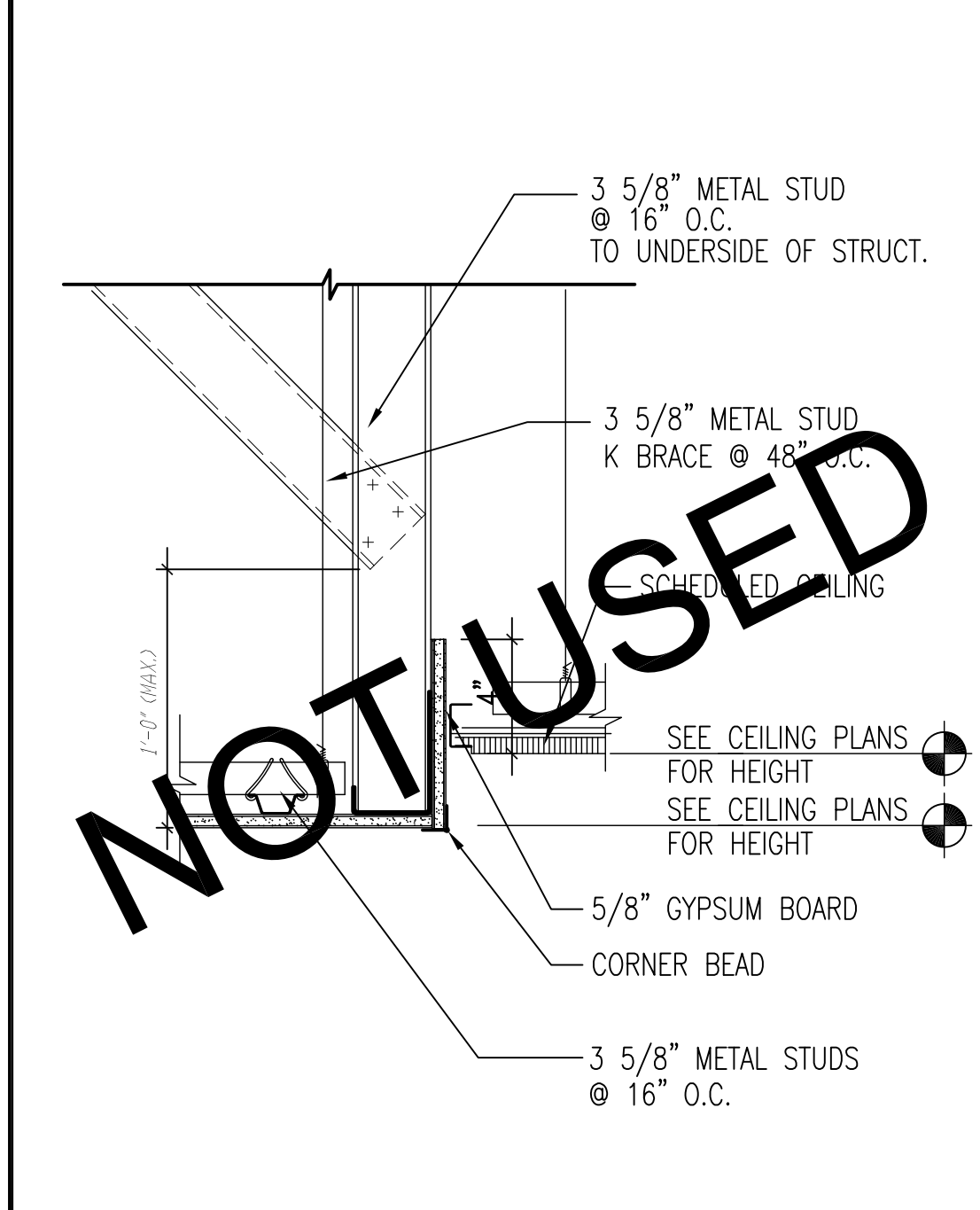
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6 2-HR. RATED PARTITION WALL



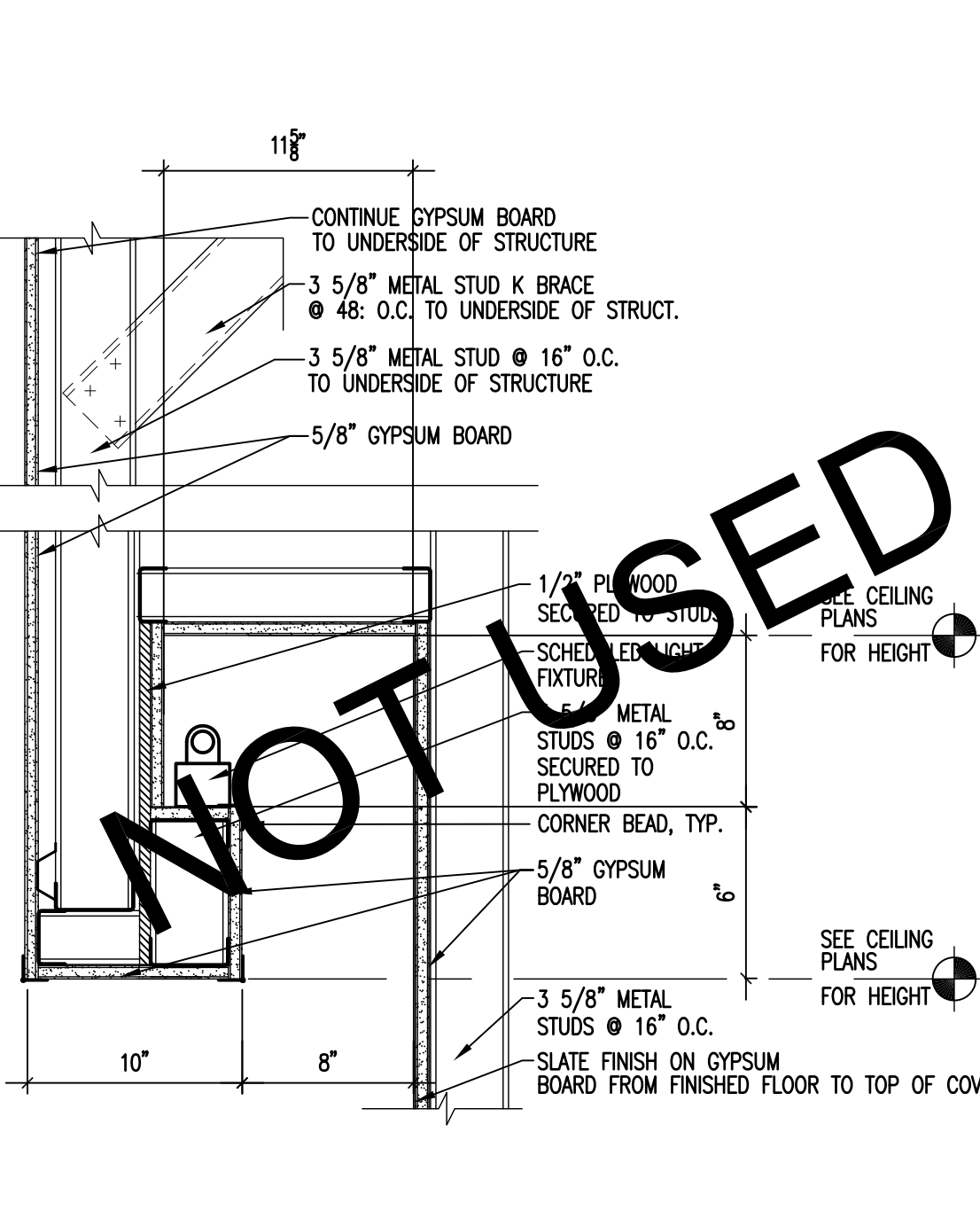
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3 NEW PARTITION AT EXISTING WALL



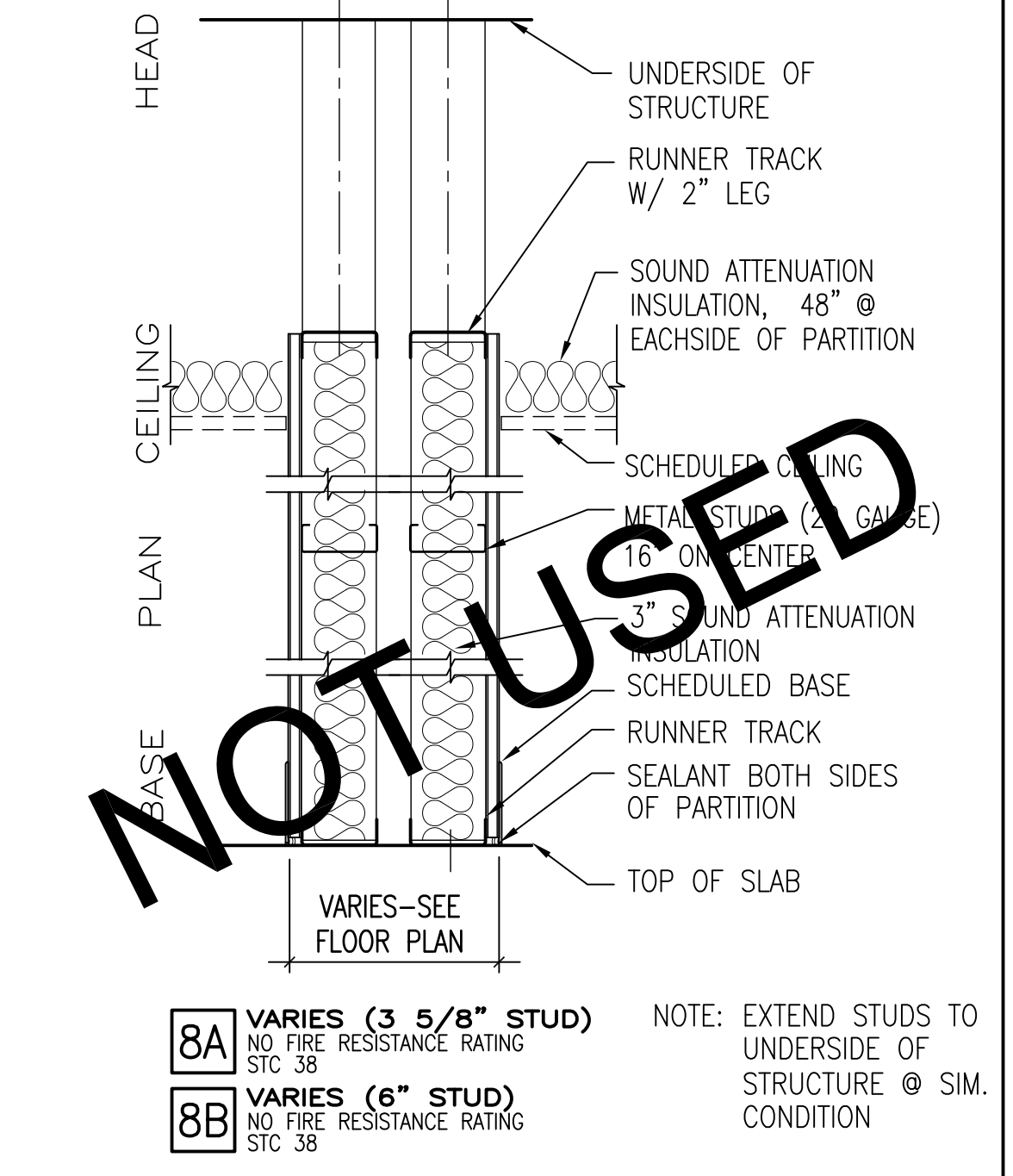
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14 GYPSUM BOARD BULKHEAD



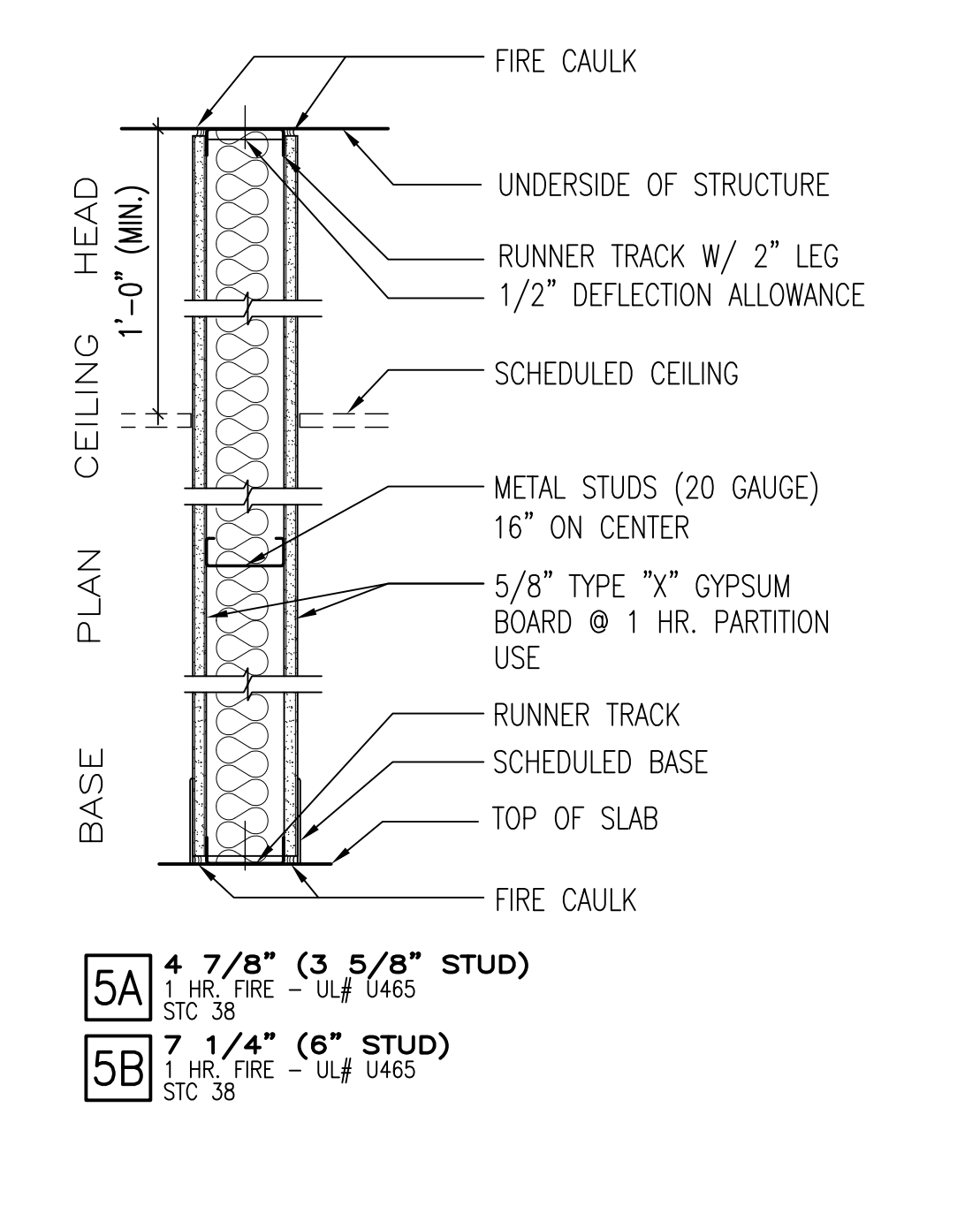
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11 GYPSUM BOARD FASCIA/LIGHT COVE



