

IRC 2021  
WFCM  
ECC 2021  
NEC 2020  
140 MPH WIND SPEED  
EXPOSURE: B  
DESIGN MEETS THE PRESCRIPTIVE  
ENERGY CODE REQUIREMENTS  
CLIMATE ZONE: 2  
MANUAL J CALCULATIONS BY OTHERS

RESIDENCE IS NOT LOCATED IN A  
WINDBORNE DEBRIS PROTECTION REGION

**THERMAL COMPONENT CRITERIA  
(U-FACTOR AND R-VALUE)  
(MAX. SHGC - 0.25 FOR GLAZING)**

MAXIMUM GLAZING PENETRATION U-FACTOR	MIN. INSULATION R-VALUE		
	CLGS.	WALLS	FLOORS
0.40	R-38	R-5	R-5

R-8 DUCT INSULATION  
ATTIC ACCESS INSULATED  
INSULATE HOT & COLD WATERLINE IN UNCONDITIONED ATTIC AND CRAWSPACES.  
FURR CUT 2, RAFTERS AS REQUIRED FOR BATT INSULATION AT CATHEDRAL CEILINGS OR USE SPRAYED FOAM INSULATION IF ACCEPTABLE.

- NOTES**
- CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING THE ENERGY EFFICIENCY REQUIREMENTS OF THE BUILDING CODE (BASED ON IRC 2021 CLIMATE ZONE 2 - U-FACTOR-0.40 MAX. SHGC-0.25 MAX.)
  - CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING WIND DESIGN PRESSURE REQUIREMENTS OF R603 (GARAGE DOOR SHALL BE RATED TO MEET WIND LIMITATIONS AS PER R 3012D)
  - PER R3012 DOORS BETWEEN GARAGE & RESIDENCE SHALL BE 20-MINUTE FIRE RATED DOORS (INCLUDING ATTIC STAIRS). ALSO PER R3025.1 SELF CLOSING.
  - SAFETY GLAZING (TEMPERED GLASS) IS REQUIRED AT LOCATIONS IDENTIFIED IN R508.4 EX. GLAZING WITHIN 24" OF DOORS & OVER TUBS)
  - PER R309.2 GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYPSUM BOARD AFFLIED TO THE GARAGE SIDE OF WALLS AND CEILING. GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT.
  - RAIL INDICATES GUARD RAIL AT PORCHES & GUARDRAIL WITH HANDRAIL AT STAIRS
  - OPENING IN THE RESIDENCE SHALL BE PROTECTED BY 20 MIN. RATED DOORS.
  - IF REQUIRED ATTIC ACCESS (IRC-R807) IS LOCATED IN THE GARAGE, THE REQUIRED 1/2" GYPSUM WILL BE AFFLIED TO CEILING AND DROP DOWN STAIR MUST BE 20 MIN. RATED.
- PROTECTION OF APPLIANCE IN GARAGE IS REQUIRED.

**WINDOW SCHEDULE**

MARK	DESCRIPTION	HDR
AA	3060 VINYL S.H.	8'-0"
BB	5040 VINYL FIXED FROSTED GLASS	8'-0"
CC	3060 VINYL FIXED GLASS	8'-0"
DD	2640 VINYL FIXED GLASS	8'-0"

**DOOR SCHEDULE**

MARK	WIDTH	HEIGHT	THICK.	DESCRIPTION
1	3'-0"	8'-0"	1 3/4"	1 LT. FRENCH EXTERIOR
2	3'-0"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
3	2'-8"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
4	2'-4"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
5	3'-0"	8'-0"	1 3/8"	RAISED PANEL POCKET
6	8'-0"	8'-0"	1 3/8"	FR4080 METAL/GLASS POCKET
7	9'-0"	8'-0"	--	3080 METAL/GLASS W/ 2-3080 WINDOW UNIT
8	3'-0"	8'-0"	1 3/8"	SCREEN DOOR
9	3'-0"	8'-0"	1 3/4"	1 LT. / 2 PANEL EXTERIOR
10	9'-0"	8'-0"	--	OH GARAGE 140 MPH RATED
11	3'-0"	8'-0"	--	RAISED PANEL EXTERIOR

