

GENERAL NOTES

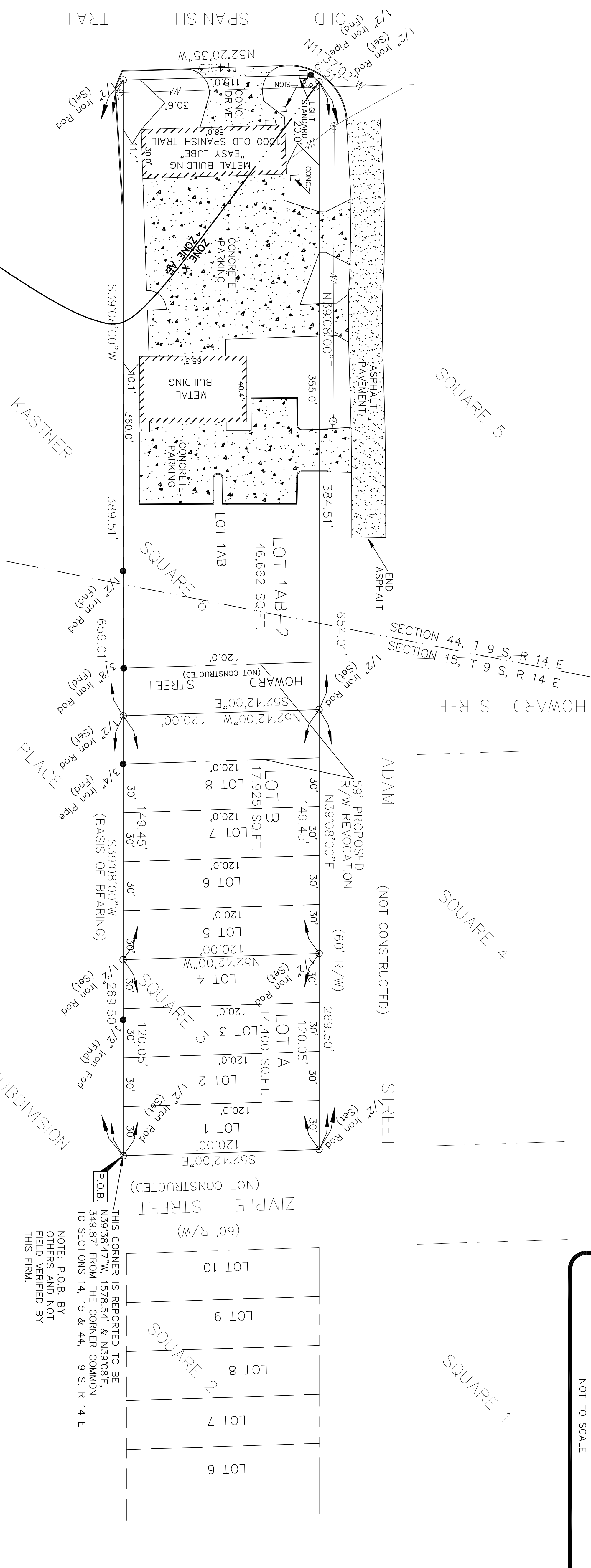
THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES OR STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE DISCOVERED DURING THE COURSE OF THE SURVEY. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY TO LOCATE BURIED UTILITIES OR STRUCTURES.

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS WITHIN A SPECIAL FLOOD HAZARD AREA. MAP #1702/12899 FLOOD ZONE: AE & X. BASE FLOOD ELEVATION: 21 & 21A.

REFERENCES:

- 1) PLAT OF GAZANO ADDITION TO THE "TOWN OF SLIDELL," BY H.G. FRITCHIE, #717, DATED 07/10/1930.
- 2) RESUBDIVISION CREATING LOTS "A" & "B", SQUARE 6, GAZANO ADDITION, BY GEORGE E. KOESTER, INC., #787-20-345, DATED 07/30/87, REVISED 08/18/1987.
- 3) SURVEY BY IVAN M. BORGES, #3241/7047, DATED 03/25/1976, LAST REVISED 08/30/1978.
- 4) SURVEY BY IVAN M. BORGES, #6042, DATED 03/25/1976.
- 5) RESUBDIVISION CREATING LOT 1AB, SQUARE 6, GAZANO ADDITION, BY JOHN #824 (MICHOU & ASSOCIATES, INC., #2000 371, DATED 03/29/2000, MAP FILE SUBJECT PROPERTY IS CURRENTLY ZONED C2, NEIGHBORHOOD COMMERCIAL.