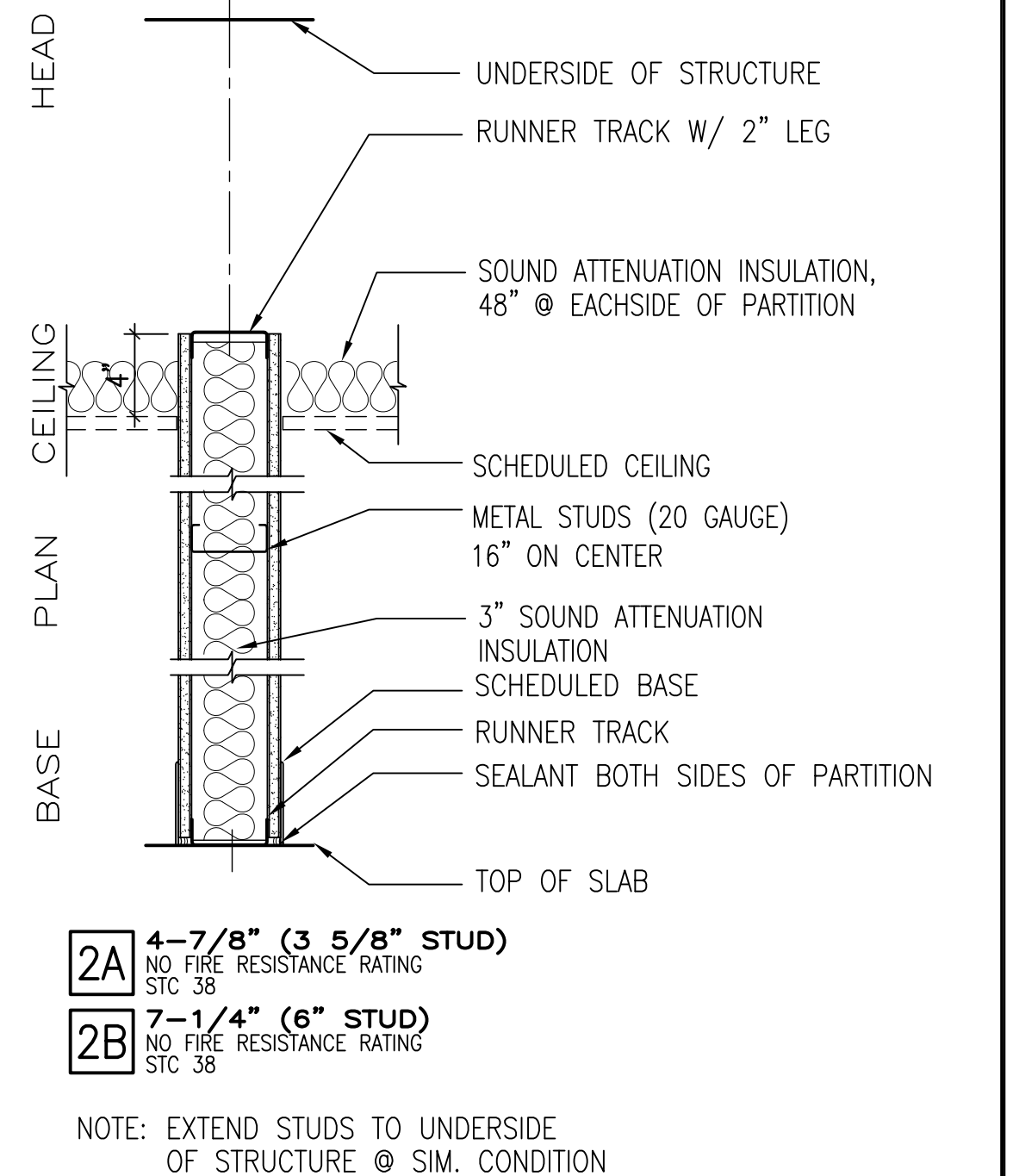
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8 PLUMBING WALL



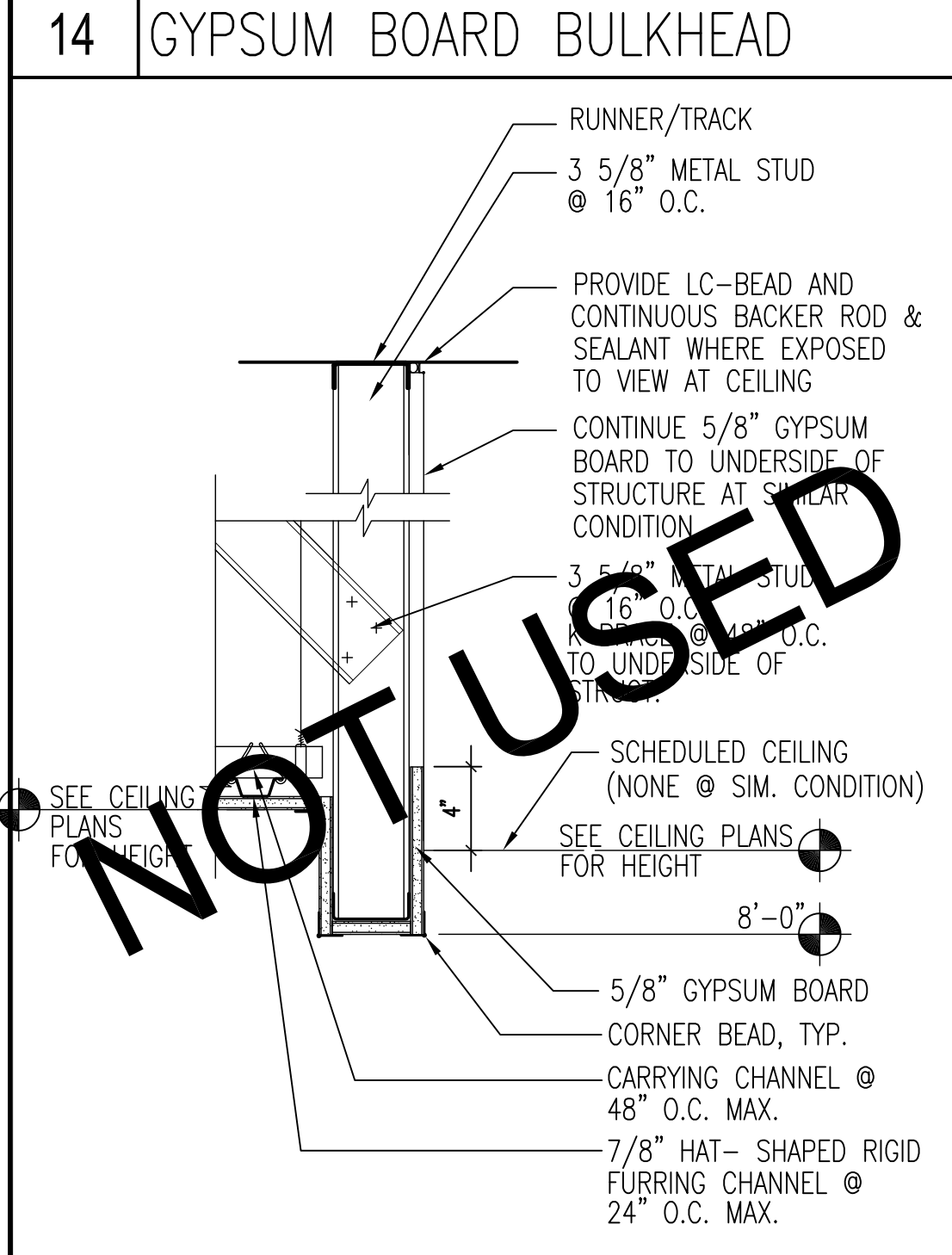
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5 1-HR. RATED PARTITION WALL



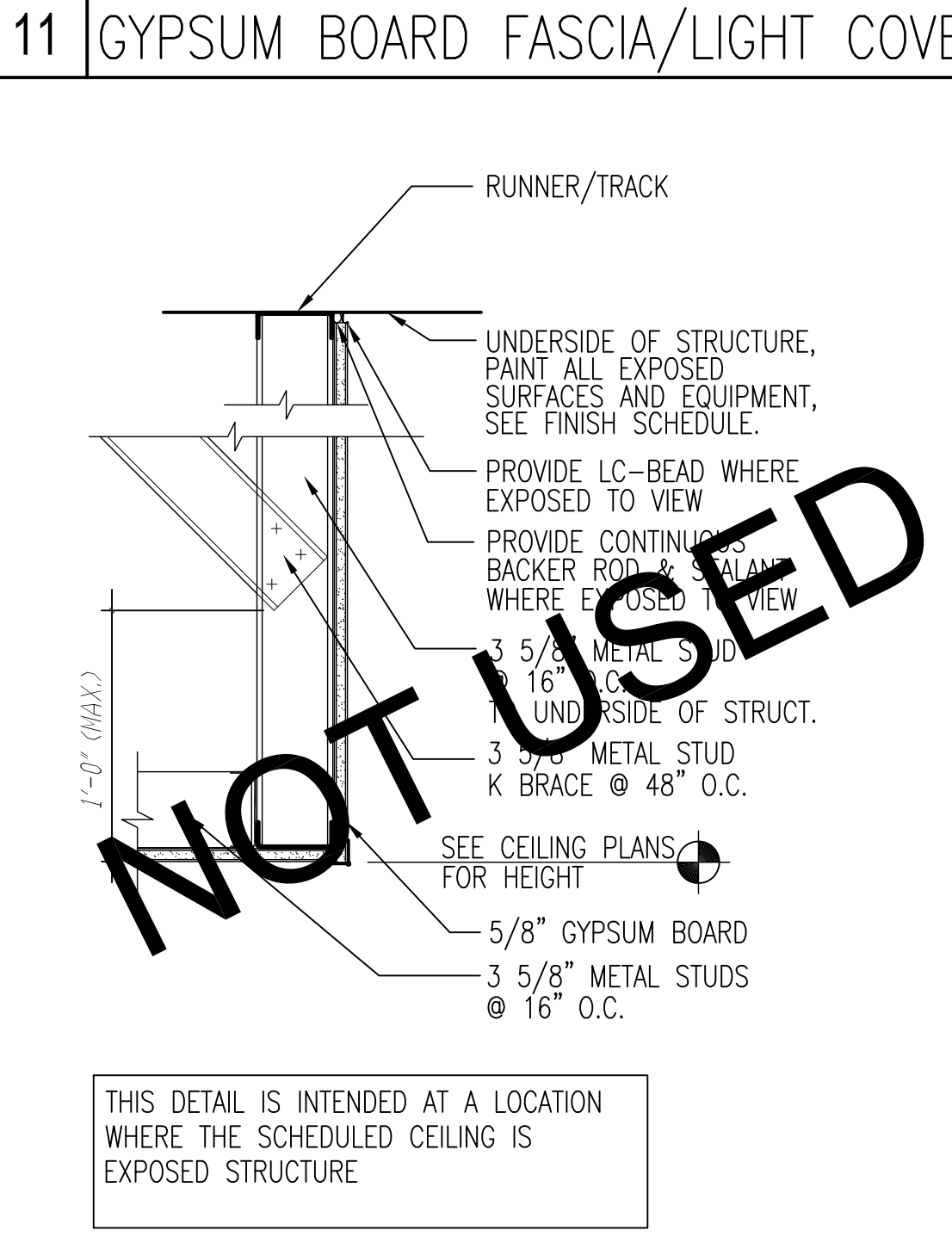
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2 NEW PARTIAL HEIGHT PARTITION



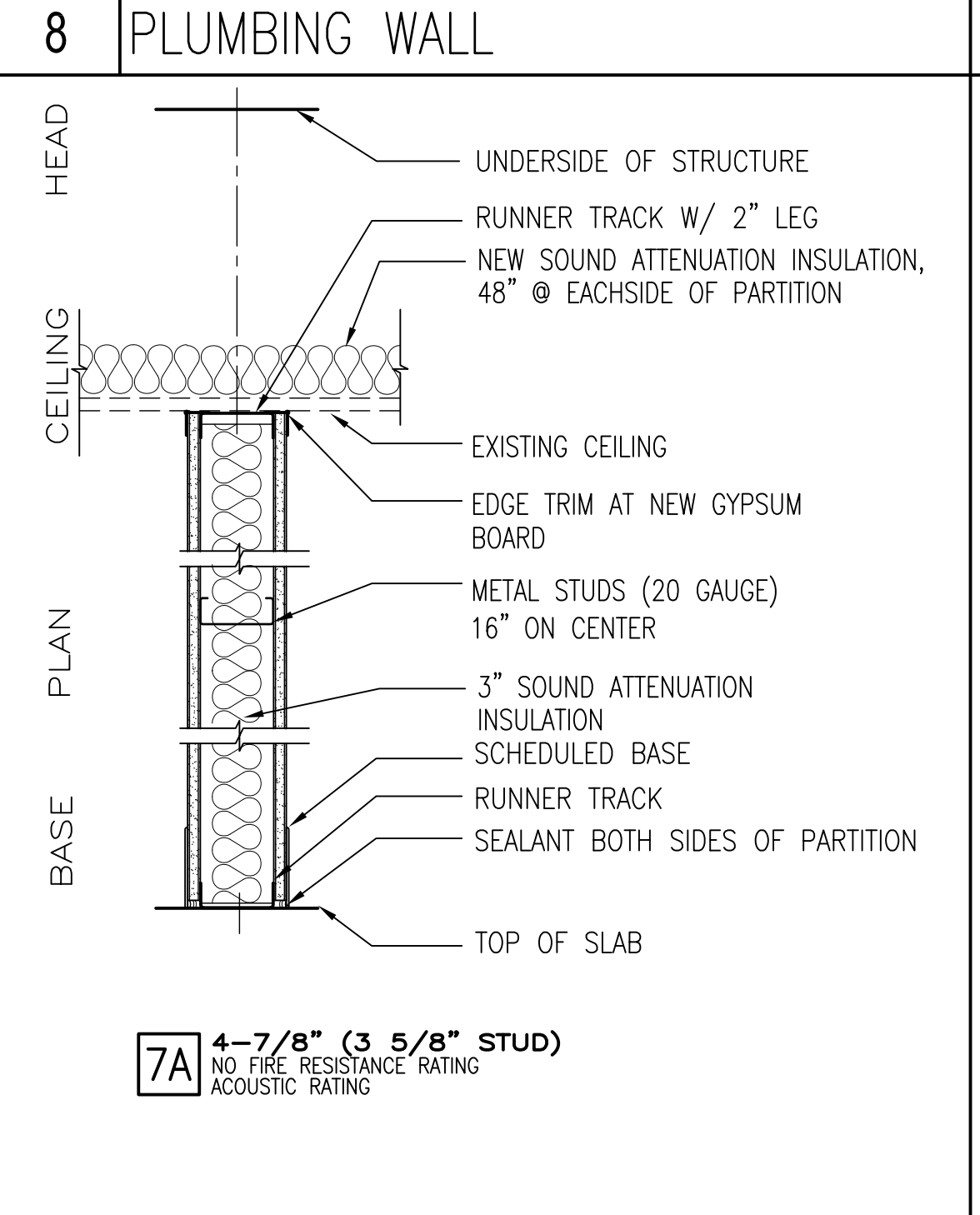
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13 GYPSUM BOARD BULKHEAD