**1ST LEVEL FLOOR PLAN**

PLANS FOR:  
ANTHONY & AMELIE PIZZA  
34355 HWY 433  
ST. TAMMANY PARISH, LA

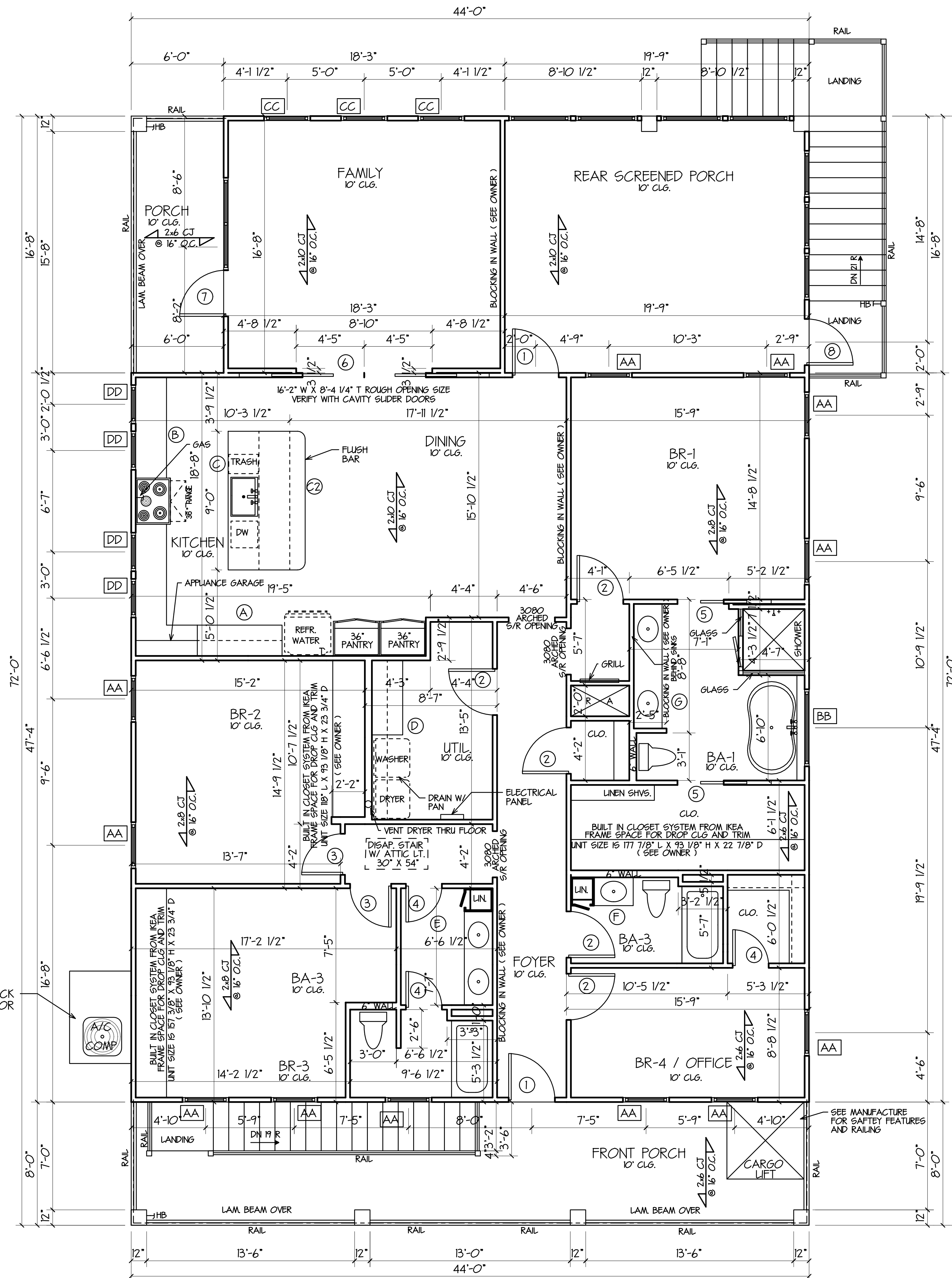
HOUSE PLANS by  
**DesignTech**  
OF LOUISIANA, LLC  
St. Tammany Parish, LA.  
SLIDELL 985-847-0600