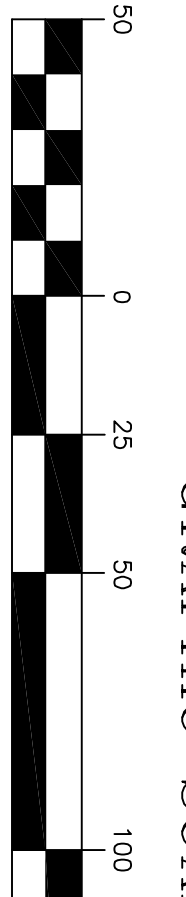
RESUBDIVISION OF LOTS 1 THRU 8, SQUARE 3 AND LOT 1AB, SQUARE 6, GAZANO ADDITION TO THE CITY OF SLIDELL, INCLUDING THE REVOCATED HOWARD STREET RIGHT OF WAY LYING BETWEEN SAID SQUARES 3 AND 6, INTO LOTS "A" AND "B", SQUARE 3 AND LOT 1AB-2, SQUARE 6, GAZANO ADDITION TO THE CITY OF SLIDELL, SECS. 15 & 44, T 9 S, R 14 E, ST. TAMMANY PARISH, LOUISIANA



PROPERTY DESCRIPTION

THAT CERTAIN PARCEL IN SECTIONS 15 AND 44, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING LOTS 1 THROUGH 8, SQUARE 3 AND LOT 1AB, SQUARE 6, GAZANO ADDITION TO THE CITY OF SLIDELL, INCLUDING THE REVOCATED HOWARD STREET RIGHT OF WAY LYING BETWEEN SAID SQUARES 3 AND 6, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMMENCING AT THE CORNER COMMON TO SECTIONS 14, 15 AND 44, TOWNSHIP 9 SOUTH, RANGE 14 EAST;
- THENCE N39°38'47"W, A DISTANCE OF 1578.54 FEET;
  - THENCE N39°08'E, A DISTANCE OF 349.87 FEET TO A 1/2" IRON ROD SET AT THE NORTHEAST CORNER OF SAID SQUARE 3, GAZANO ADDITION FOR A POINT OF BEGINNING;
  - THENCE S39°08'00"W ALONG THE EASTERLY LINE OF SAID GAZANO ADDITION A DISTANCE OF 659.01 FEET TO A 1/2" IRON ROD SET ON THE NORTHERLY RIGHT OF WAY LINE OF OLD SPANISH TRAIL;
  - THENCE N52°20'35"W ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 114.93 FEET TO AN EXISTING 1/2" IRON PIPE;
  - THENCE N11°37'02"W CONTINUING ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 6.51 FEET TO A 1/2" IRON ROD SET ON THE EASTERLY RIGHT OF WAY LINE OF ADAM STREET;
  - THENCE N39°08'00"E A DISTANCE OF 654.01 FEET TO A 1/2" IRON ROD SET AT THE NORTHWEST CORNER OF SAID SQUARE 3;
  - THENCE S52°42'00"E A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING.