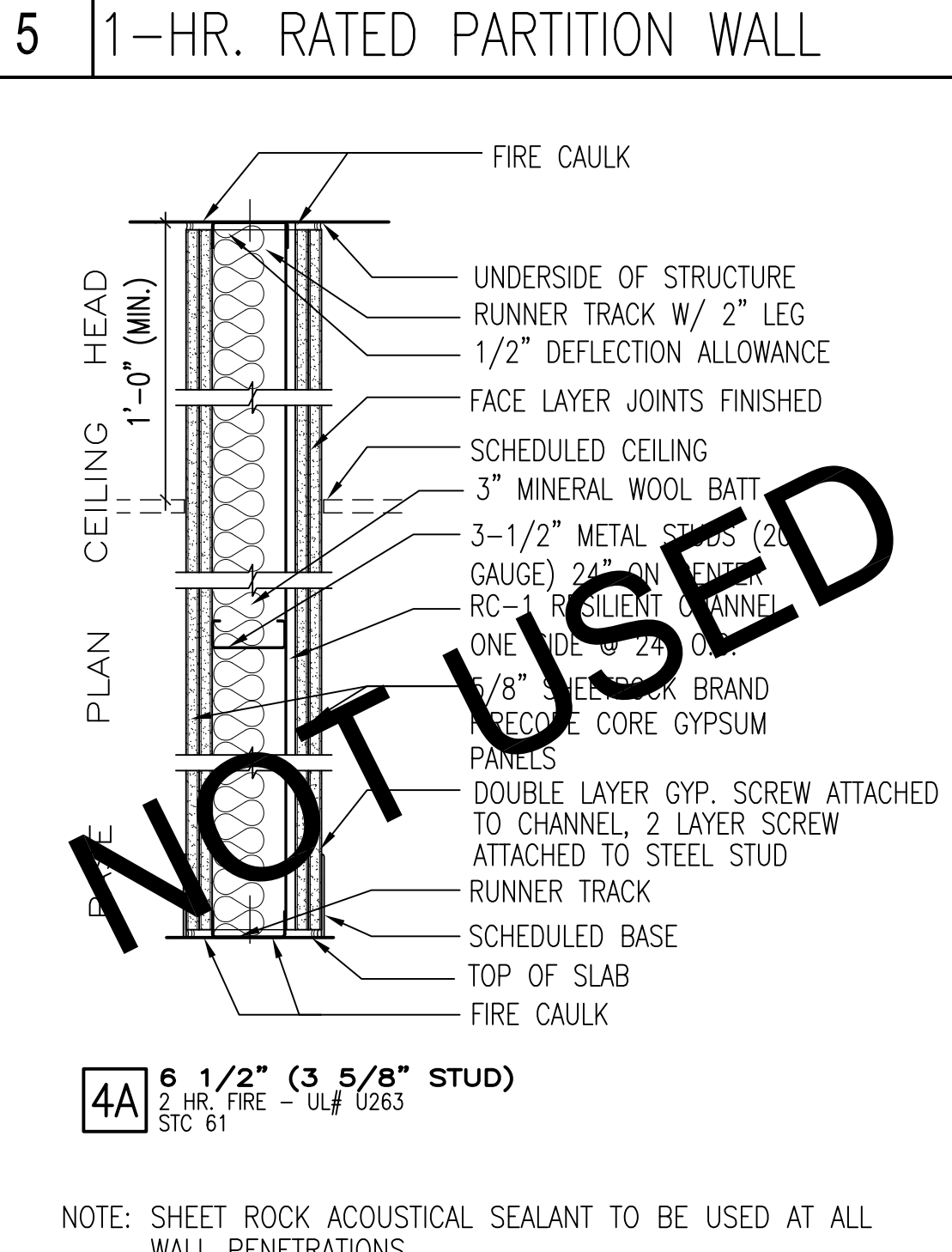
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10 FASCIA/SOFFIT



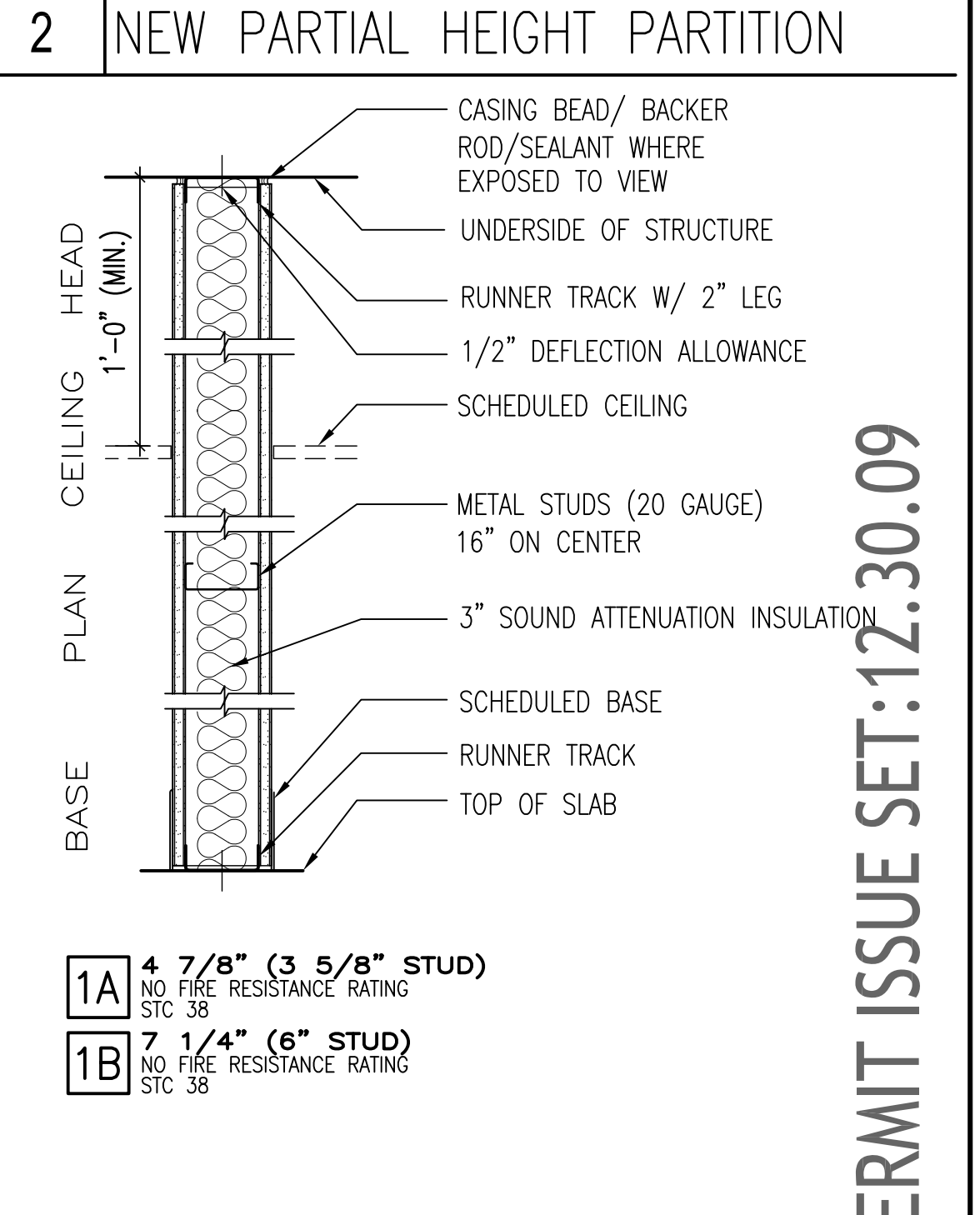
NOT USED

7 PARTIAL HEIGHT PARTITION WALL



NOT USED

4 2-HR RATED FULL HEIGHT WALL



NOT USED

1 FULL HEIGHT PARTITION

ARCHITECTS OF RECORD:

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PROFESSIONAL SEAL:

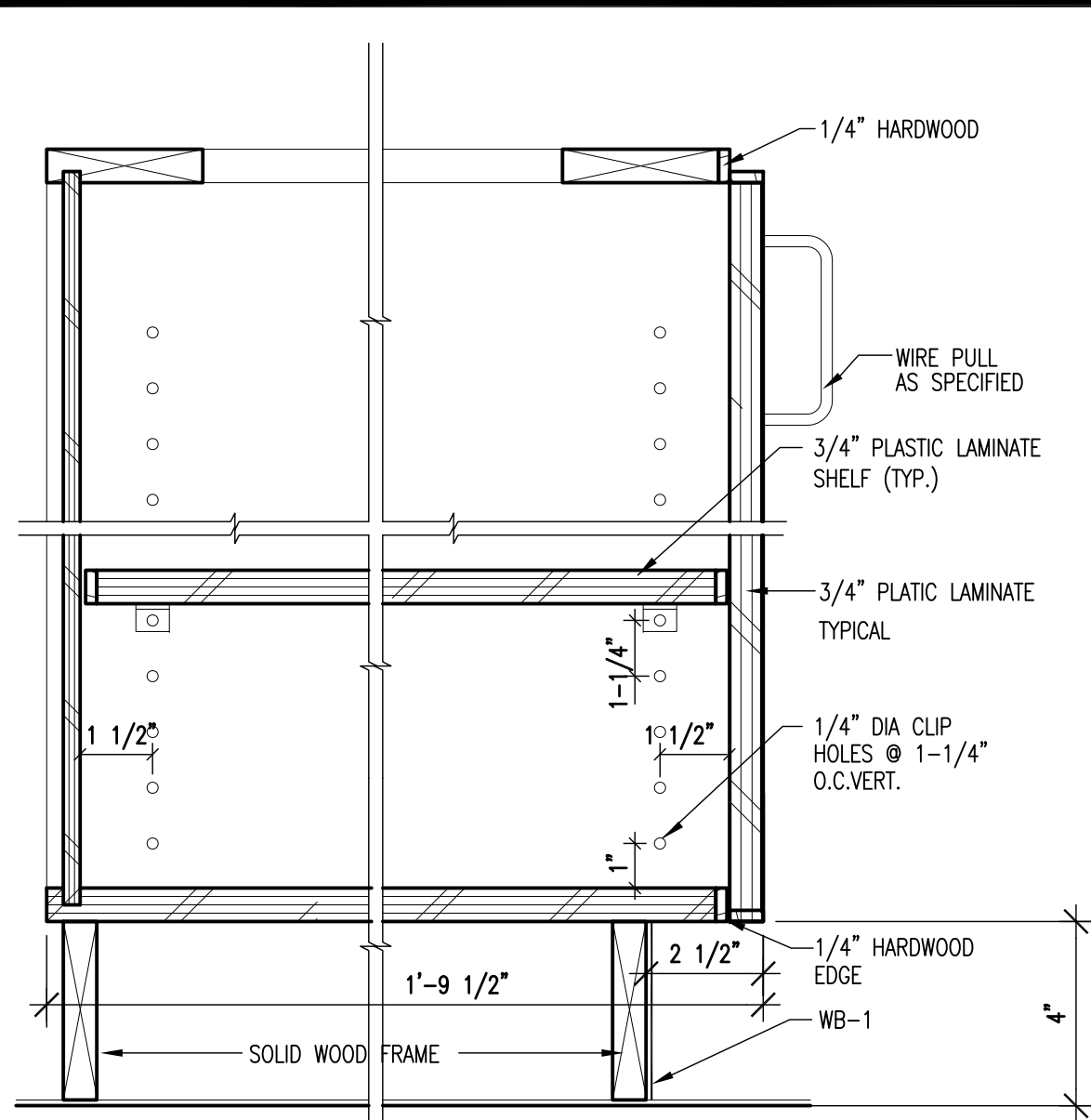
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SUBMISSION	DATE
CONCEPT PLAN	12.01.09
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PERMIT ISSUE SET	12.30.09
PROJECT NO: 0921	
SCALE: _____	

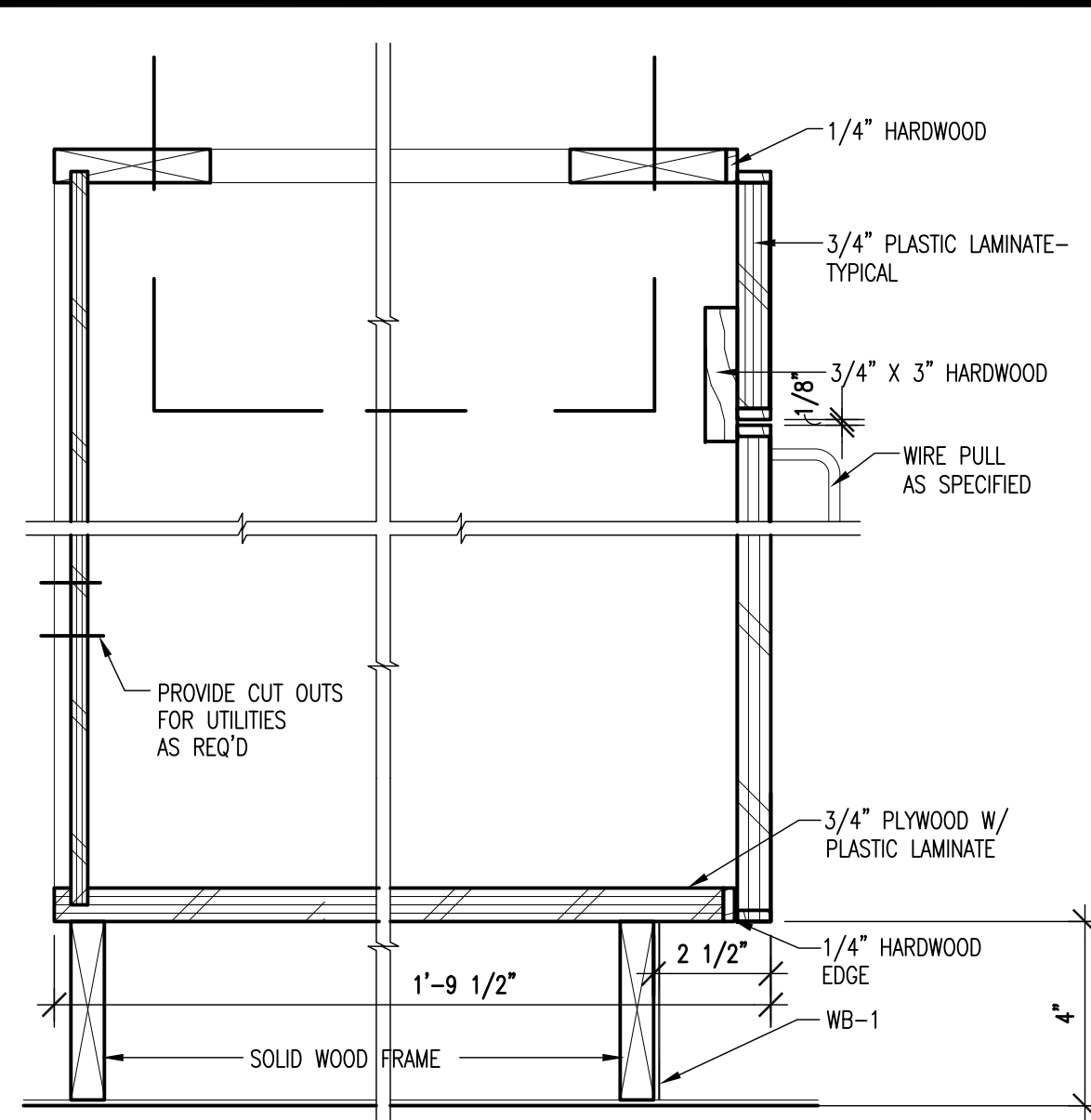
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SCALE: _____