CODE	LIVING	AREA U. B.	INDEX
A4	2387	3168	3214

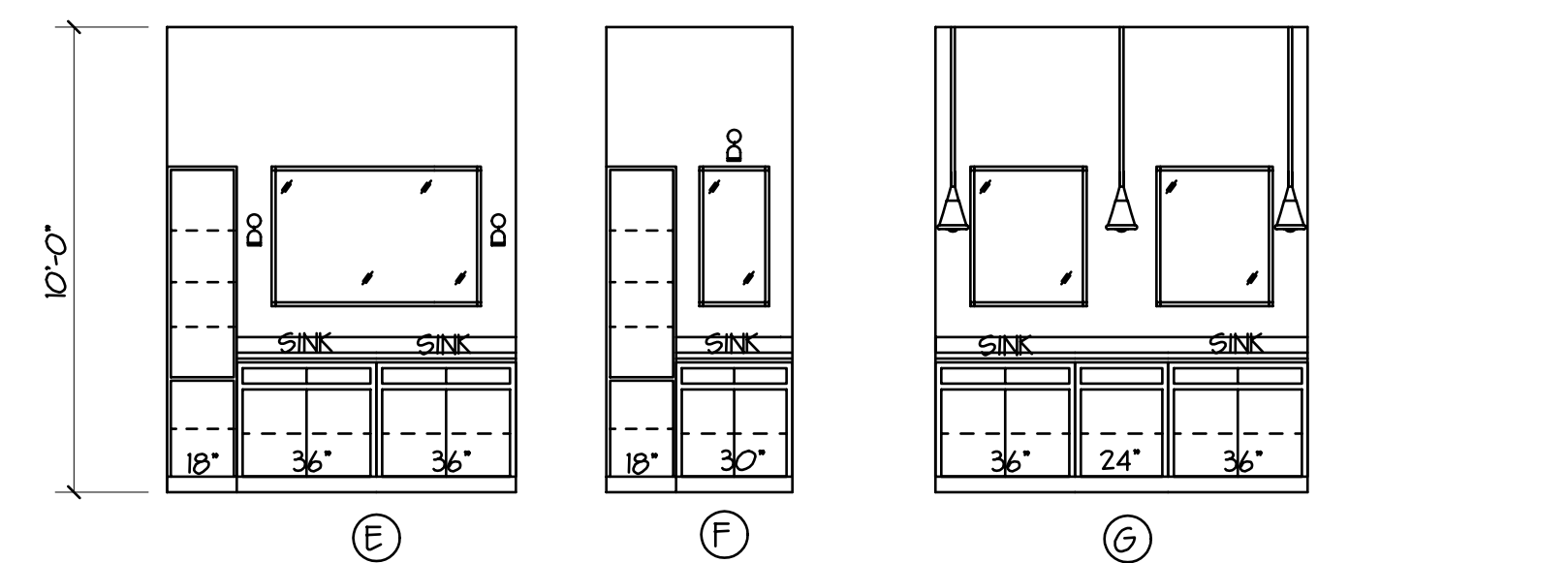
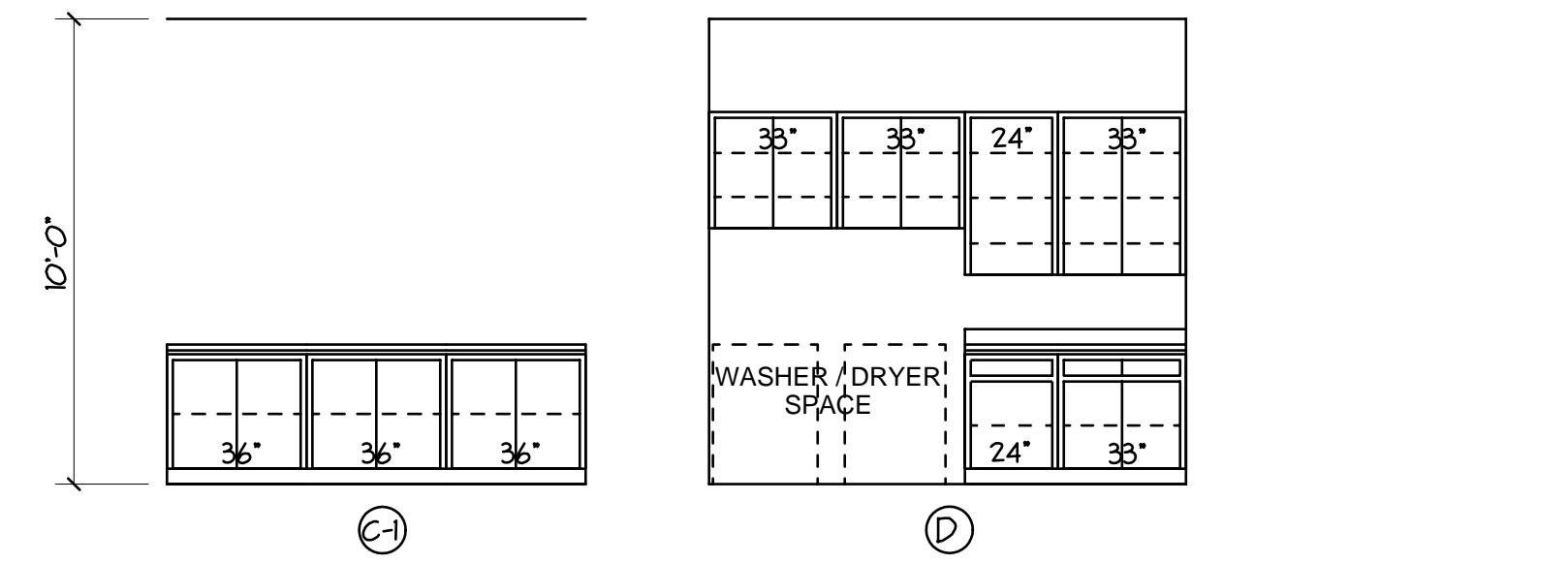
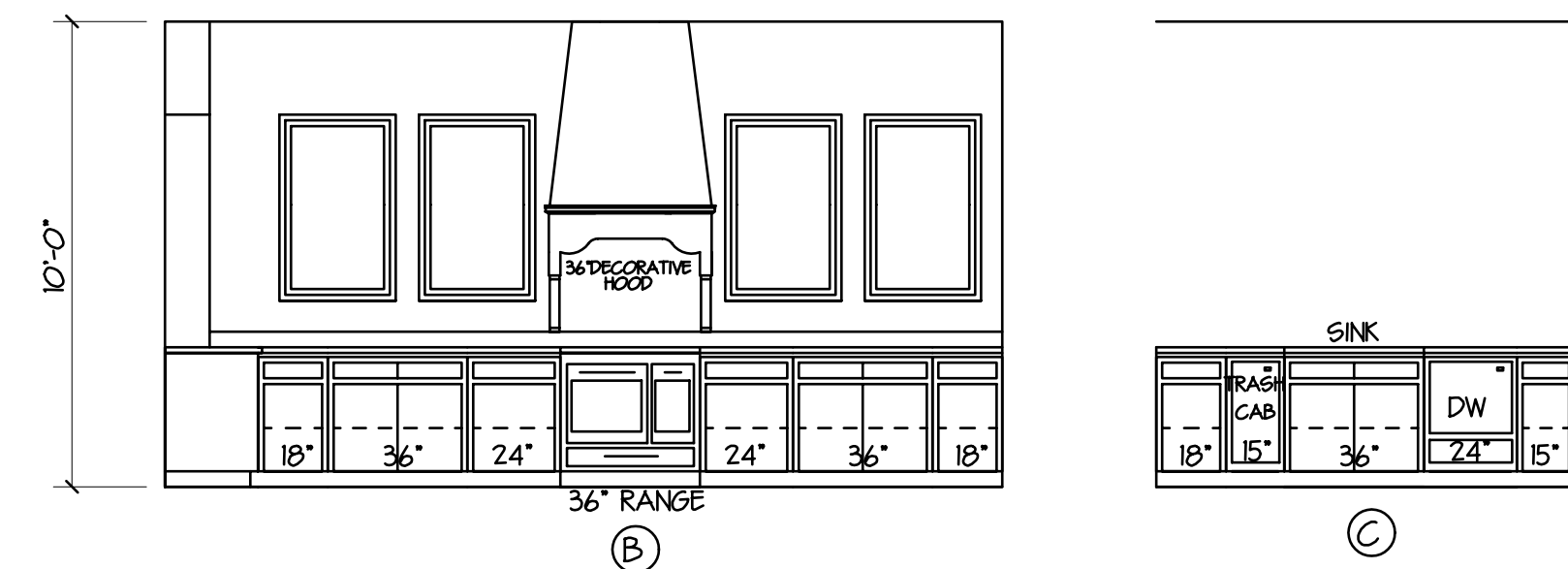
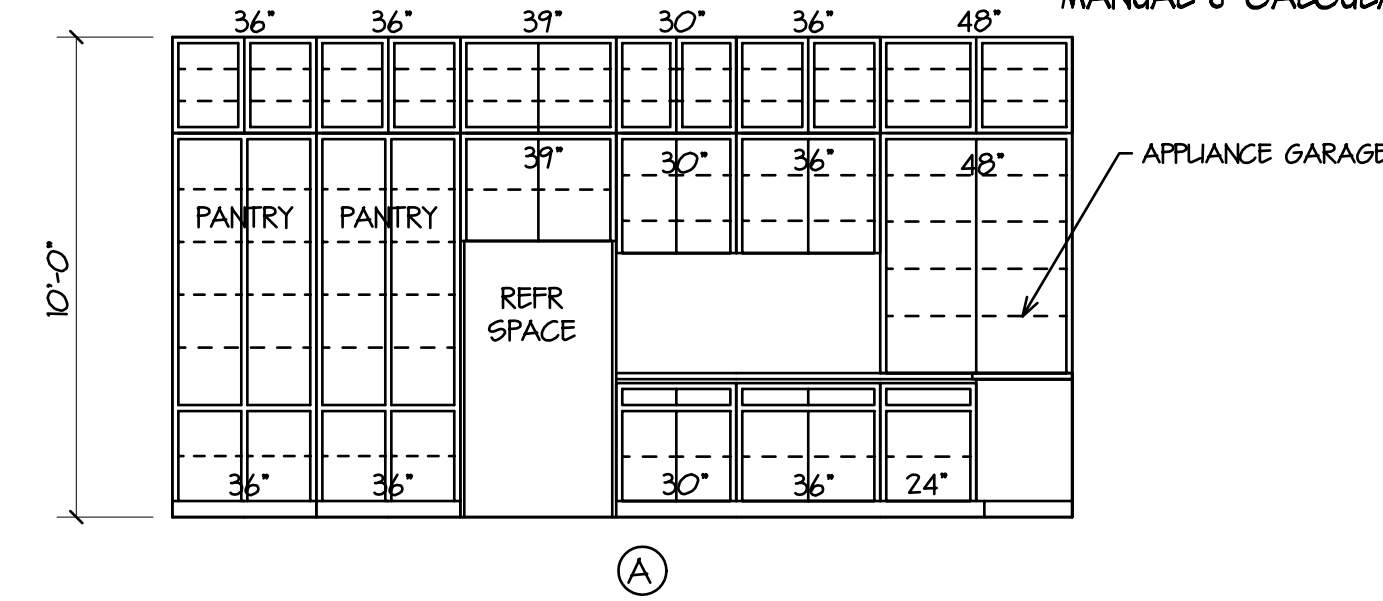
DESIGNED BY	FINISHED BY	CHECKED BY	SHEET SIZE
DMH	JMC	DMH	24" X 36"

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**FLOOR PLAN**  
SCALE 1/4"=1'-0"



**CABINET ELEVATIONS**  
SCALE 1/4"=1'-0"

**AREA**

1ST LEVEL LIVING AREA	2387
PORCHES	781
TOTAL AREA UNDER B'M	3168
GARAGE & STORAGE UNDER	2009
OPEN AREA UNDER HOUSE	1158

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