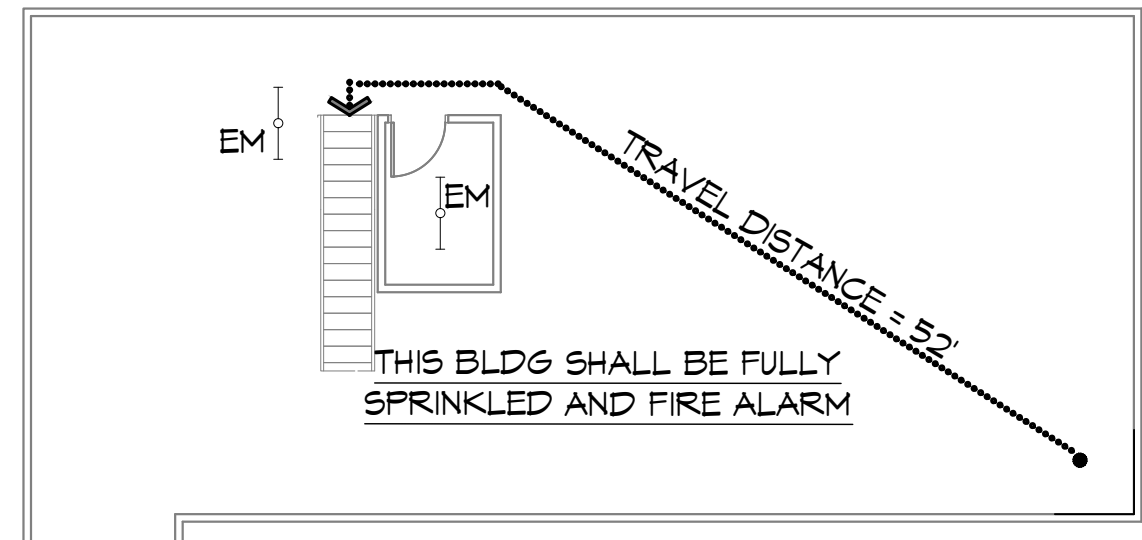
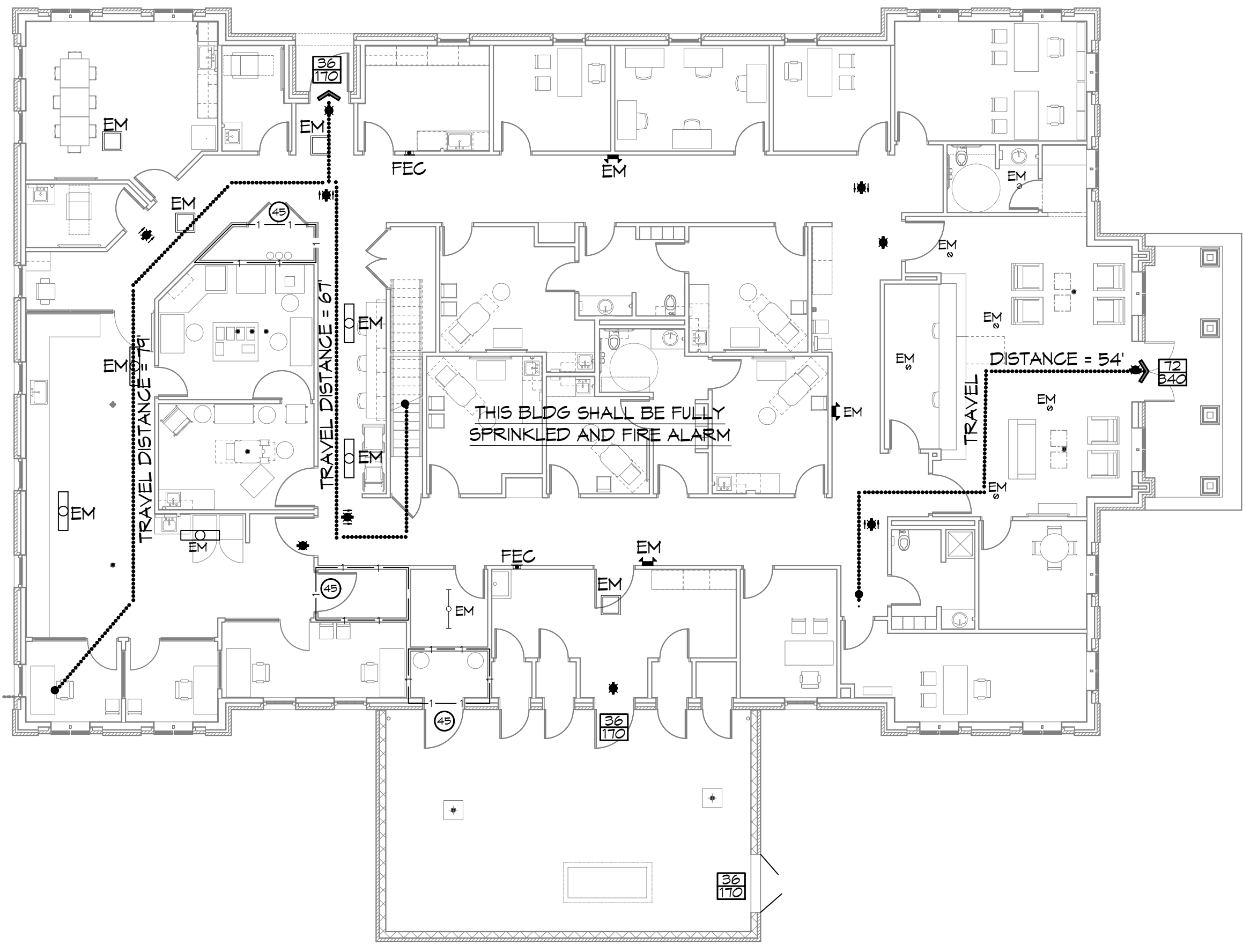


LIFE-SAFETY INFORMATION

APPLICABLE CODES	
NFPA 101 LIFE-SAFETY CODE 2015	
OCCUPANCY TYPE(S) AND CHAPTER(S)	
BUSINESS (CHAPTER 38)	
MULTIPLE, MIXED, OR SEPARATE OCCUPANCY (REFERENCE CHAPTER 6)	
N/A	
OCCUPANT LOAD FACTOR	(REFERENCE TABLE 7.3.1.2)
8,205 SF / 100 SF PER OCCUPANT =	83 OCCUPANTS
1784 SF / 300 SF PER OCCUPANT =	08 OCCUPANTS
CLASSIFICATION OF HAZARD OF CONTENTS	
(REFERENCE: OCCUPANCY CHAPTER AND 8.2.2: SPECIFY LOW, ORDINARY, OR HIGH)	
CONSTRUCTION TYPE(S) (REFERENCE: CHAPTER 8, TABLE A.8.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)	
V	
MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS	
(REFERENCE: SECTION 7.5; SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)	
1/3 DIAGONAL = 24'-10"	
MAXIMUM DEAD-END CORRIDORS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
50'	
MAXIMUM COMMON PATH OF TRAVEL DISTANCE (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
100'	
MAXIMUM TRAVEL DISTANCE TO EXITS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
300'	
MAIN ENTRANCE MUST BE SIGNED TO ACCOMMODATE 1/2 OCCUPANT LOAD OF BUILDING	



MECHANICAL MEZZANIE LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0"



LEVEL 1 LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0"

BUILDING CODE INFORMATION

APPLICABLE CODES	
IBC 2021	
BUSINESS GROUP B (IBC 2021 CHAPTER 19)	
OCCUPANT LOAD CALCULATIONS (TABLE 1004.1.1)	
BUSINESS =	8,205 SQ FT 100 SF PER OCCUPANT (GROSS) 83 OCCUPANTS
ATTIC =	256,846 SQ FT 300 SF PER OCCUPANT (GROSS) 08 OCCUPANTS
CONSTRUCTION TYPE(S) (TABLE 504)	
VB (SECTION 504)	
ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION	
MAXIMUM HEIGHT IN STORIES (SECTION 504.4)	2
MAXIMUM AREA IN SQUARE FEET (SECTION 503, 506 & 507, TABLE 503)	9,000

WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

WIND DESIGN DATA:

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY

WIND SPEED V_{ULT} (3 SECOND GUST) = 144 MPH (IBC FIG 1609.3(1))