WALL TYPES & CEILING/ BULKHEAD TYPES
A 601

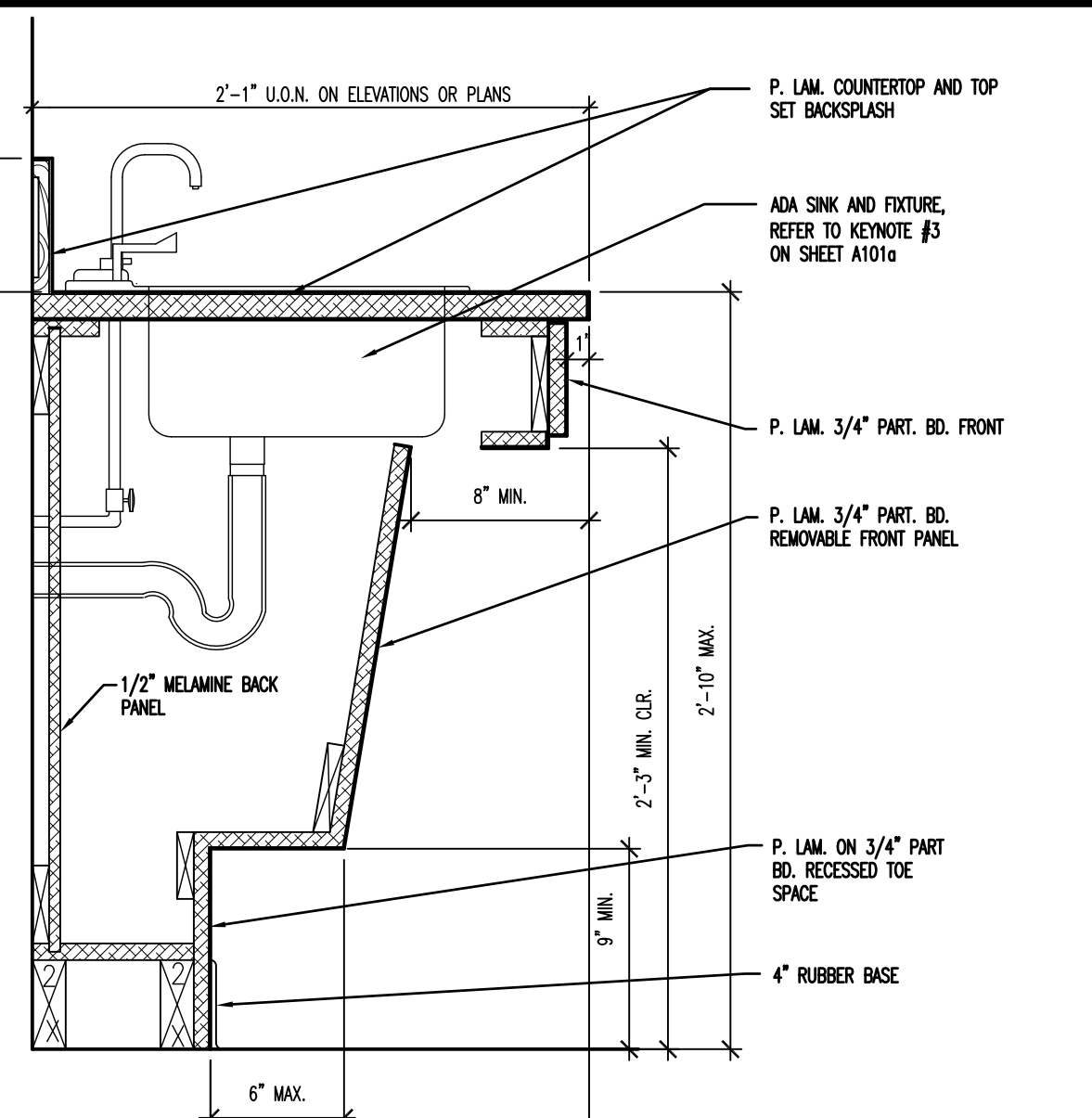
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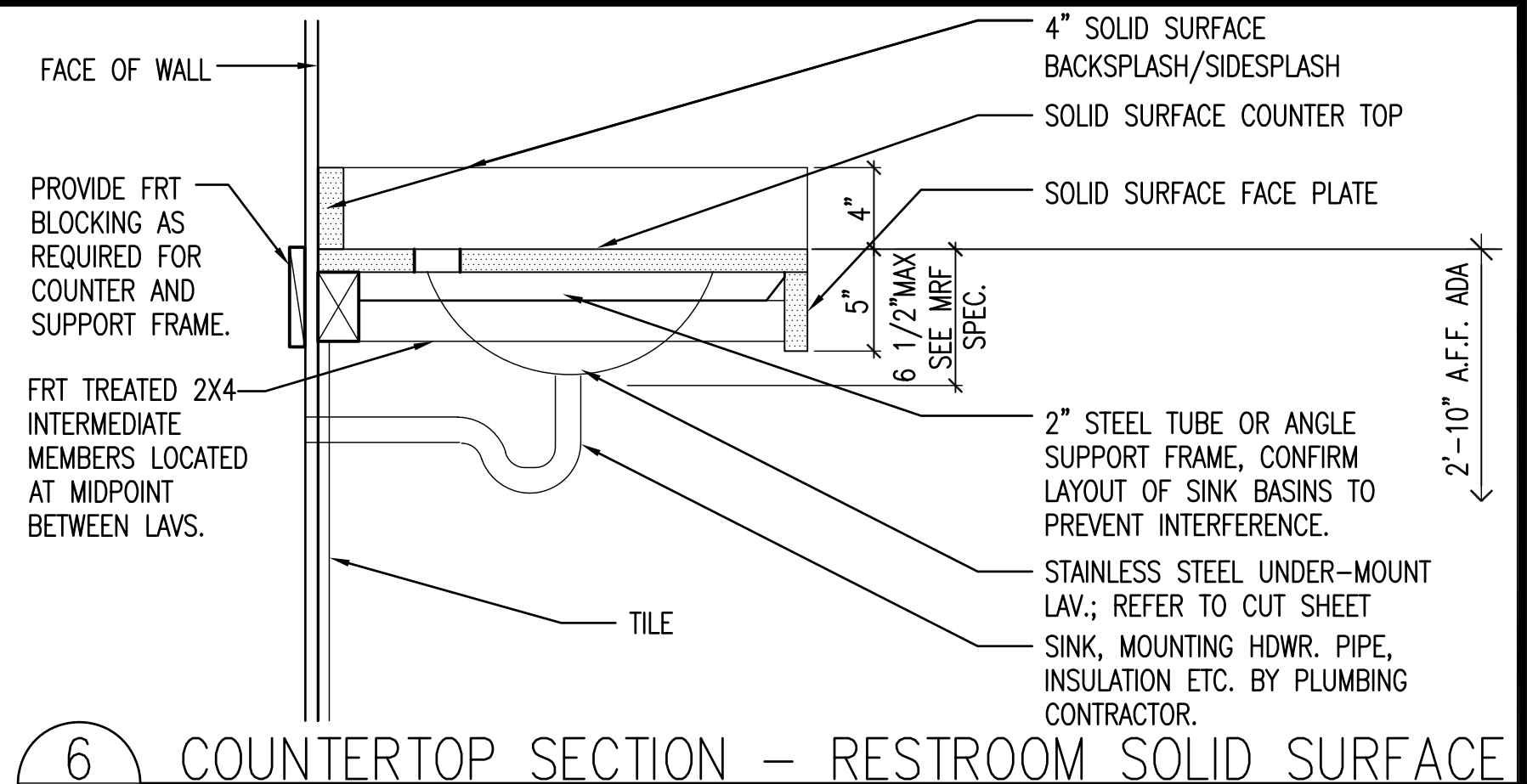
1 FIXED BASE CAB. W/ DOORS
A602 SCALE: 3\"/>



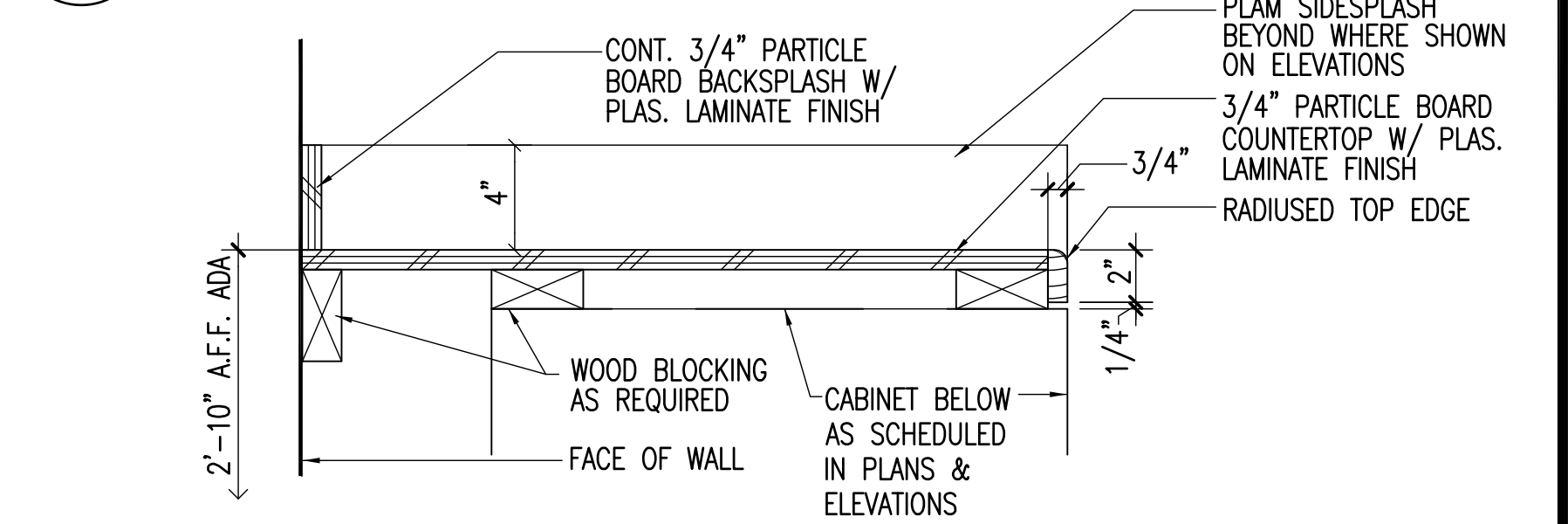
2 SINK BASE CABINET
A602 SCALE: 3\"/>



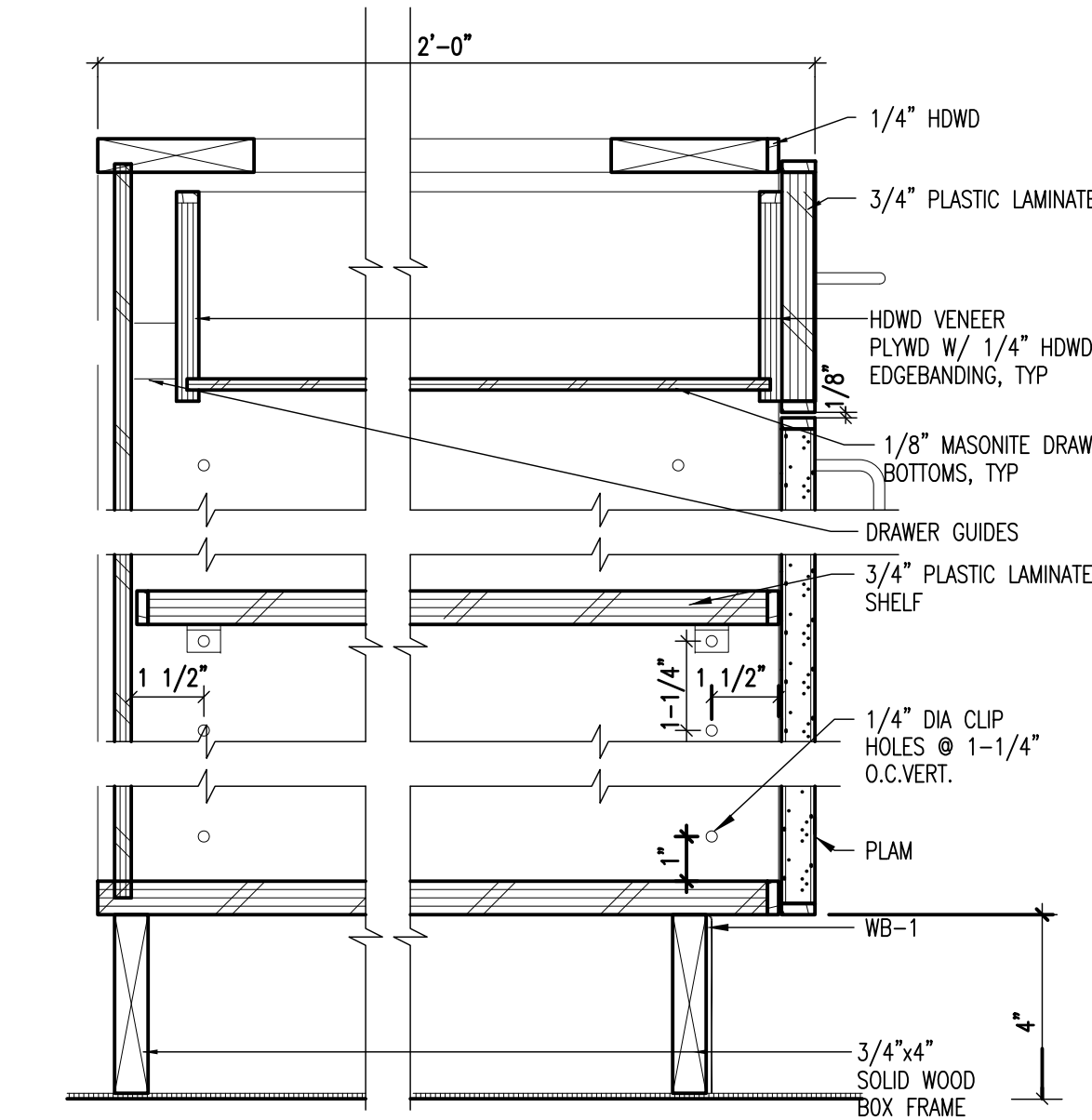
2A SINK BASE - OPEN KNEE SPACE
A602 SCALE: NTS