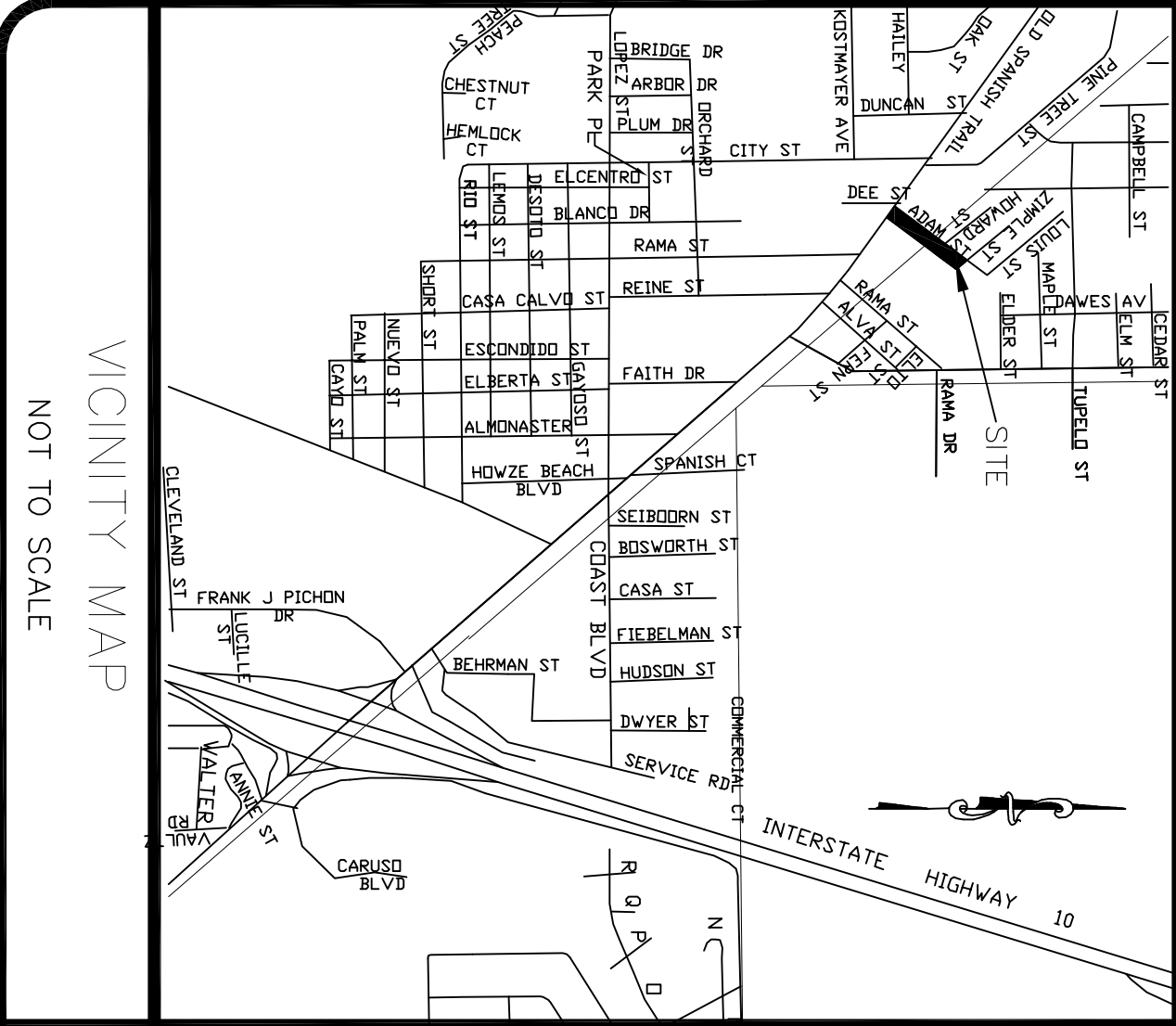
NOTE: P.O.B. BY OTHERS AND NOT FIELD VERIFIED BY THIS FIRM.

THIS CORNER IS REPORTED TO BE N39°38'47"W, 1578.54' & N39°08'E, 349.87' FROM THE CORNER COMMON TO SECTIONS 14, 15 & 44, T 9 S, R 14 E

APPROVED:

CHAIRMAN OF PLANNING COMMISSION	DATE
MAYOR	DATE
PRESIDENT OF CITY COUNCIL	DATE
CLERK OF COURT	DATE
MAP FILE NO.	DATE FILED
OWNER/AGENT	DATE
OWNER/AGENT	DATE

TOTAL AREA: 78,986 SQ. FT. OR 1.813 ACRES



CERTIFICATION

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES EXCEPT AS SHOWN. ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD ARE SHOWN BY REFERENCE TO THE RECORD NUMBER OF THE SURVEY OR ABSTRACT, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR CLASS "A" SURVEY. ENCUMBRANCES ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL

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SEAN M. BURKES  
LA REG. NO. 4785

RESUBDIVISION CREATING LOTS "A" & "B", SQUARE 3 & LOT "1AB-2", SQUARE 6 GAZANO ADDITION TO THE CITY OF SLIDELL SECS. 15 & 44, T 9 S, R 14 E ST. TAMMANY PARISH, LOUISIANA

K.B. KAUFMAN CONSTRUCTION

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

DATE: 03/25/2004  
DRAWN BY: DLG  
CHECKED BY: MD  
DWG. NO. 1040892

SCALE: 1" = 30'

SHEET 1 OF 1