NOMINAL DESIGN WIND SPEED V_{ASD} = 111 MPH (V_{ULT} x (0.6)^{1/2})

RISK CATEGORY: CATEGORY II BLDG SURFACE ROUGHNESS = C

TOPOGRAPHIC FACTOR = 1 EXPOSURE = C

DESIGN WIND PRESSURE (ASCE 7-10 TABLE 28.6-1): 31.7 PSF

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 28.11-1): ± 0.18

LIVE LOADS (IBC SEC 1607)

OFFICE LOBBIES & CORRIDORS 1ST FLOOR (IBC TABLE 1607.1): 100 PSF

OFFICES (IBC TABLE 1607.1): 50 PSF

ROOF LIVE LOADS (IBC TABLE 1607.1): 20 PSF UNIFORM, 300 LB CONCENTRATED

SNOW LOADS (IBC SEC 1609.2): 5 PSF

GROUND SNOW LOAD (IBC FIG 1609.2): 5 PSF

FLOOD ZONE INFORMATION

BASED ON THE SURVEY FROM JV BURKES THIS PROPERTY IS IN A FLOOD ZONE "A10"

FIRM, COMMUNITY NO. 225205 0535 D 04-02-1991

FLOOD ZONE: A10 BASE FLOOD ELEVATION 10'0" + 2' = 12'0"

LIFE-SAFETY LEGEND

SYMBOL	DESCRIPTION
	EXITS
	DOOR FIRE RATINGS (MINUTES)
	DOOR WIDTH/EGRESS CAPACITY
	EXIT LIGHT
	FIRE EXTINGUISHER IN CABINET
	COMMON PATH OF TRAVEL
	TRAVEL DISTANCE
	DECISION POINT

VICINITY MAP



GENERAL NOTES

- ALL MATERIALS AND WORK INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
- CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
- THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
- TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
- ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

SHEET INDEX

SHEET #	SHEET TITLE
G1	GENERAL INFORMATION SHEET
G2	ACCESSIBILITY INFORMATION
C1	PROPOSED SITE PLAN
C2	PRE AND POST DEVELOPMENT
C3	UTILITY SITE PLAN
C4	PROPOSED DRAINAGE PLAN
C5	DRAINAGE SECTIONS
C6	PAVING PLAN
C7	PROPOSED EROSION CONTROL AND DETAILS
A1.0	FIRE RATING PARTITION PLAN - LEVEL 1
A1.1	MECHANICAL MEZZANINE
A1.2	MECHANICAL MEZZANINE
A1.3	ROOF PLAN
A2.0	FINISH SCHEDULE AND FINISH LEGEND
A3.0	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A5.0	WALL SECTIONS
A5.1	WALL SECTIONS CONT.
A5.2	WALL SECTION DETAILS
A6.0	ENLARGED PLAN ROOMS, TOILET ACCESSORY LEGEND, AND EQUIPMENT LEGEND
A6.1	STAIR PLAN AND SECTION
A7.0	MECHANICAL YARD SECTIONS
A8.0	DOOR AND WINDOW SCHEDULE
A9.0	INTERIOR ELEVATIONS
A9.1	INTERIOR ELEVATIONS CONT.
A10.0	REFLECTED CEILING PLAN
A11.0	MILLWORK
A11.1	MILLWORK CONT.
PT-1A	PILE PLAN - BY OTHERS
PT-1B	POST TENSION PLAN - BY OTHERS
PT-2	FOUNDATION DETAILS - BY OTHERS
S1	SHEARWALL PLAN AND DETAIL
S2	MEZZANINE FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	ROOF FRAMING DETAILS
S5	TYPICAL CONNECTION DETAILS, SCHEDULES, AND NOTES
M1	MECHANICAL PLAN FIRST FLOOR
M1.1	MECHANICAL PLAN MEZZANINE
M2	MECHANICAL SECTIONS
M3	MECHANICAL SCHEDULES
M4	MECHANICAL LEGEND AND DETAILS
M4.1	MECHANICAL DETAILS
P1	PLUMBING DRAIN, WASTE, AND VENT PLAN
P1.1	PLUMBING WATER AND GAS PLAN
P2	PLUMBING SCHEDULES
P3	PLUMBING DETAILS
E1	FIRST FLOOR, SECOND FLOOR LIGHTING PLAN
E2	FIRST FLOOR, SECOND FLOOR POWER PLAN
E3	FIRST FLOOR, SECOND FLOOR AUXILIARY PLAN
E4	POWER PANELS
E5	ONE LINE DIAGRAM
E6	ELECTRICAL LEGEND

DAMMON ENGINEERING, INC.
LOUISIANA & MISSISSIPPI

Chief Engineer: Brian Mistich, PE
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www.dammonengineering.com
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PH: 985-649-5832

DATE: _____

REVISIONS:

#	DESCRIPTION

SEAL:

NEW MEDICAL OFFICE

DIANA OAK HARBOR REAL ESTATE LLC

540 OAK HARBOR BLVD
SLIDELL, LA 70458

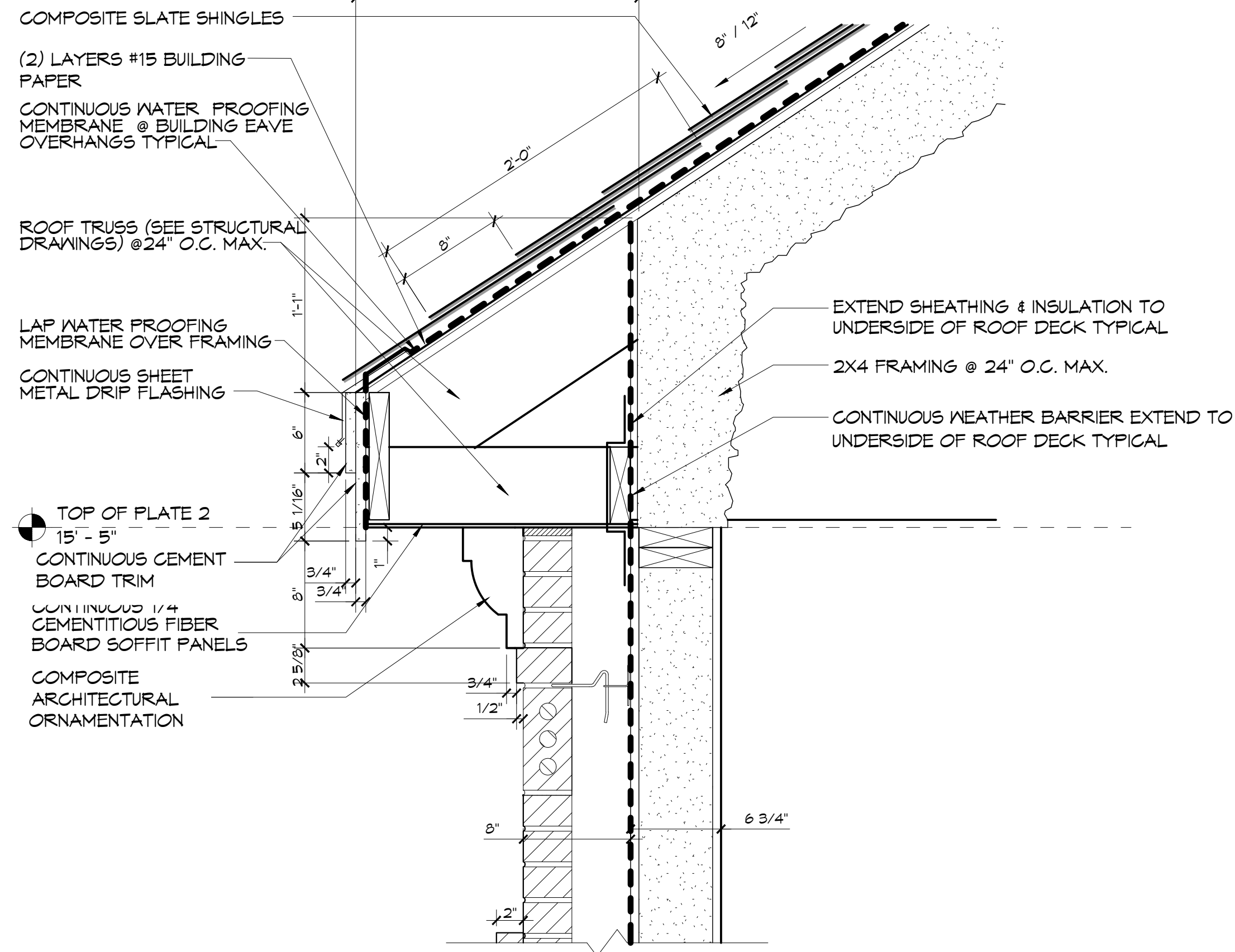
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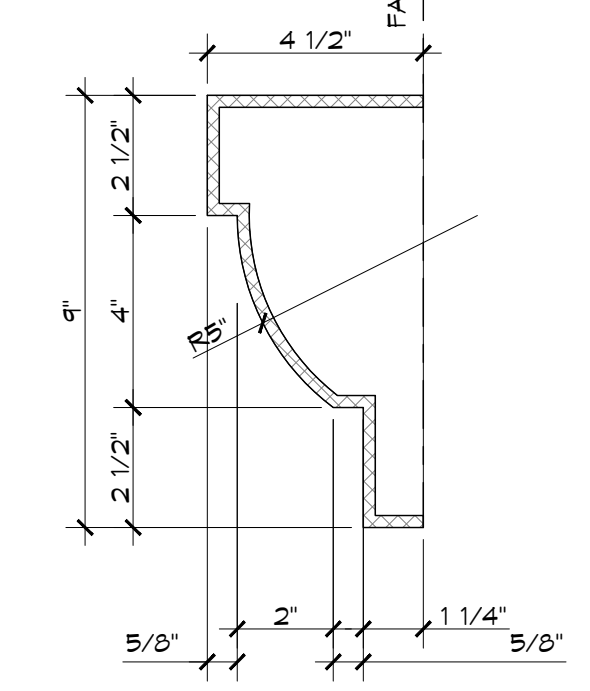
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SHEET No: 1 of 52