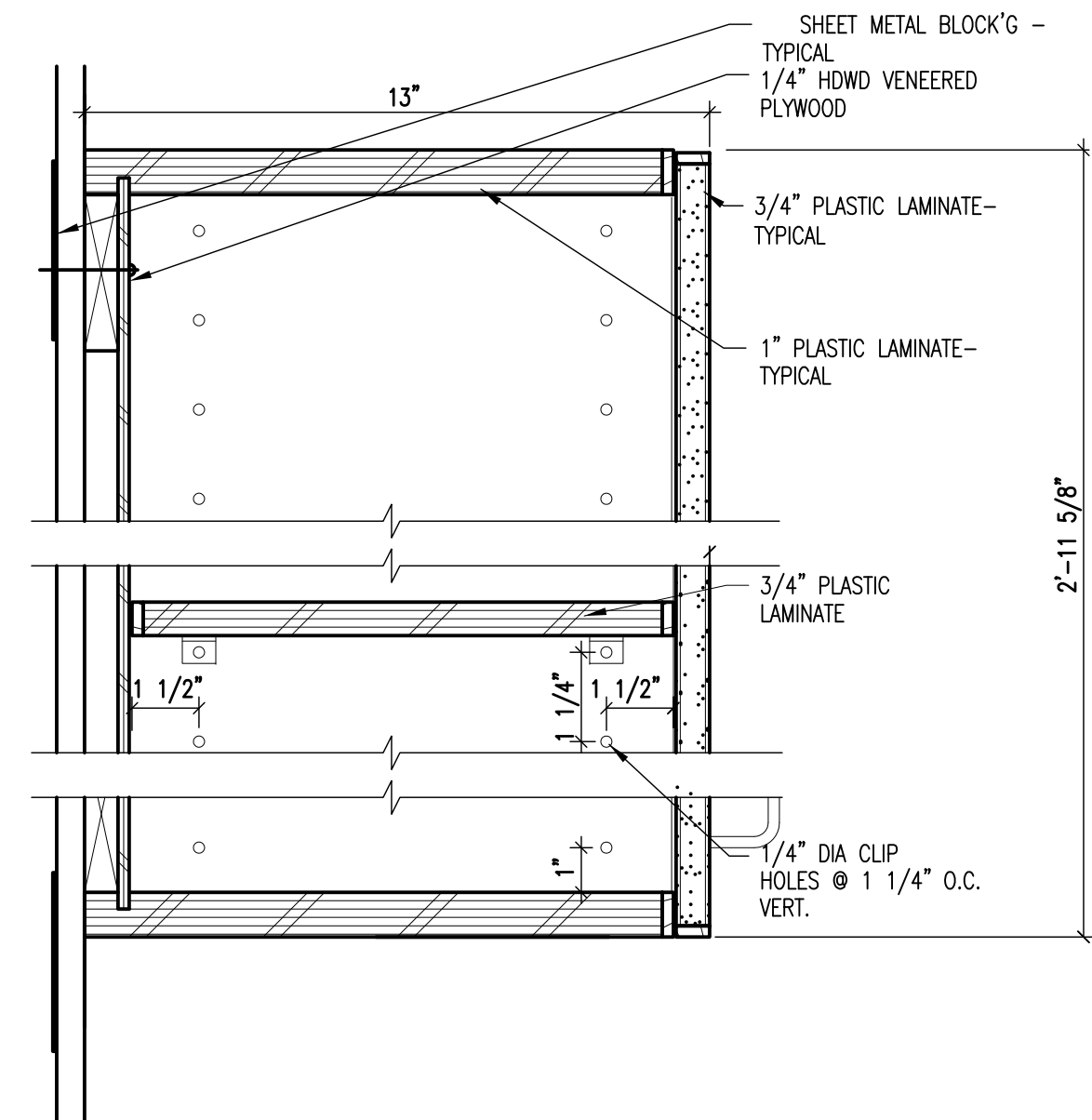
6 COUNTERTOP SECTION - RESTROOM SOLID SURFACE
A602 SCALE: 1 1/2\"/>



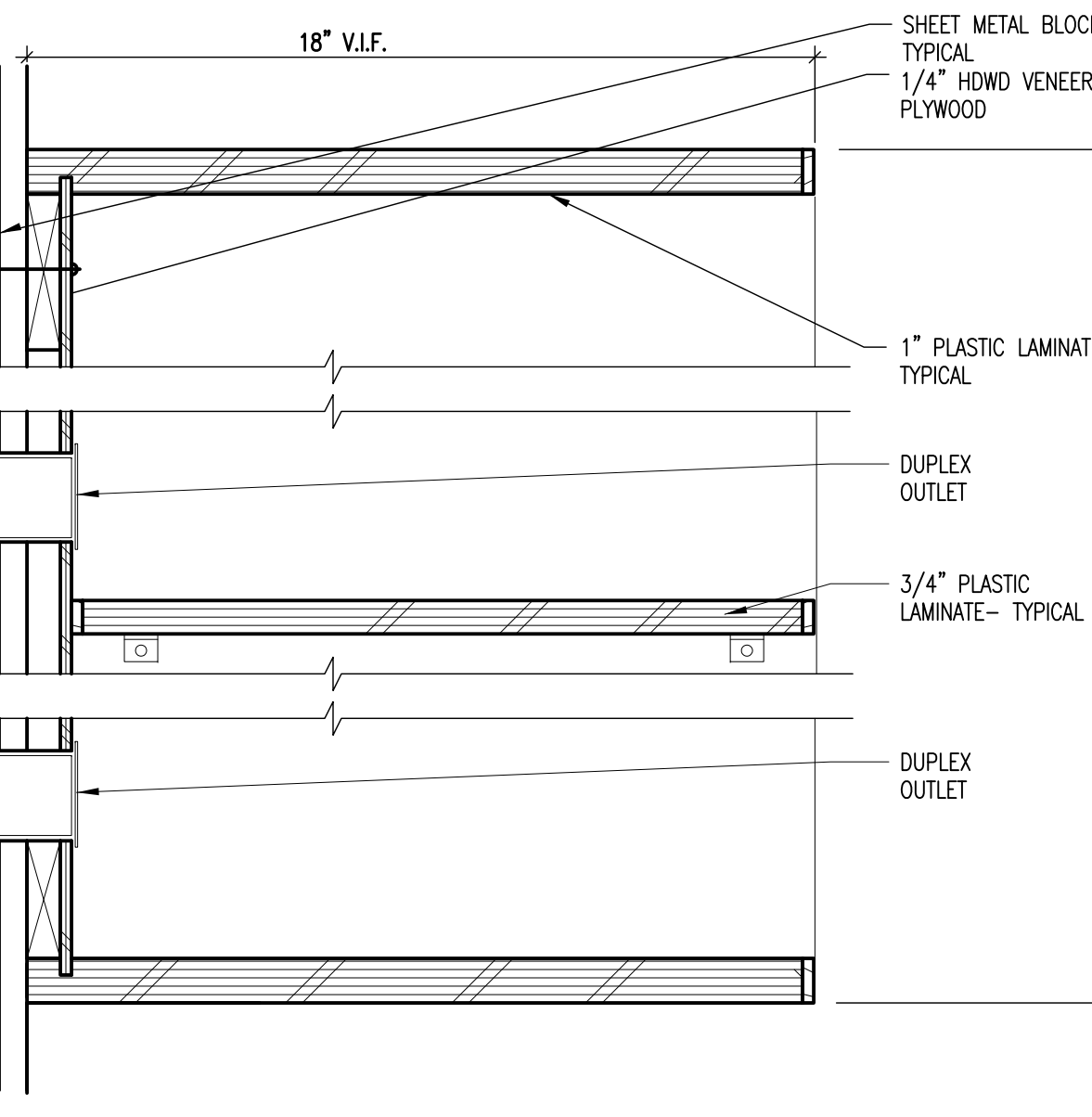
7 TYP. PLASTIC LAMINATE COUNTERTOP SECTION
A602 SCALE: 1 1/2\"/>



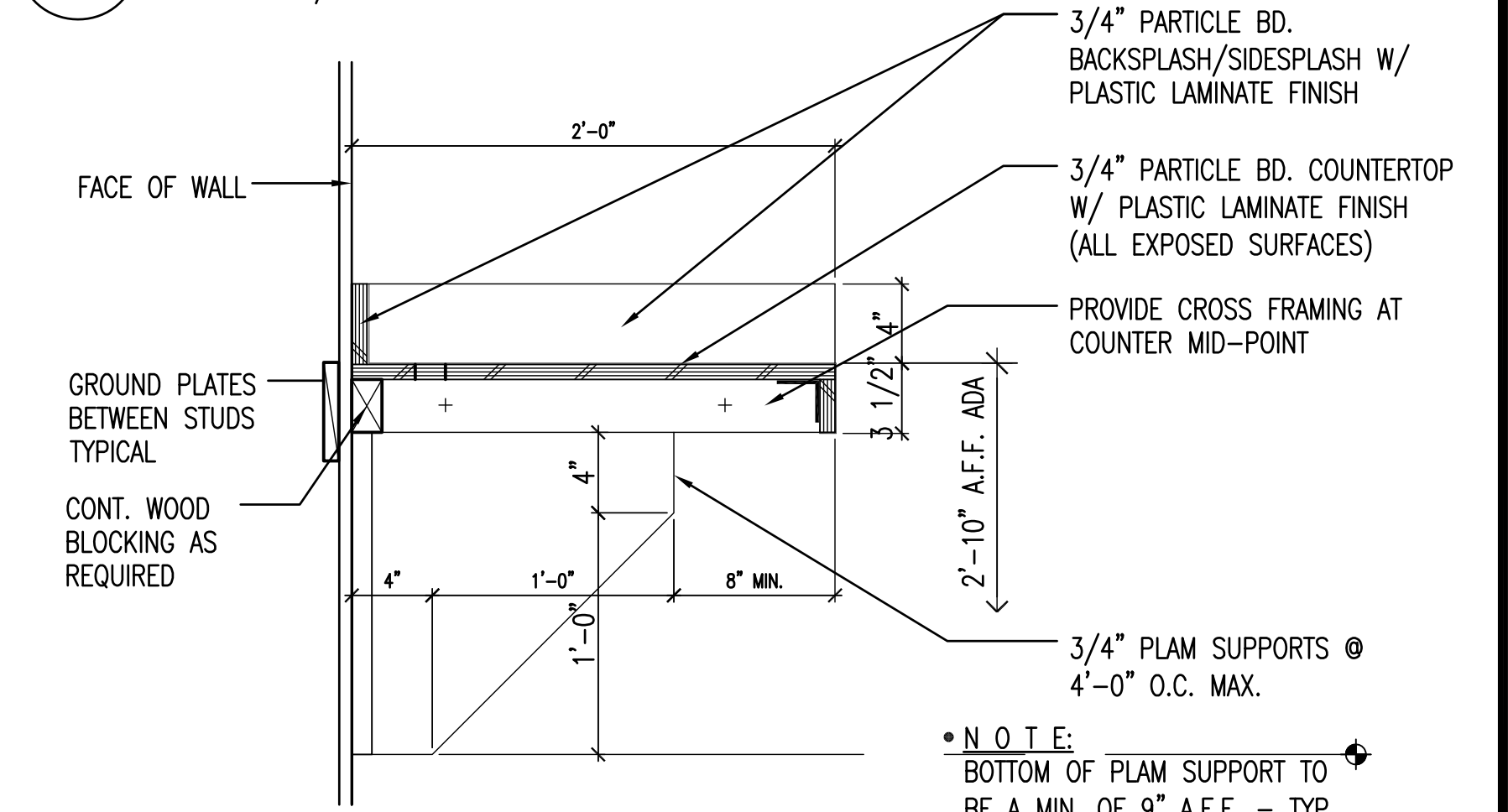
3 FIXED BASE CAB. W/ DRWS & DRS
A602 SCALE: 3\"/>



4 WALL CABINET W/ SOLID DOOR
A602 SCALE: 3\"/>



5 WALL CABINET - MICROWAVE SHELF
A602 SCALE: 1 1/2\"/>



8 TYP. COUNTERTOP SUPPORT SECTION
A602 SCALE: 1 1/2\"/>

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PROFESSIONAL SEAL:

SIGNATURE _____ DATE _____

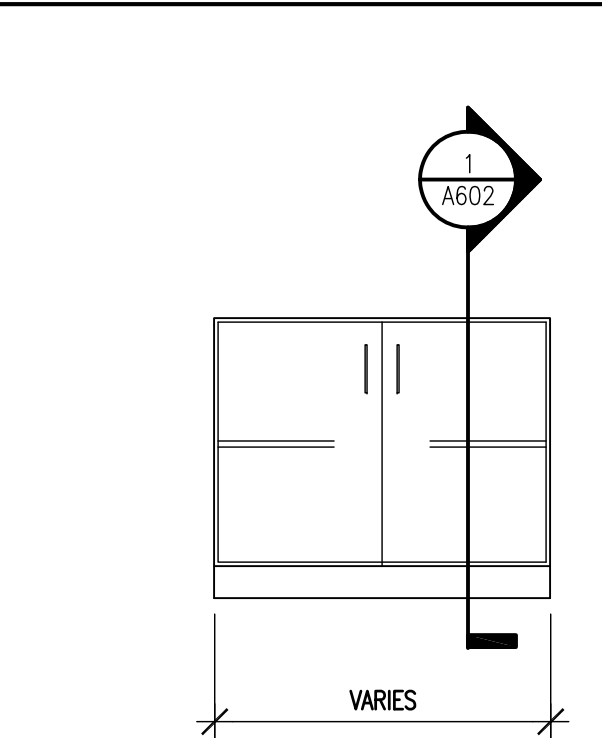
SUBMISSION	DATE
CONCEPT PLAN	12.01.09
CONSULTANT COORDINATION	12.14.09
PERMIT ISSUE SET	12.30.09

PROJECT NO: 0921
SCALE: _____

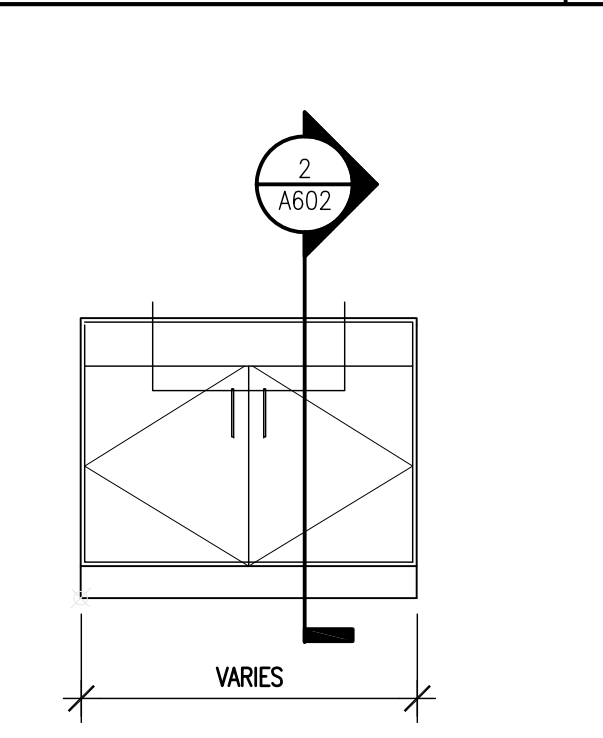
MILLWORK DETAILS

A 602

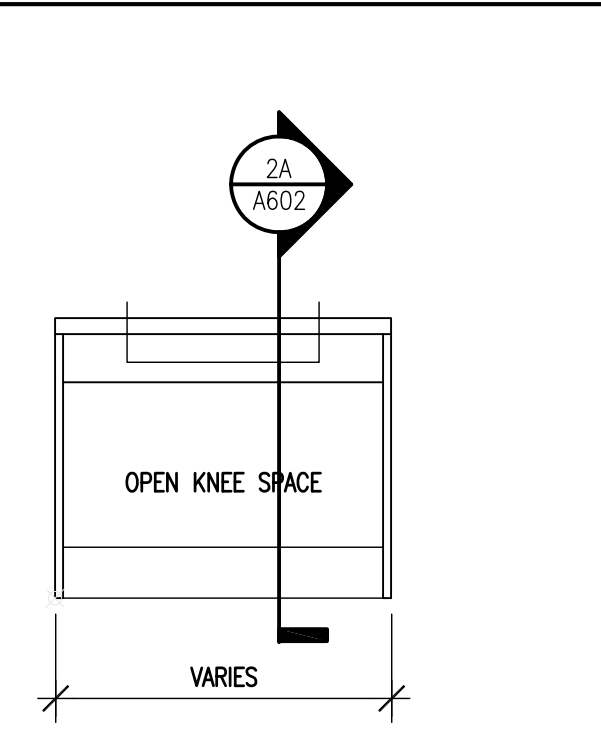
PERMIT ISSUE SET: 12.30.09



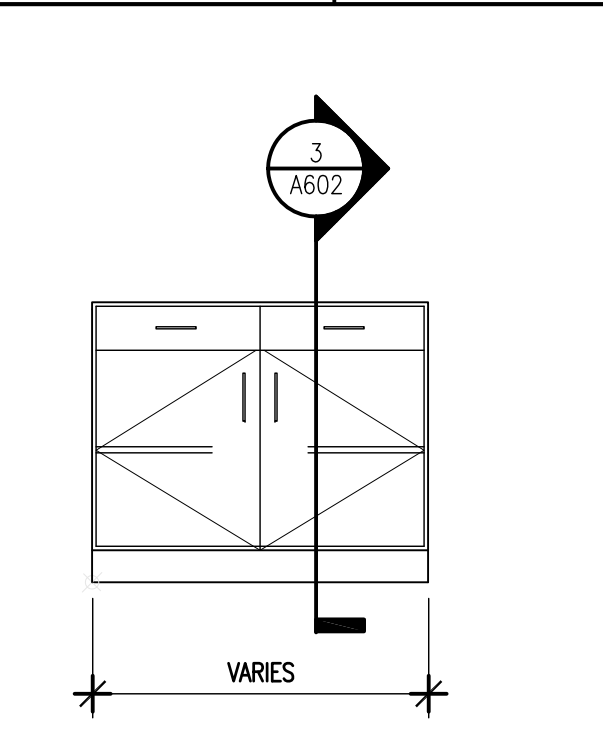
B1 FIXED - 1 DOOR
BASE UNIT
WIDTH: 2'-0"