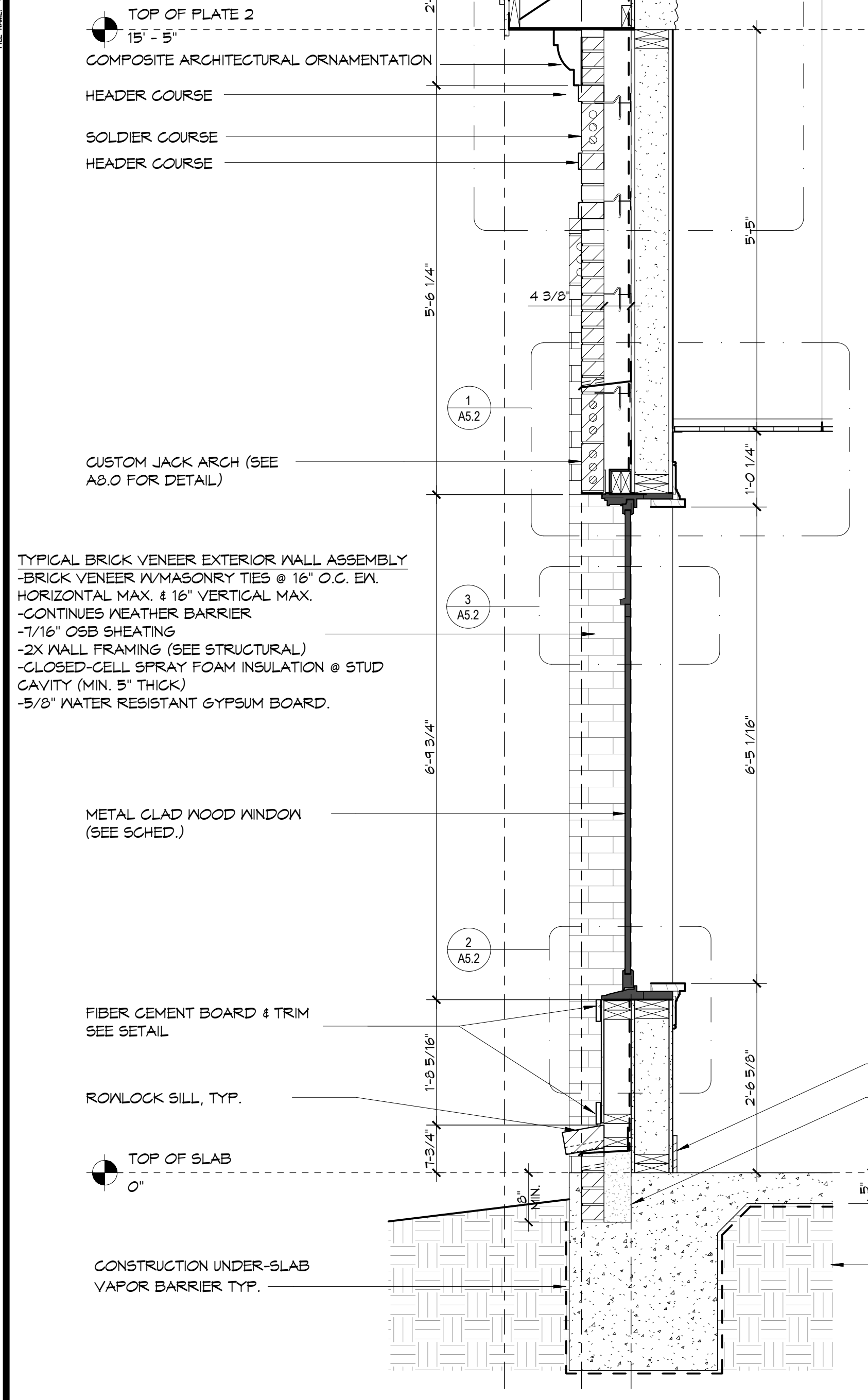
TYPICAL COMPOSITE SLATE SHINGLE ROOF ASSEMBLY
 -COMPOSITE SLATE SHINGLES
 -(2) LAYERS #15 BUILDING PAPER
 -CONTINUE SELF ADHERED WATER PROOF MEMBRANE EQUAL GRADE ICE & WATER SHIELD OR EQ AT ALL EAVES, VALLEYS, RIDGES & OTHER SIMILAR TRANSITIONS.
 -CONTINUE ROOF DECKING (SEE STRUCTURAL)
 -OPEN CELL SPRAY FOAM INSULATION CONTINUES BETWEEN STRUCTURE @ DECK (MIN 5" THICK)



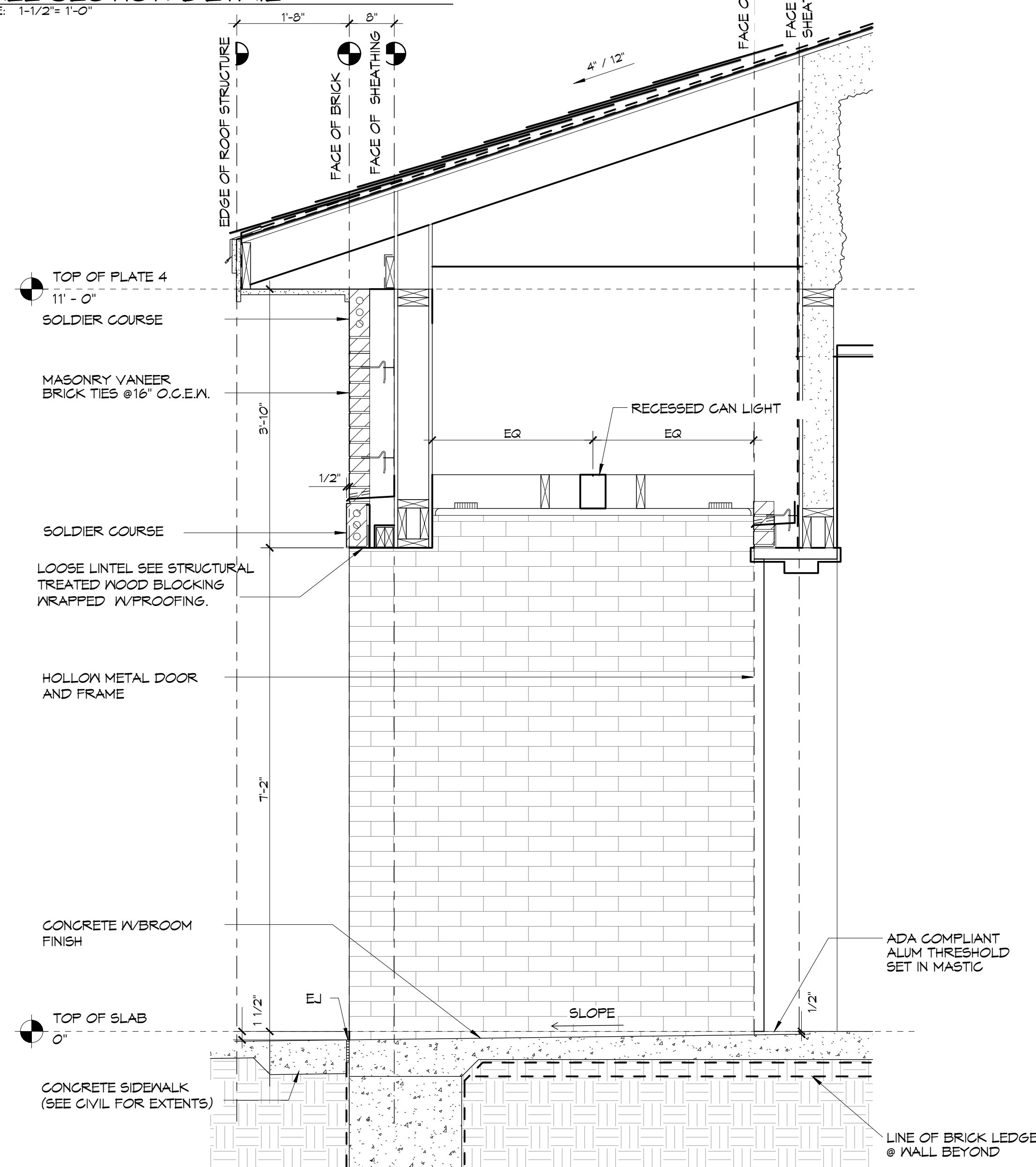
2 WALL SECTION DETAIL
 SCALE: 1-1/2" = 1'-0"



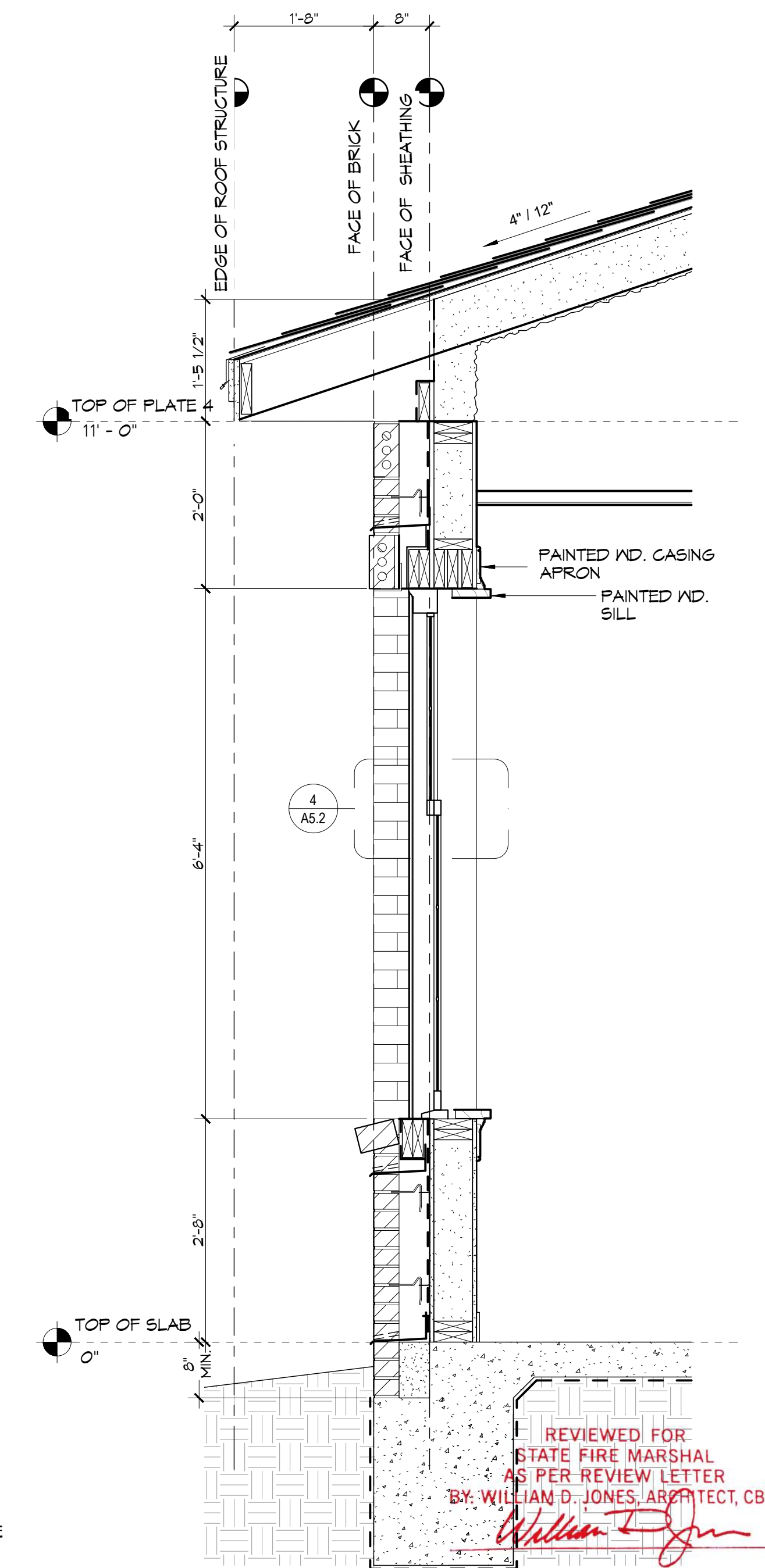
5 CORNICE PROFILE DETAIL
 SCALE: 3" = 1'-0"



4 WALL SECTION
 SCALE: 3/4" = 1'-0"



3 WALL SECTION
 SCALE: 3/4" = 1'-0"



1 WALL SECTION
 SCALE: 3/4" = 1'-0"

TYPICAL BRICK VENEER EXTERIOR WALL ASSEMBLY
 -BRICK VENEER W/MASONRY TIES @ 16" O.C. E/W.
 HORIZONTAL MAX. & 16" VERTICAL MAX.
 -CONTINUE WEATHER BARRIER
 -1/16" OSB SHEATHING
 -2X WALL FRAMING (SEE STRUCTURAL)
 -CLOSED-CELL SPRAY FOAM INSULATION @ STUD CAVITY (MIN. 5" THICK)
 -5/8" WATER RESISTANT GYPSUM BOARD.