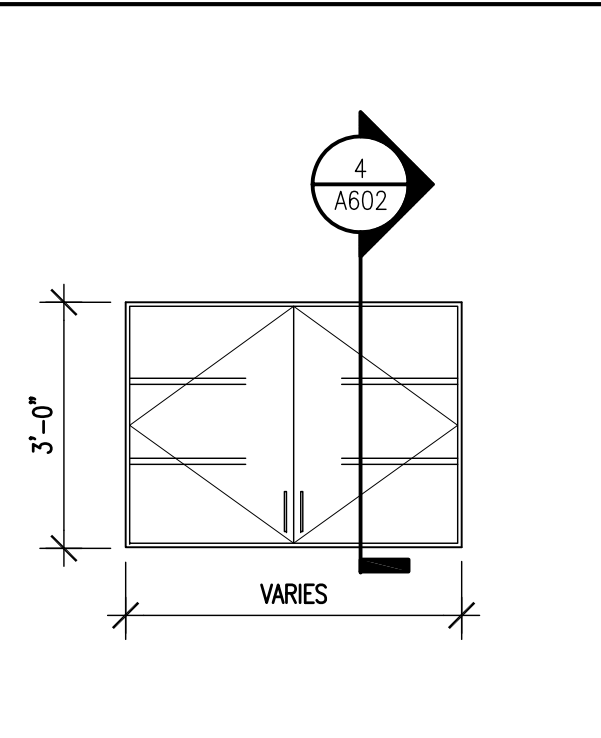
B2 FIXE - 2 DOOR
BASE UNIT
WIDTH: 2'-6"



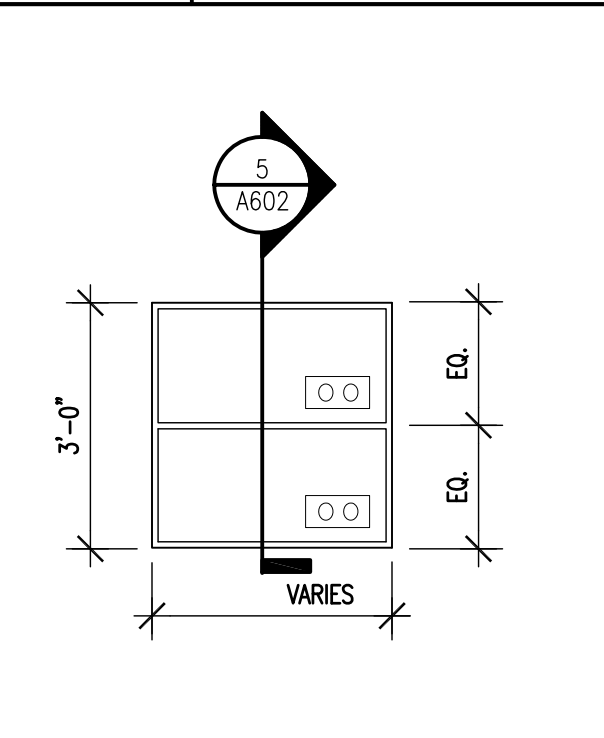
OSB1 FIXED - OPEN SINK
WIDTH: 2'-6"



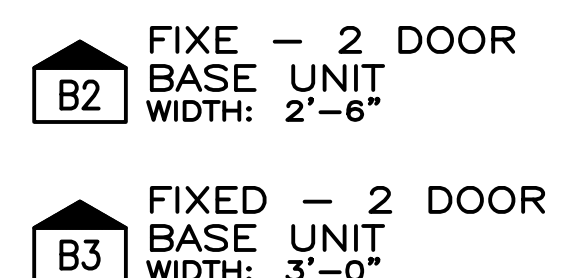
A1 FIXED HIGH-1 DRAWER,
1 DOOR BASE UNIT
WIDTH: 2'-0"



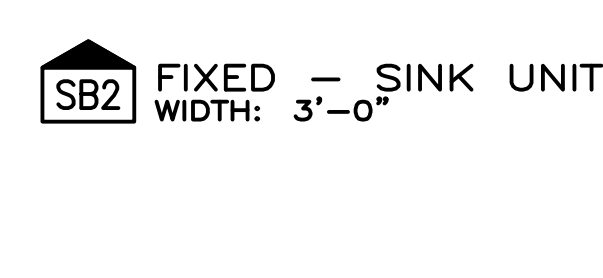
A2 FIXED HIGH-2 DRAWER,
2 DOOR BASE UNIT
WIDTH: 2'-6"



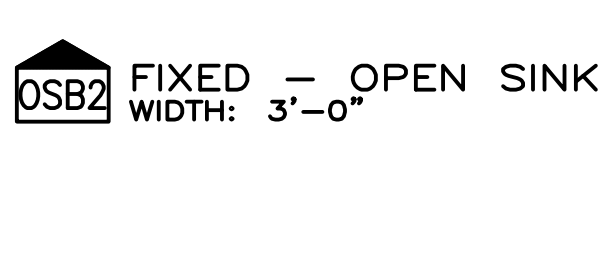
WC1 1-SOLID DOOR
WALL CABINET
WIDTH: 2'-0" DEPTH: 13"



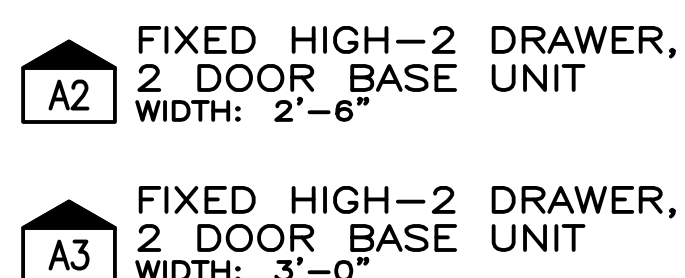
B3 FIXED - 2 DOOR
BASE UNIT
WIDTH: 3'-0"



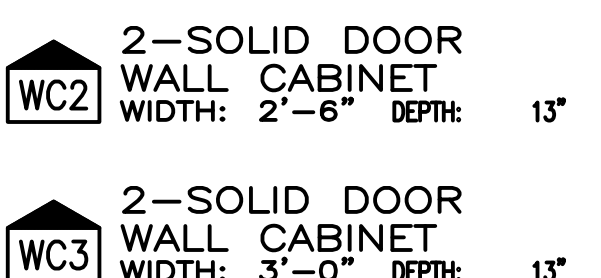
SB2 FIXED - SINK UNIT
WIDTH: 3'-0"



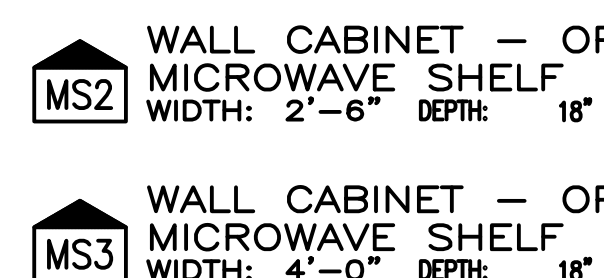
OSB2 FIXED - OPEN SINK
WIDTH: 3'-0"



A3 FIXED HIGH-2 DRAWER,
2 DOOR BASE UNIT
WIDTH: 3'-0"



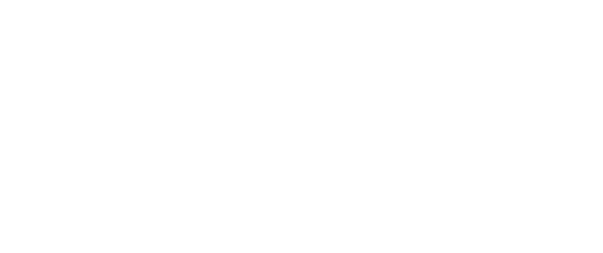
WC2 2-SOLID DOOR
WALL CABINET
WIDTH: 2'-6" DEPTH: 13"



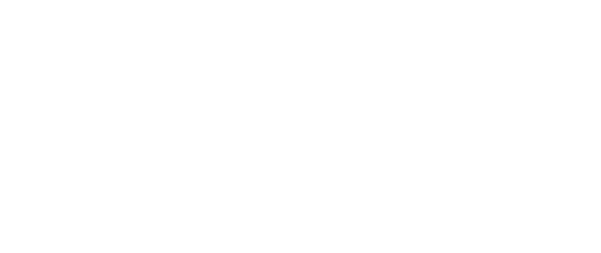
MS2 WALL CABINET - OPEN
MICROWAVE SHELF
WIDTH: 2'-6" DEPTH: 18"



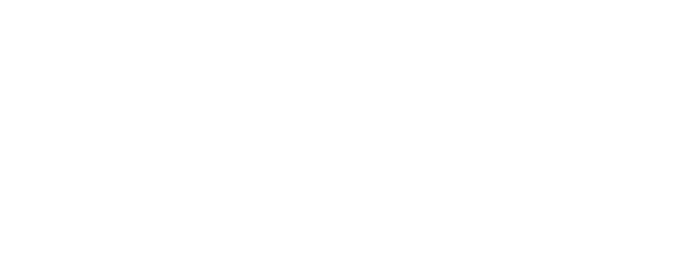
B3 FIXED - 2 DOOR
BASE UNIT
WIDTH: 3'-0"



SB2 FIXED - SINK UNIT
WIDTH: 3'-0"



OSB2 FIXED - OPEN SINK
WIDTH: 3'-0"



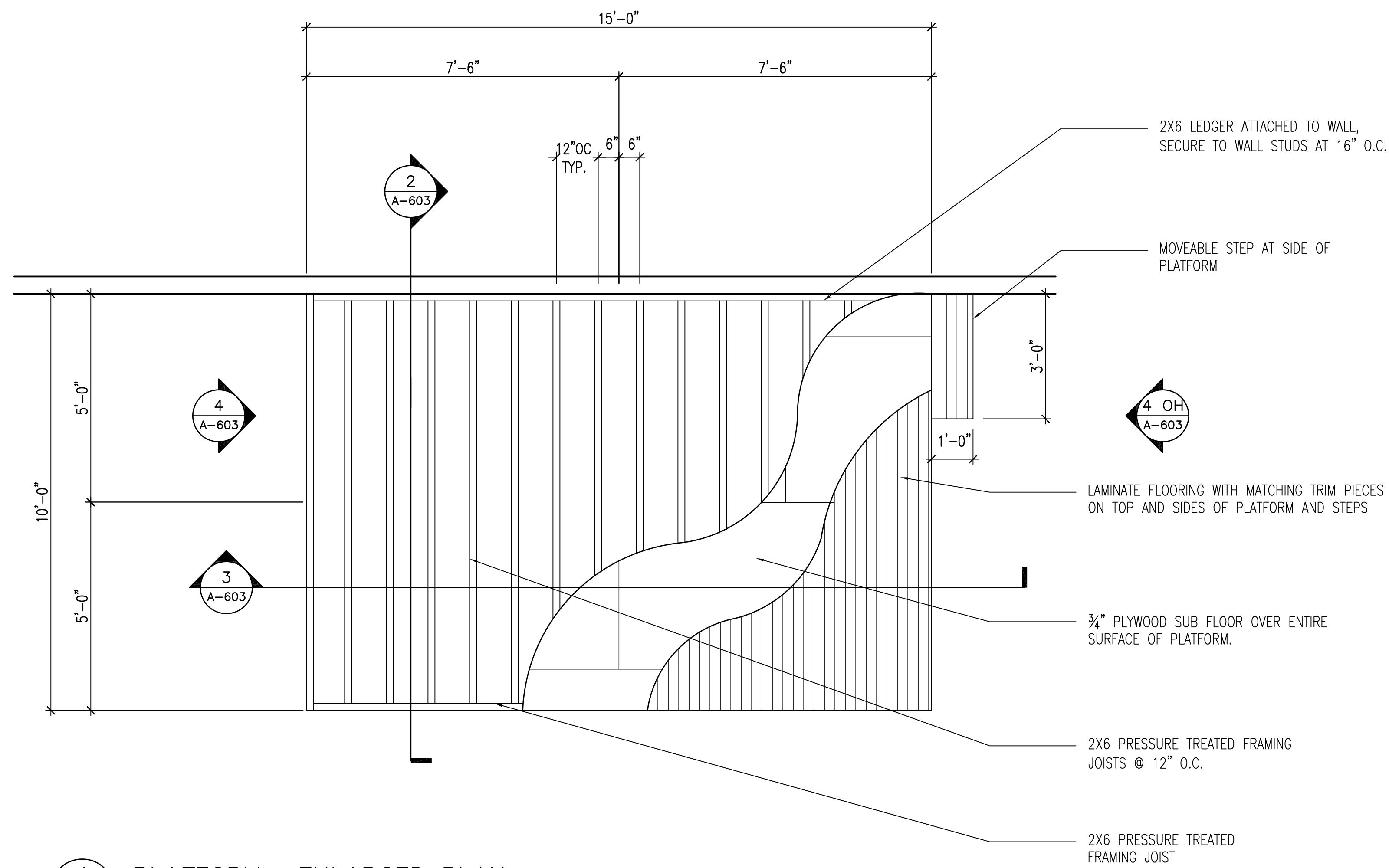
A3 FIXED HIGH-2 DRAWER,
2 DOOR BASE UNIT
WIDTH: 3'-0"



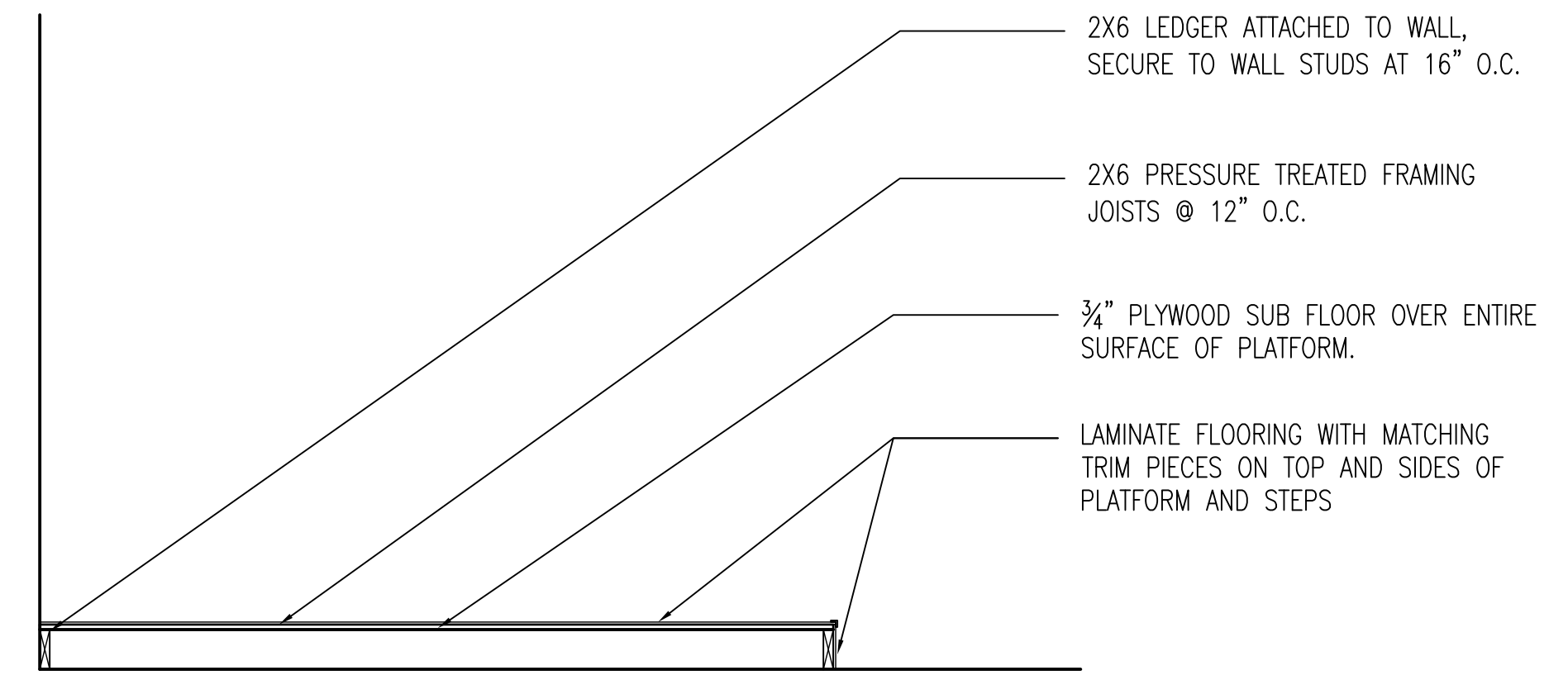
WC3 2-SOLID DOOR
WALL CABINET
WIDTH: 3'-0" DEPTH: 13"