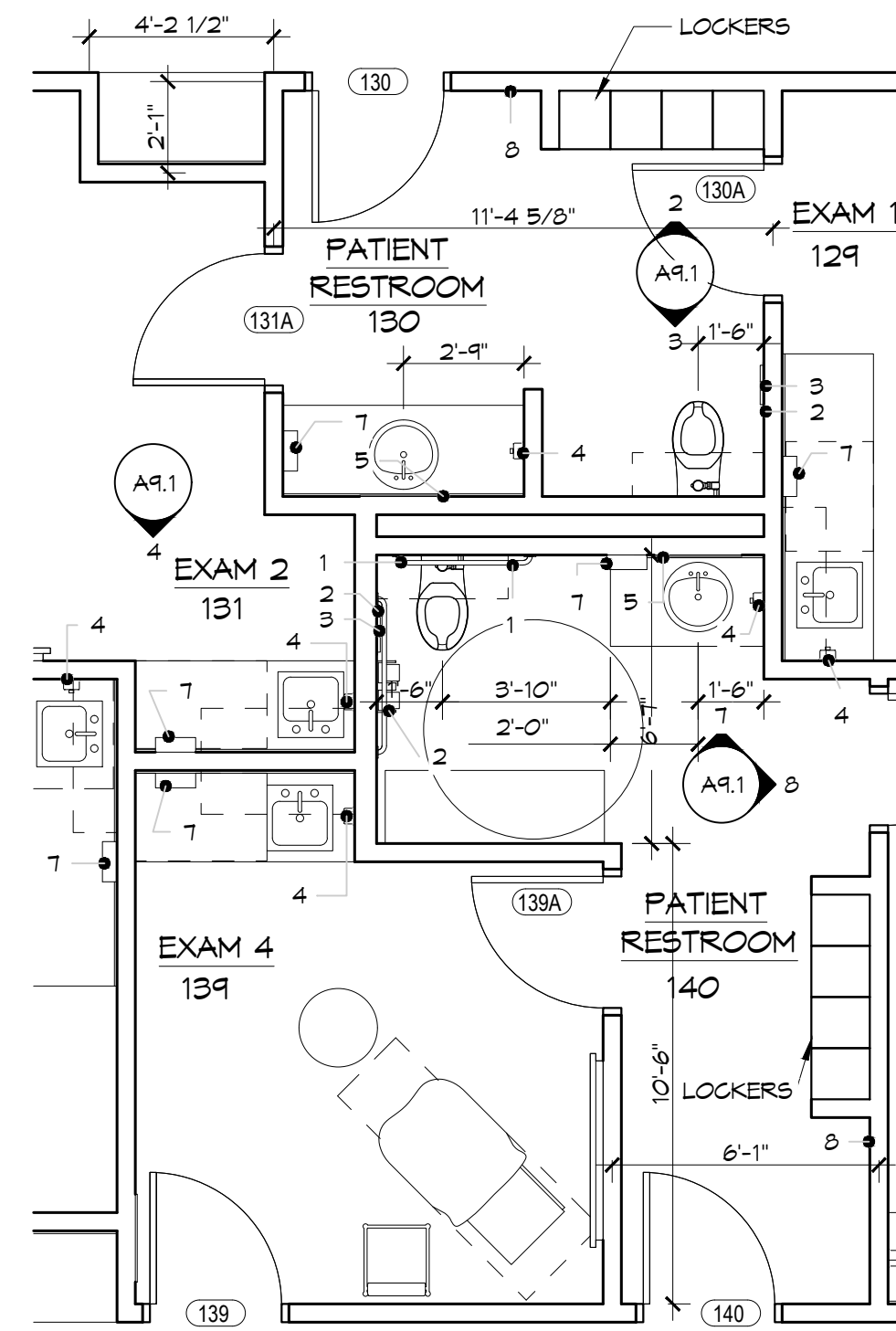
DAMMON ENGINEERING, INC.
 LOUISIANA & MISSISSIPPI
 Chief Engineer: Brian March, PE
 554 Old Spanish Trail
 Slidell, LA 70458
 www.dammonengineering.com
 info@dammonengineering.com
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#	DESCRIPTION	DATE

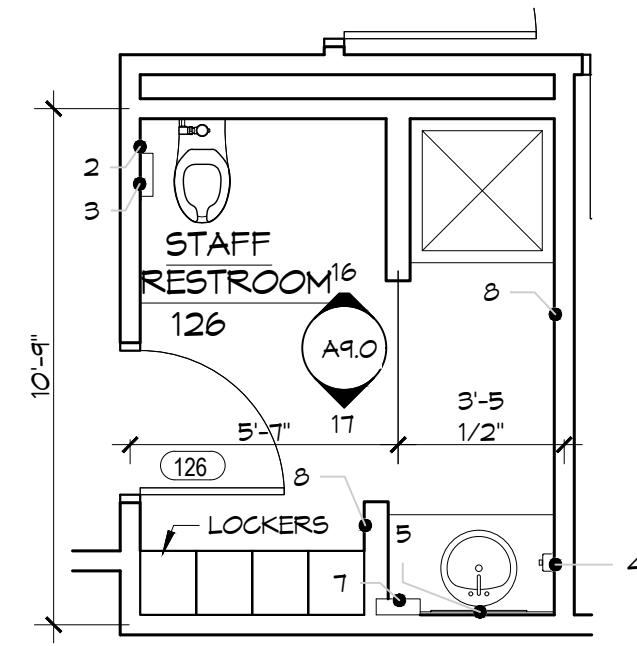


NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
 340 OAK HARBOR BLVD
 SLIDELL, LA 70458
 JOB No: 2513 DATE: 05-16-2025
 DRAWN BY: CKD CHECKED BY: JMS
 REVIEWED FOR STATE FIRE MARSHAL AS PER REVIEW LETTER BY: WILLIAM D. JONES, ARCHITECT, CBO

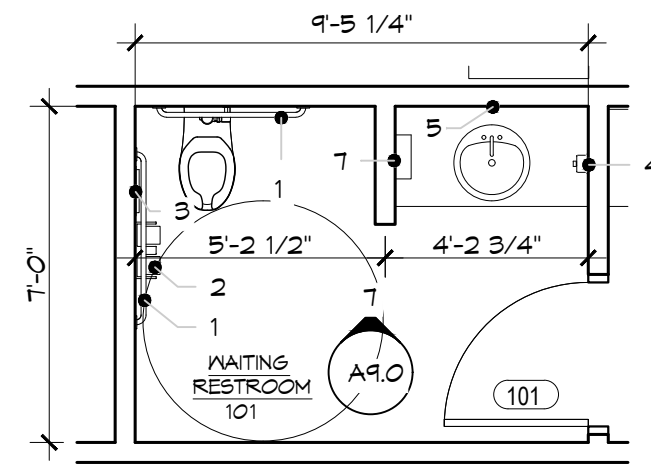
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 DRAWING NUMBER:
A5.0
 SHEET No: 17 of 52



1 PATIENT RESTROOM
SCALE: 1/4" = 1'-0"



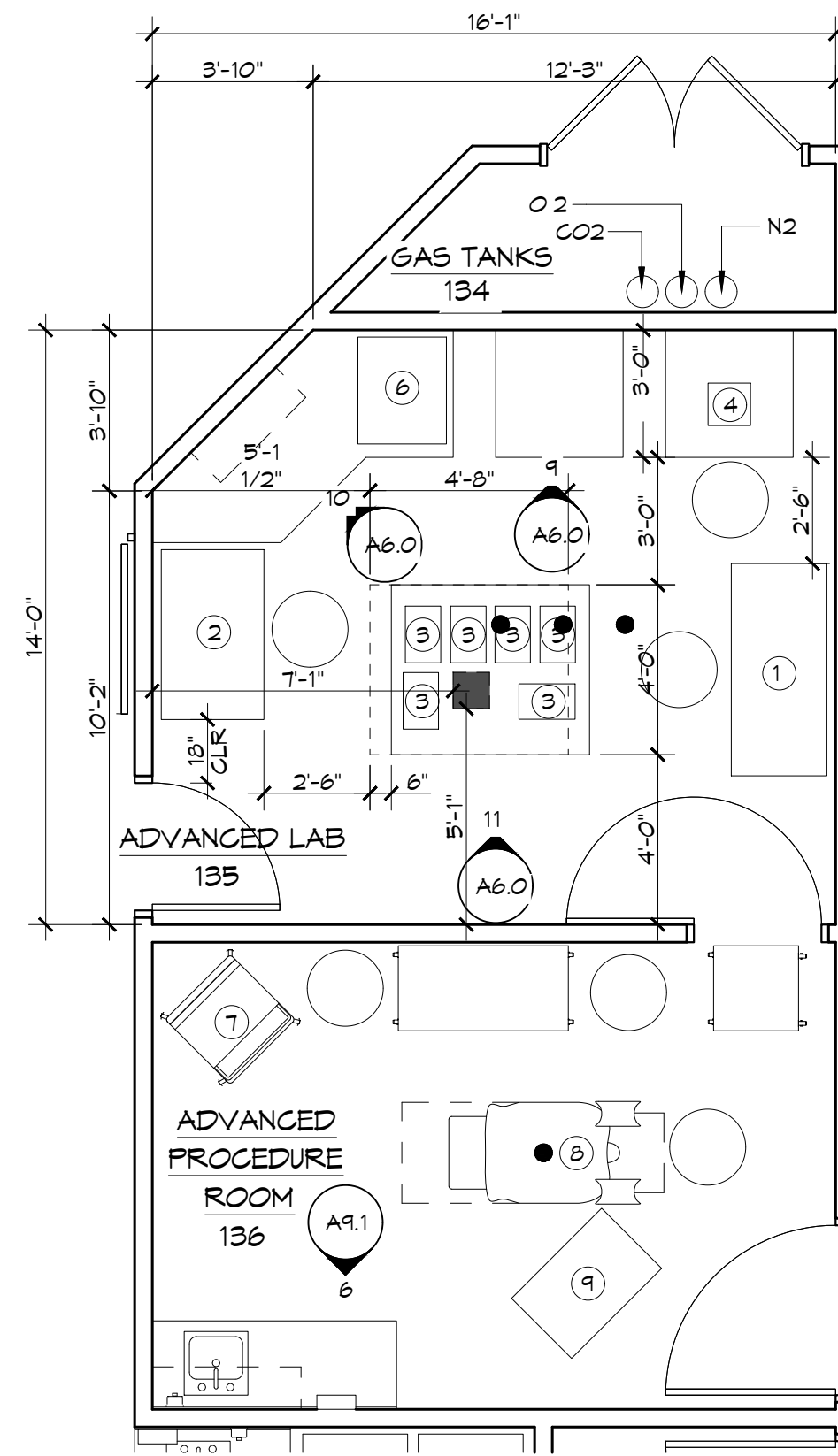
2 STAFF RESTROOM 126
SCALE: 1/4" = 1'-0"



3 WAITING RESTROOM 101
SCALE: 1/4" = 1'-0"

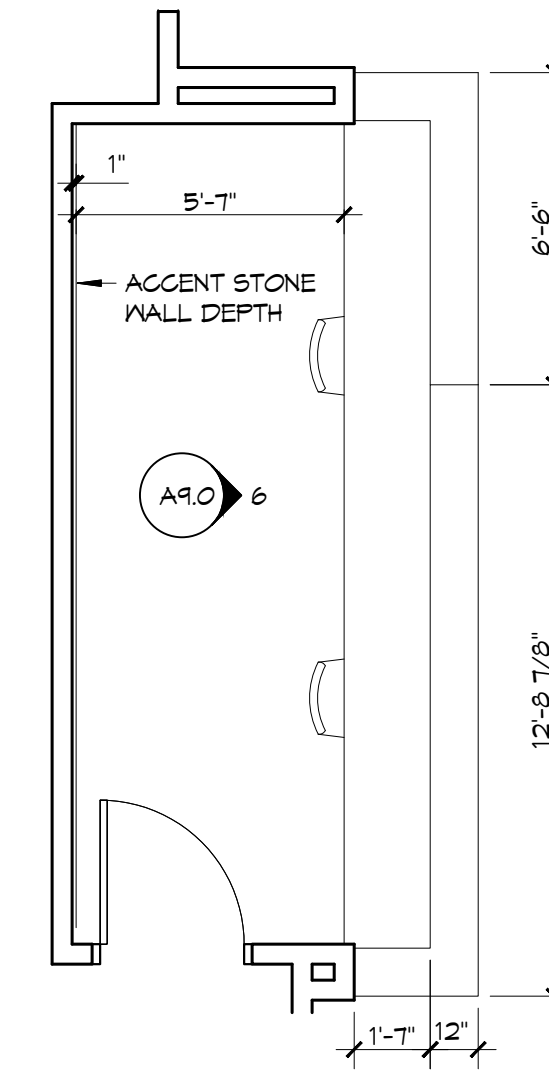
TOILET ACCESSORY LEGEND	
1.	ADA GRAB
2.	TOILET TISSUE DISPENSER
3.	SANITARY NAPKIN DISPOSAL
4.	WALL-MOUNTED SOAP DISPENSER
5.	MIRROR
6.	FULL HEIGHT MIRROR
7.	WALL-MOUNTED PAPER TOWEL DISPENSER
8.	COAT HOOK

GENERAL NOTES	
1.	ALL KITCHEN & BREAKROOM EQUIPMENT & APPLIANCES ARE NOT IN CONTR. UNLESS NOTED OTHERWISE.