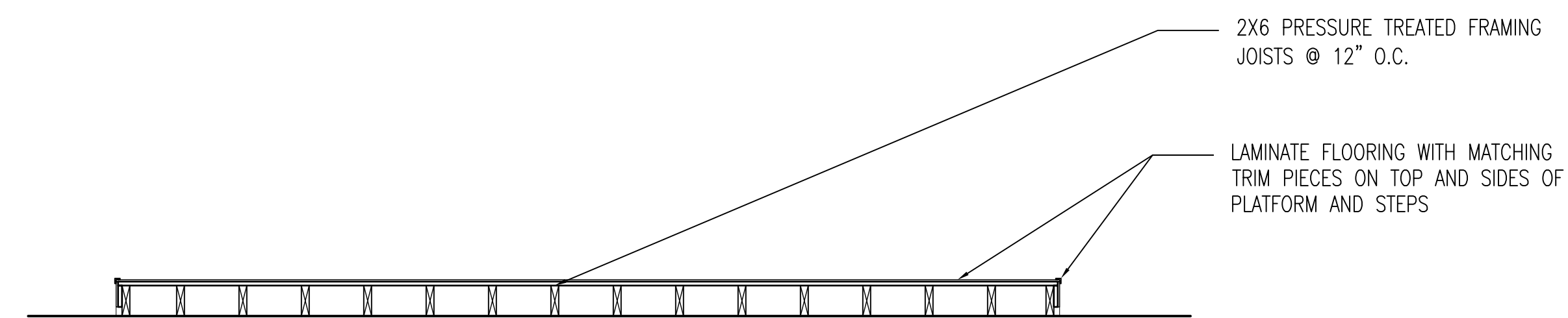
MS3 WALL CABINET - OPEN
MICROWAVE SHELF
WIDTH: 4'-0" DEPTH: 18"



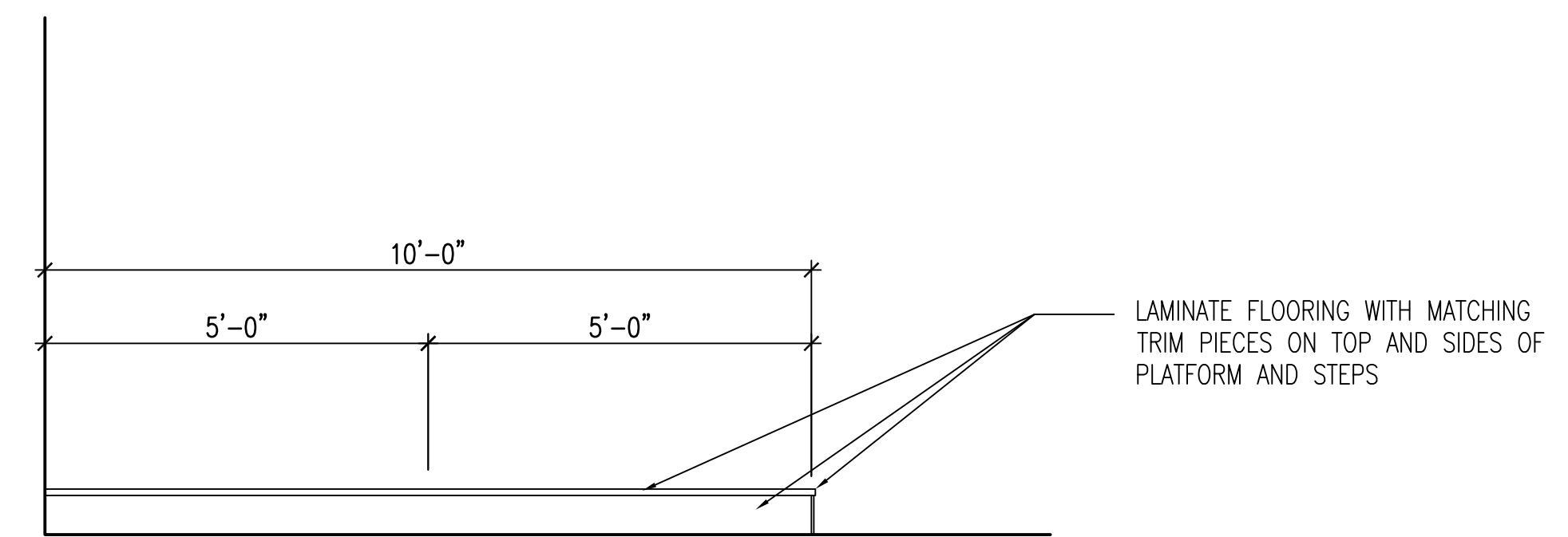
1 PLATFORM - ENLARGED PLAN
A603 SCALE: 1/2"=1'-0"



2 PLATFORM - SECTION
A603 SCALE: 1/2"=1'-0"



3 PLATFORM - SECTION
A603 SCALE: 1/2"=1'-0"



4 PLATFORM - SIDE ELEVATION
A603 SCALE: 1/2"=1'-0"

ARCHITECTS OF RECORD:

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PAUL MITCHELL
PARTNER SCHOOL

METAIRIE, LA

3321 HESSMER AVENUE
METAIRIE, LA 70002

CLIENT:

MARK AND LISA PALERMO

PROFESSIONAL SEAL:

SIGNATURE DATE

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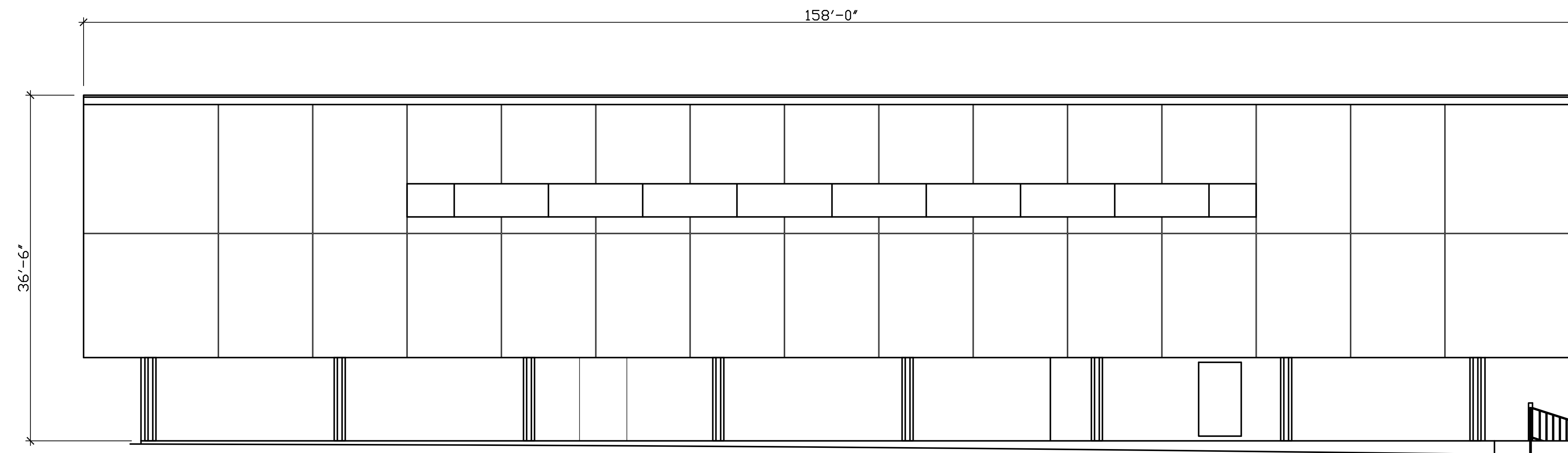
PROJECT NO: 0921

SCALE:

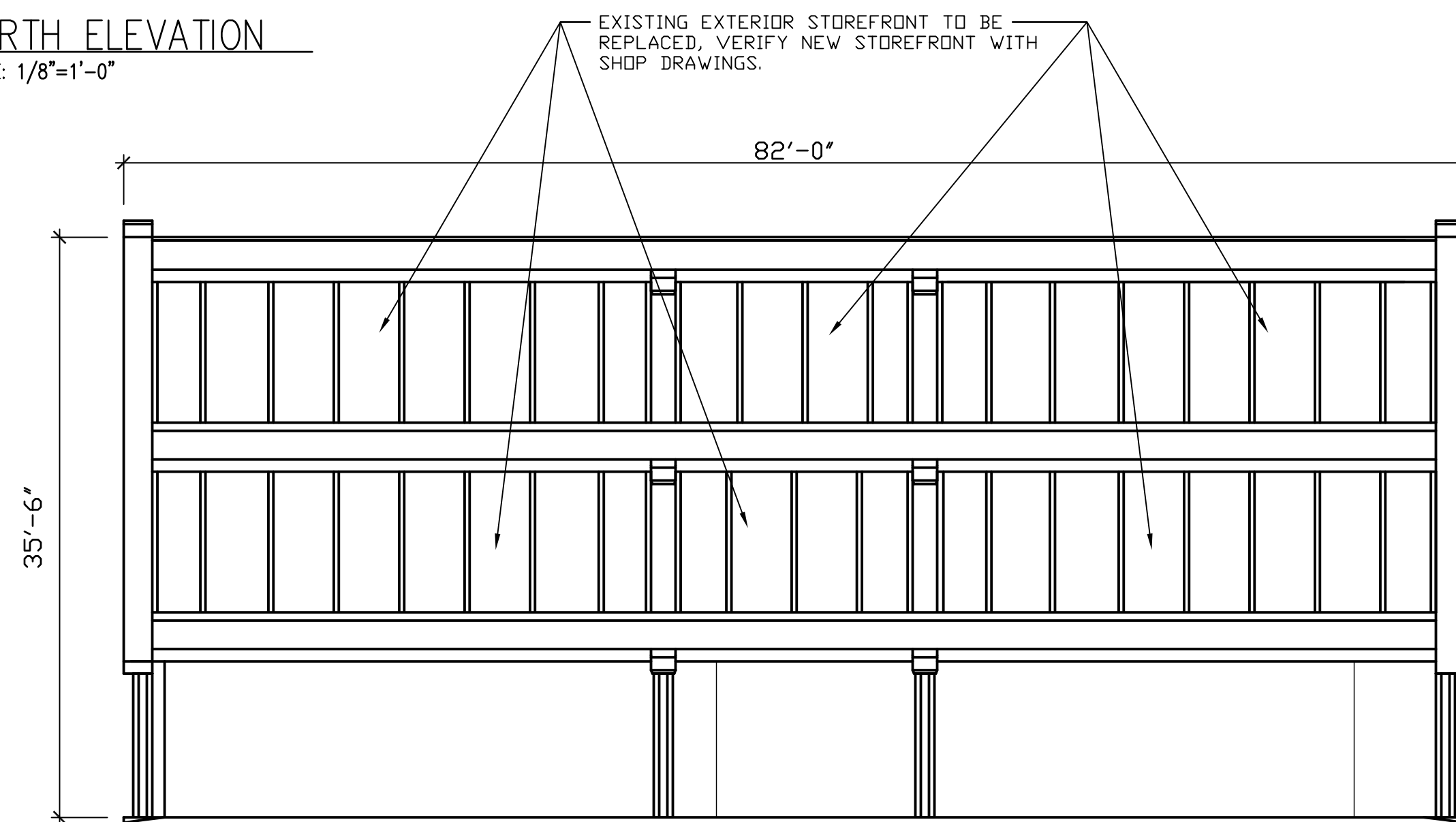
PLATFORM
DETAILS

A 603

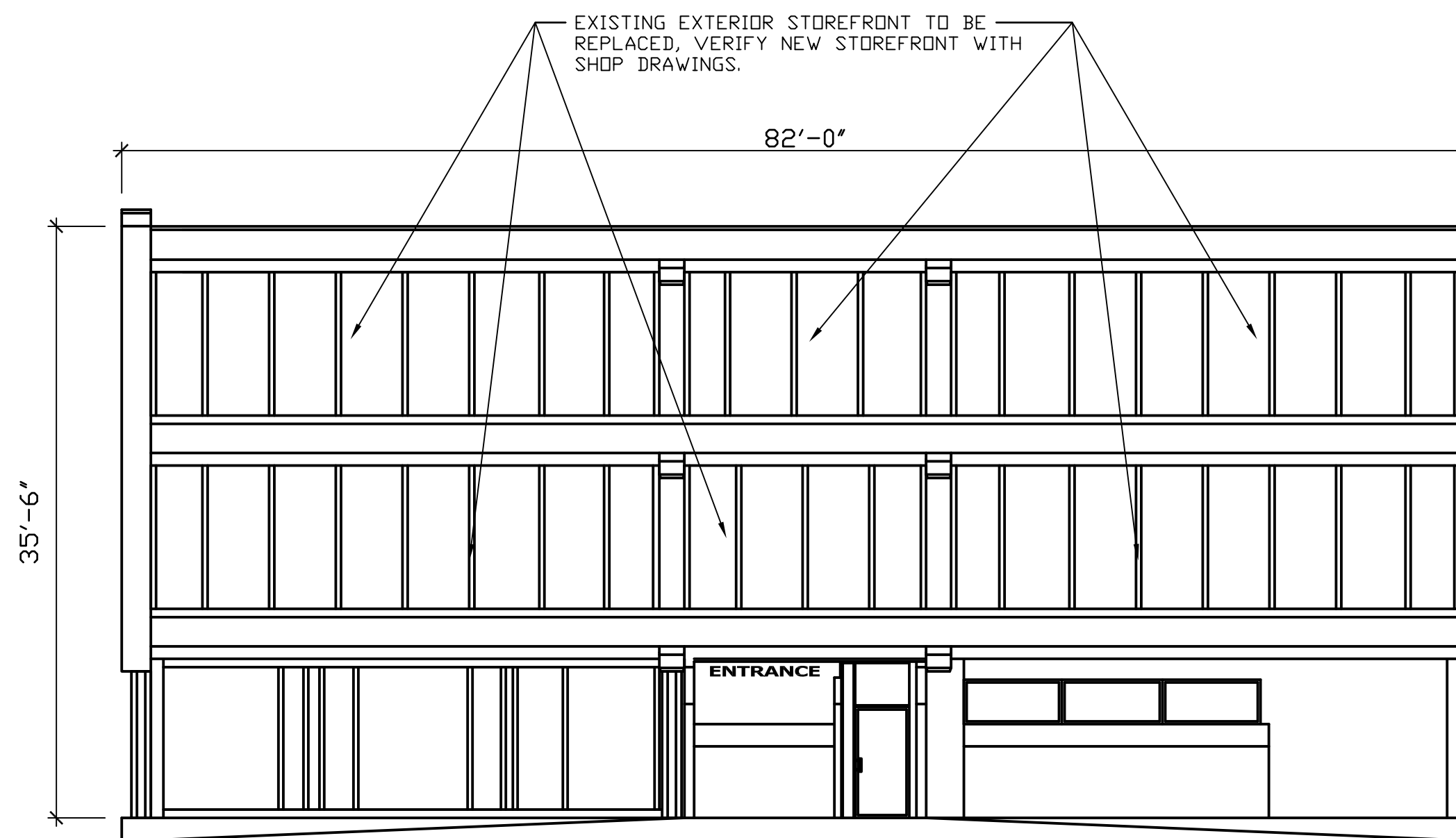
PERMIT ISSUE SET: 12.30.09



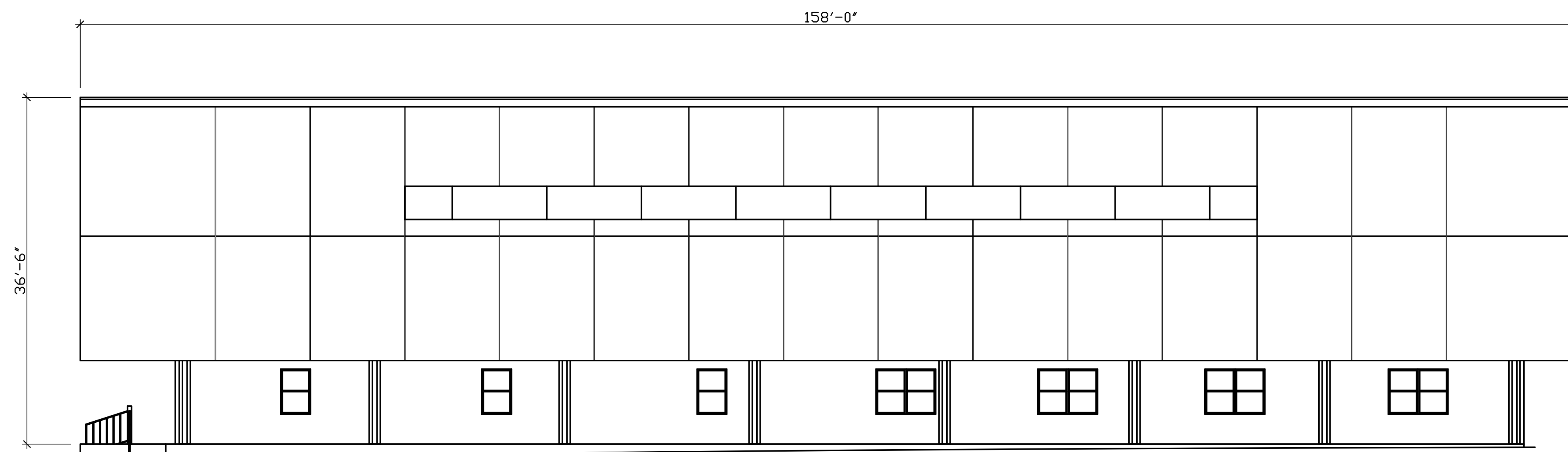
1 NORTH ELEVATION
A701 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A701 SCALE: 1/8"=1'-0"



3 WEST ELEVATION
A701 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
A701 SCALE: 1/8"=1'-0"

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PROJECT NO: 0921
SCALE: _____

EXTERIOR ELEVATIONS

A 701

PERMIT ISSUE SET: 12.30.09

EXTERIOR STOREFRONT SCHEDULE

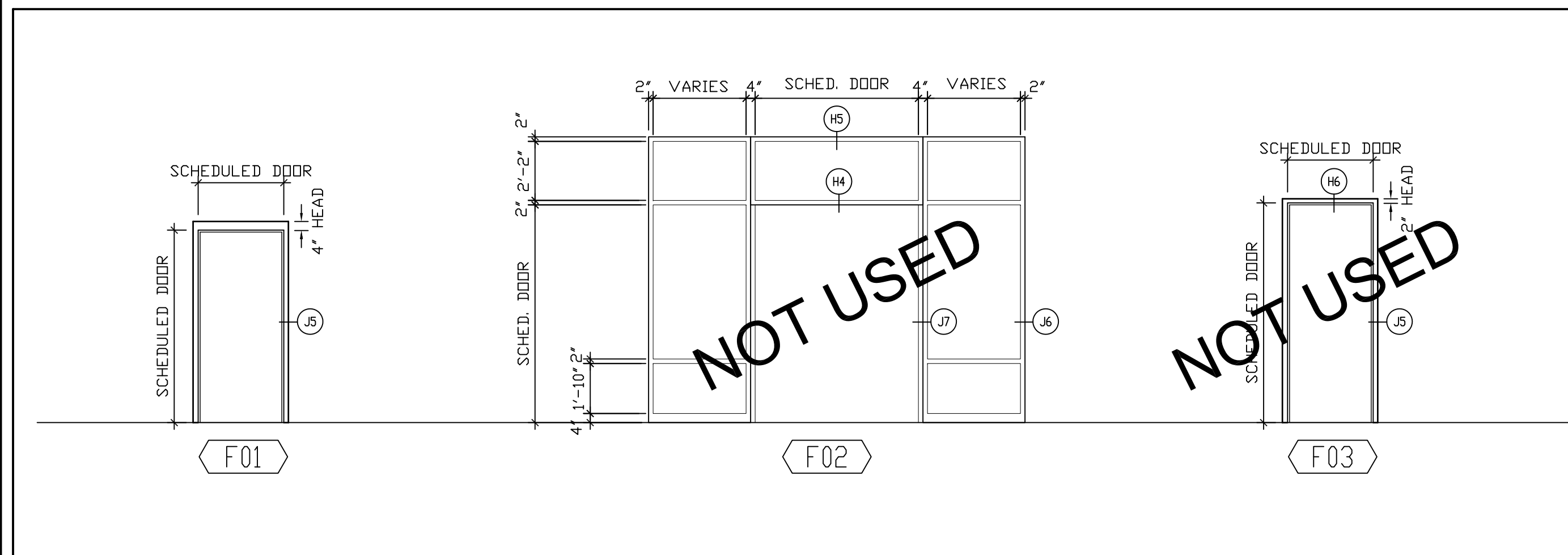
NOTE:
TO MATCH EXISTING STOREFRONT; VERIFY IN FIELD

EXTERIOR DOOR SCHEDULE

MAS. = MASONITE HARDBOARD PT. = PAINTED ALUM. = ALUMINUM H.M. = HOLLOW METAL STL. = STEEL SF = STORE FRONT

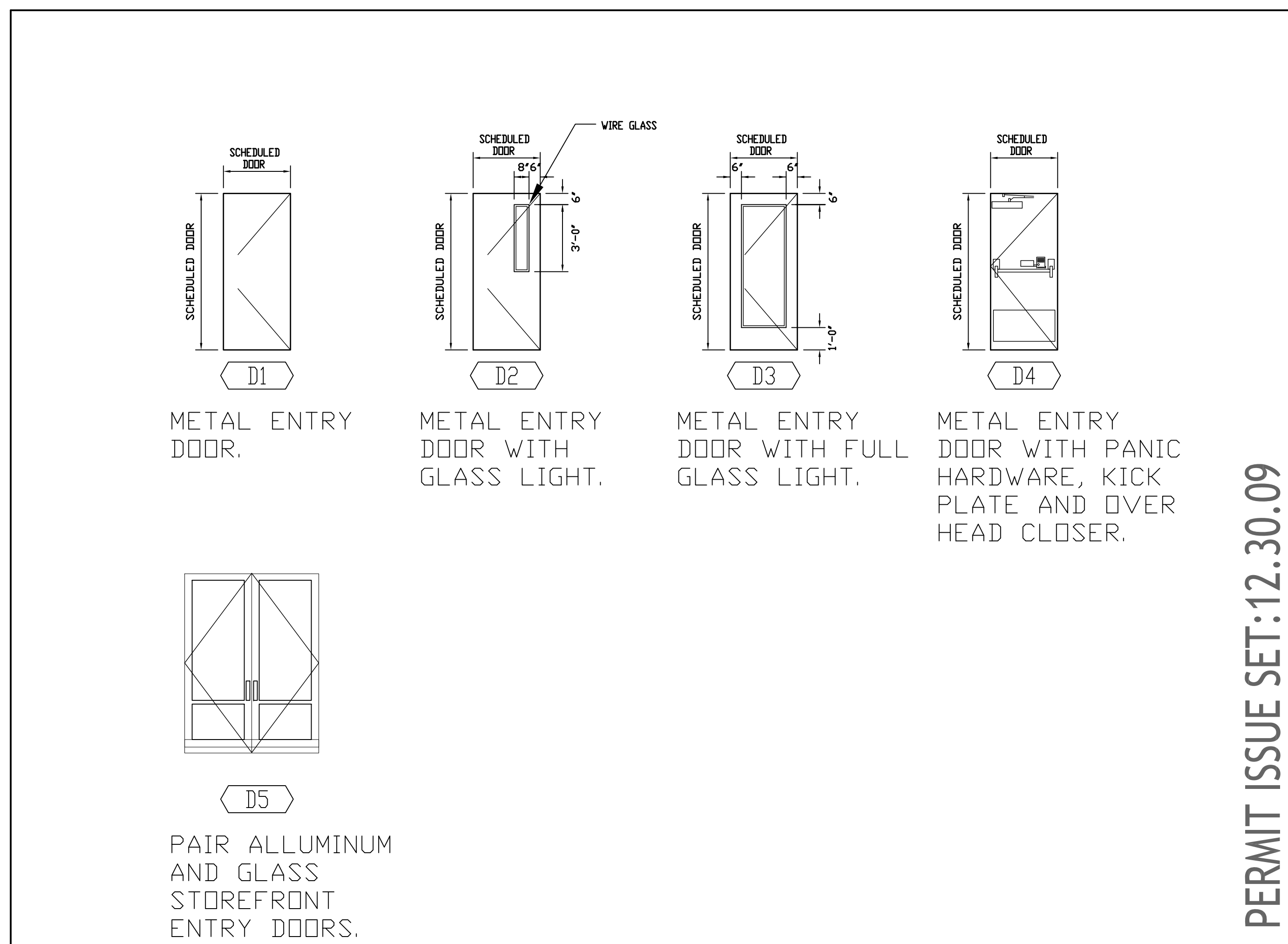
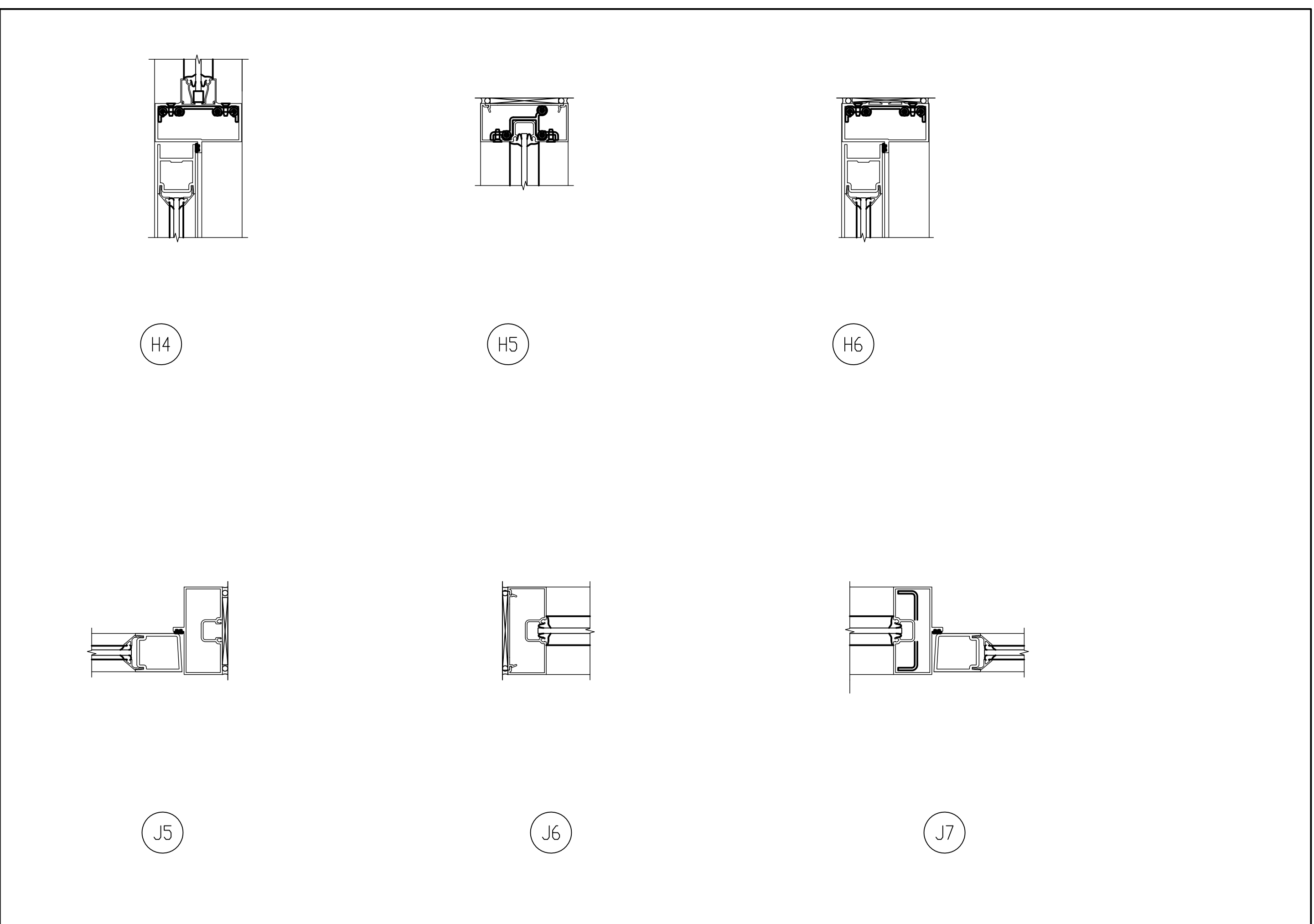
DOOR NO.	LOCATION	FIRE RATING (IN HOURS)	SIZE			TYPE	MAT.	FIN.	FRAME				HARDWARE		GLASS	NOTES/REMARKS
			WIDTH	HEIGHT	THK.				TYPE	CASING MAT.	CASING FIN.	DETAIL HEAD	JAMB	SET NO.		
ST101	STAIR #1	EXIST.														PANIC HARDWARE; VIF
101.2	VESTIBULE	EXIST.														
103.2	DISTRIBUTION		3'-0"	7'-0"	1 3/4"	D3	ALUM.	ALUM.	F01	ALUM.	ALUM.	H6	J5		Y	
107.2	HALLWAY	EXIST.														PANIC HARDWARE; VIF

EXTERIOR FRAME TYPES :



EXTERIOR FRAME DETAILS:

EXTERIOR DOOR TYPES :



ARCHITECTS OF RECORD:

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PROJECT NO: 0921

SCALE:

EXTERIOR
DOOR SCHEDULE

A 702