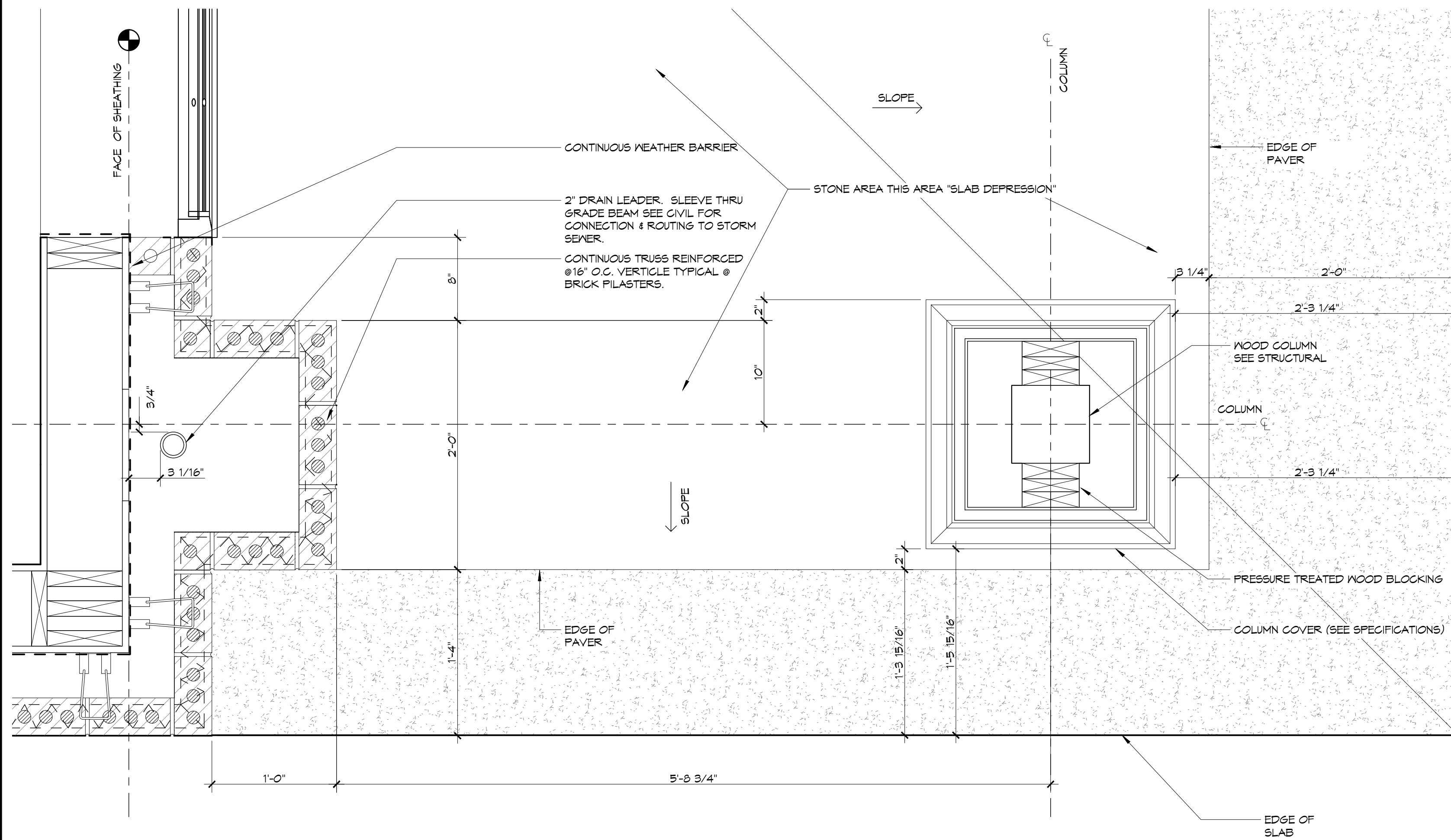


4 ENLARGED EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

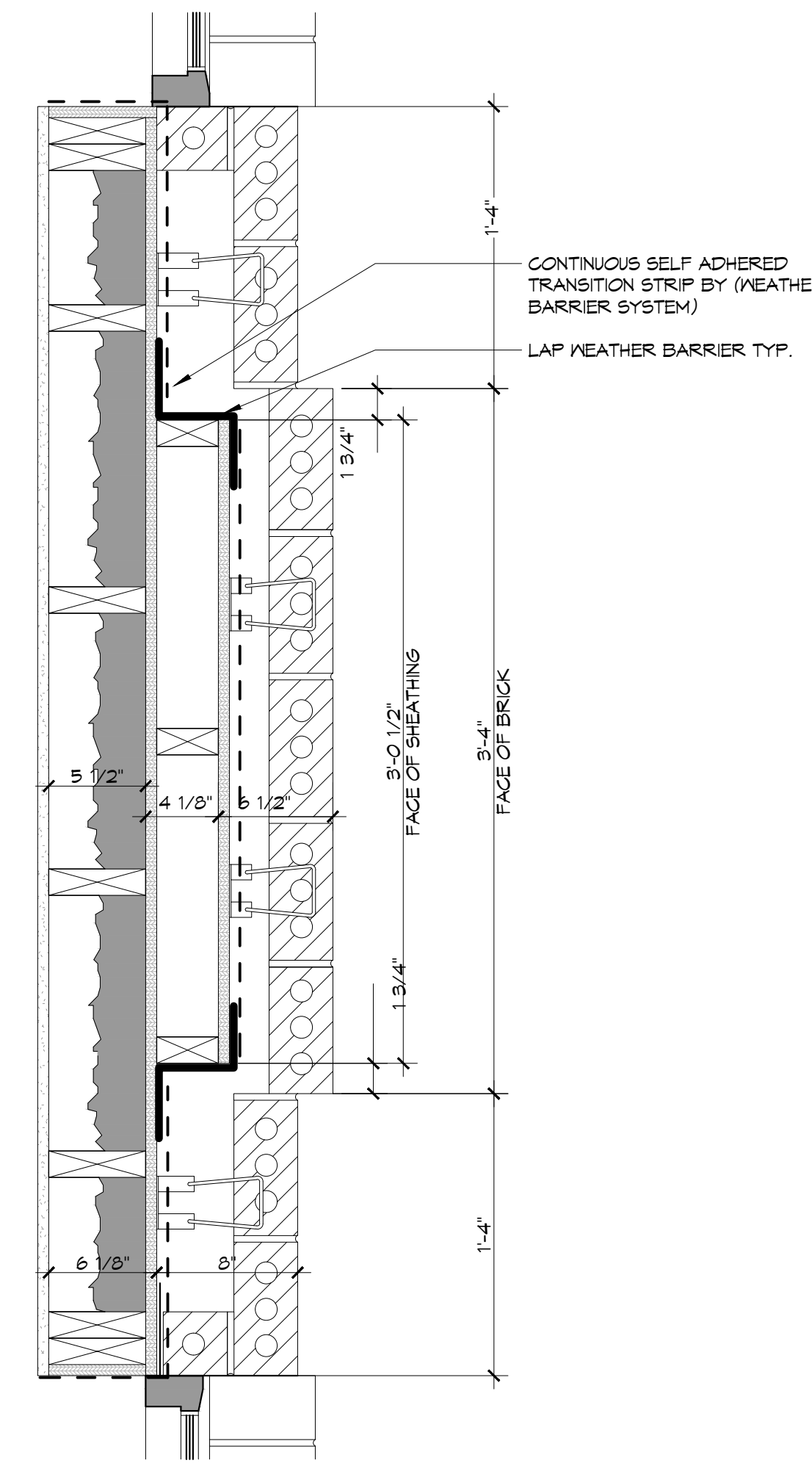
EQUIPMENT LEGEND	
(1)	5' IVF HOOD WORKSTATION
(2)	4' IVF HOOD WORKSTATION
(3)	MING BENCHTOP INCUBATOR
(4)	NIKON TABLETOP MICROSCOPE
(5)	OLYMPUS TABLETOP MICROSCOPE
(6)	FULL-SIZE INCUBATOR
(7)	ANESTHESIA MACHINE
(8)	PATIENT TABLE
(9)	ULTRASOUND



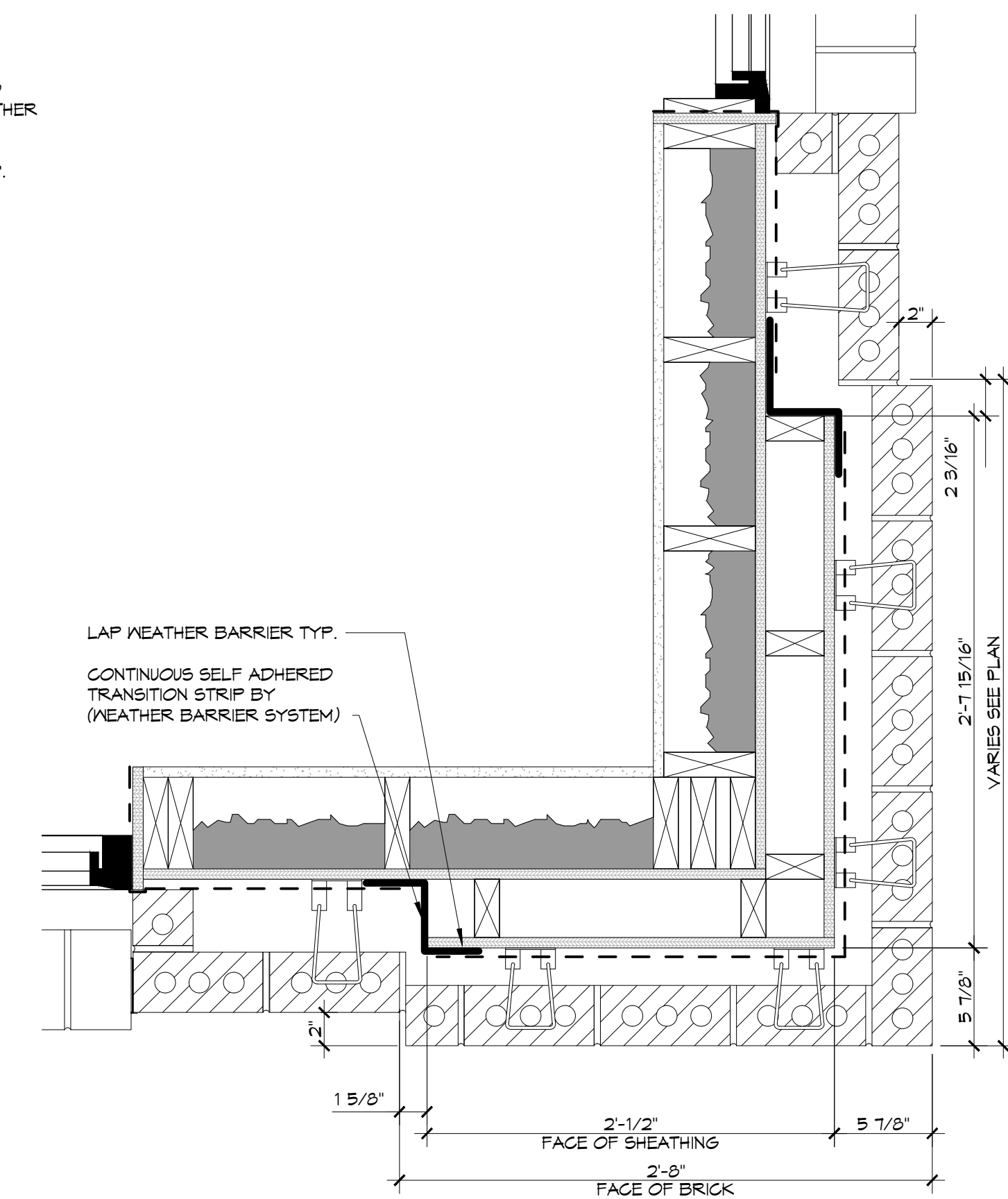
8 ENLARGED PLAN RECEPTION DESK
SCALE: 1/4" = 1'-0"



5 ENLARGED FRONT PORCH FILASTER
SCALE: 1-1/2" = 1'-0"



6 TYPICAL EAST ELEVATION FILASTER
SCALE: 1-1/2" = 1'-0"



7 TYPICAL CORNER FILASTER
SCALE: 1-1/2" = 1'-0"

REVIEWED FOR
STATE FIRE MARSHAL
AS PER REVIEW LETTER
BY: WILLIAM D. JONES, ARCHITECT, CBO
William D. Jones

DAMMON ENGINEERING, INC.
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#	DESCRIPTION	DATE

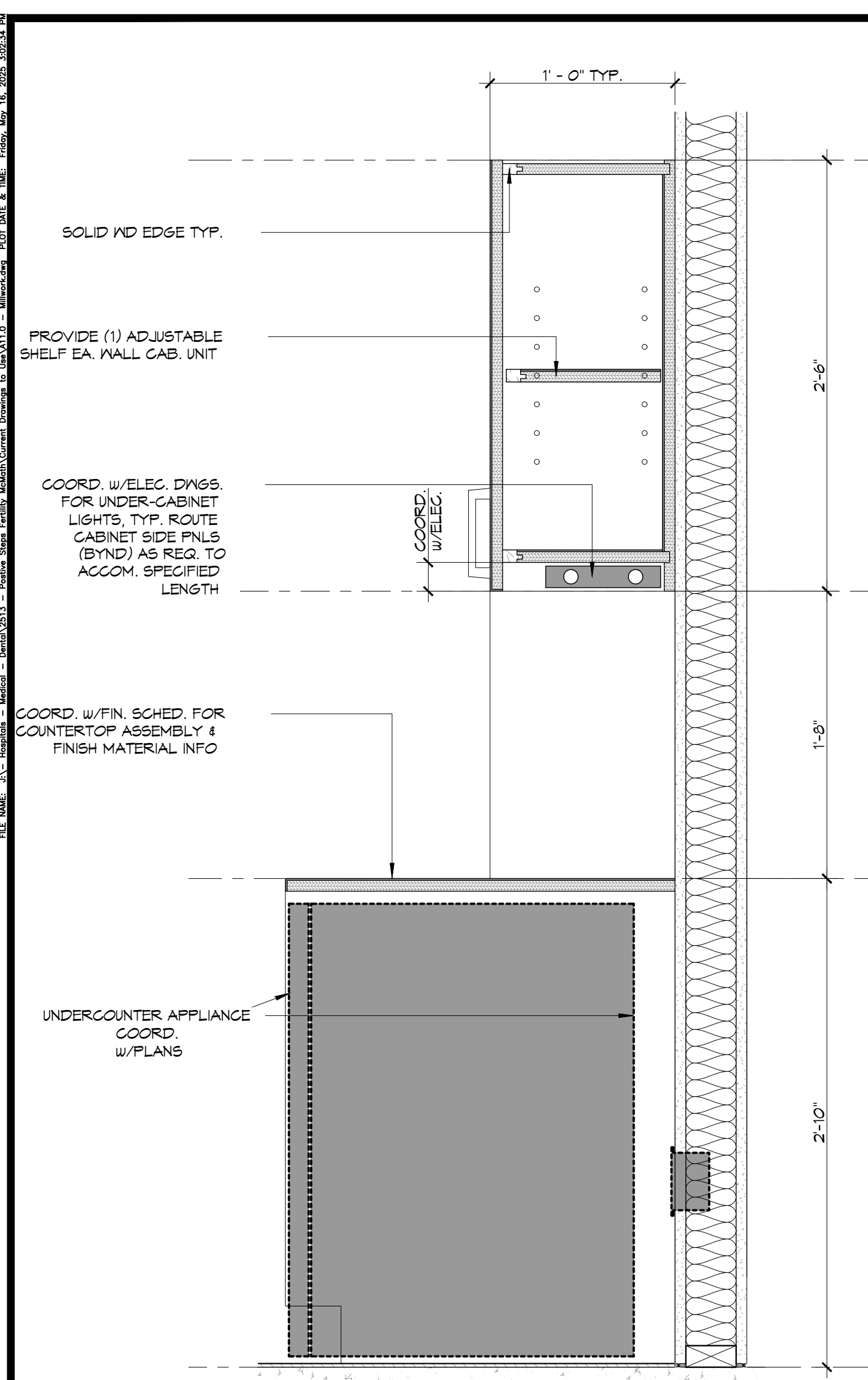


NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
340 OAK HARBOR BLVD
SUITE 101
SUDBURY, LA 70458
JOB No: 2513 DATE: 05-16-2025
DRAWN BY: CKD CHECKED BY: JMS

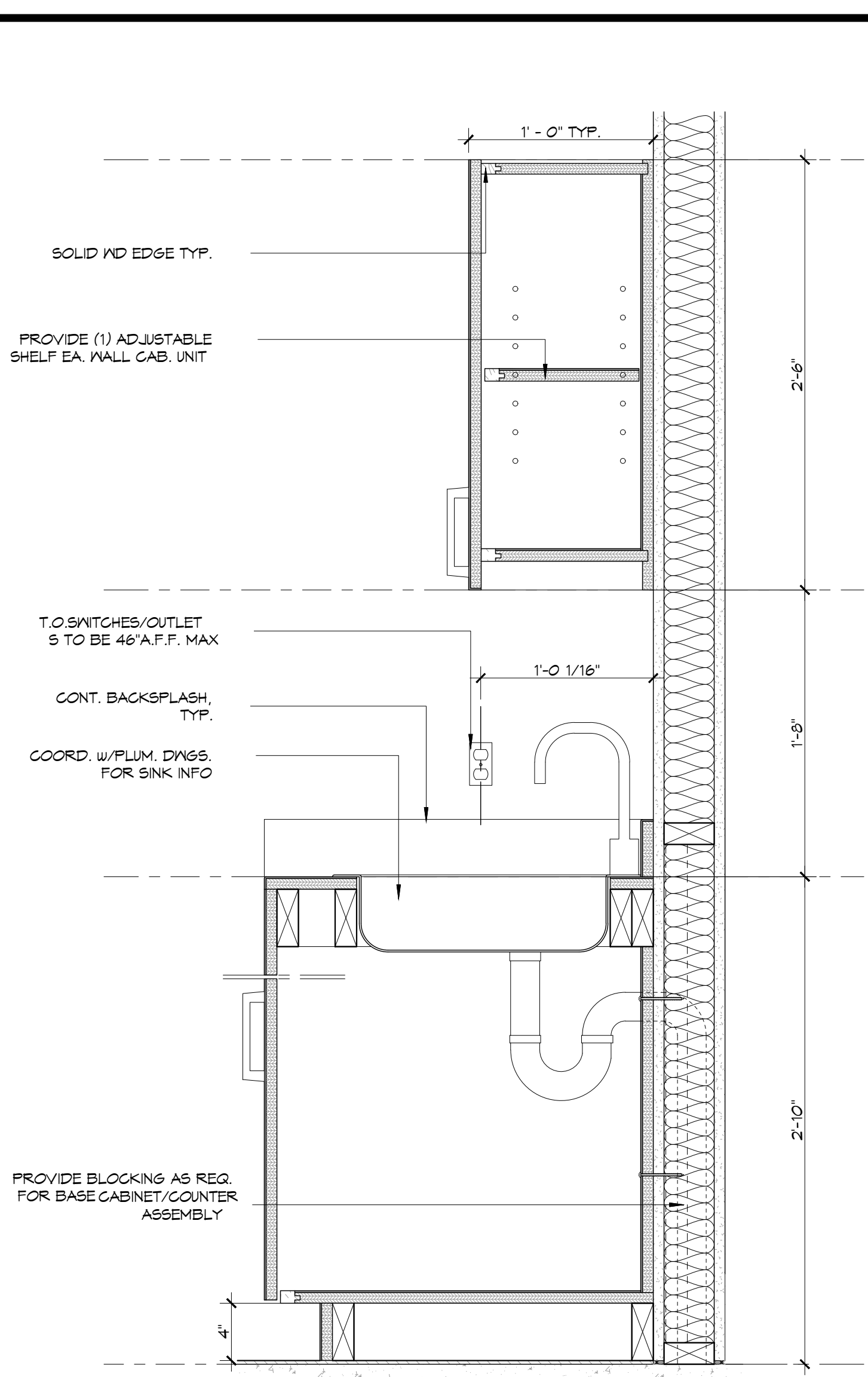
SHEET TITLE:
ENLARGED PLAN ROOMS,
TOILET ACCESSORY
LEGEND AND EQUIPMENT
LEGEND.

DRAWING NUMBER:

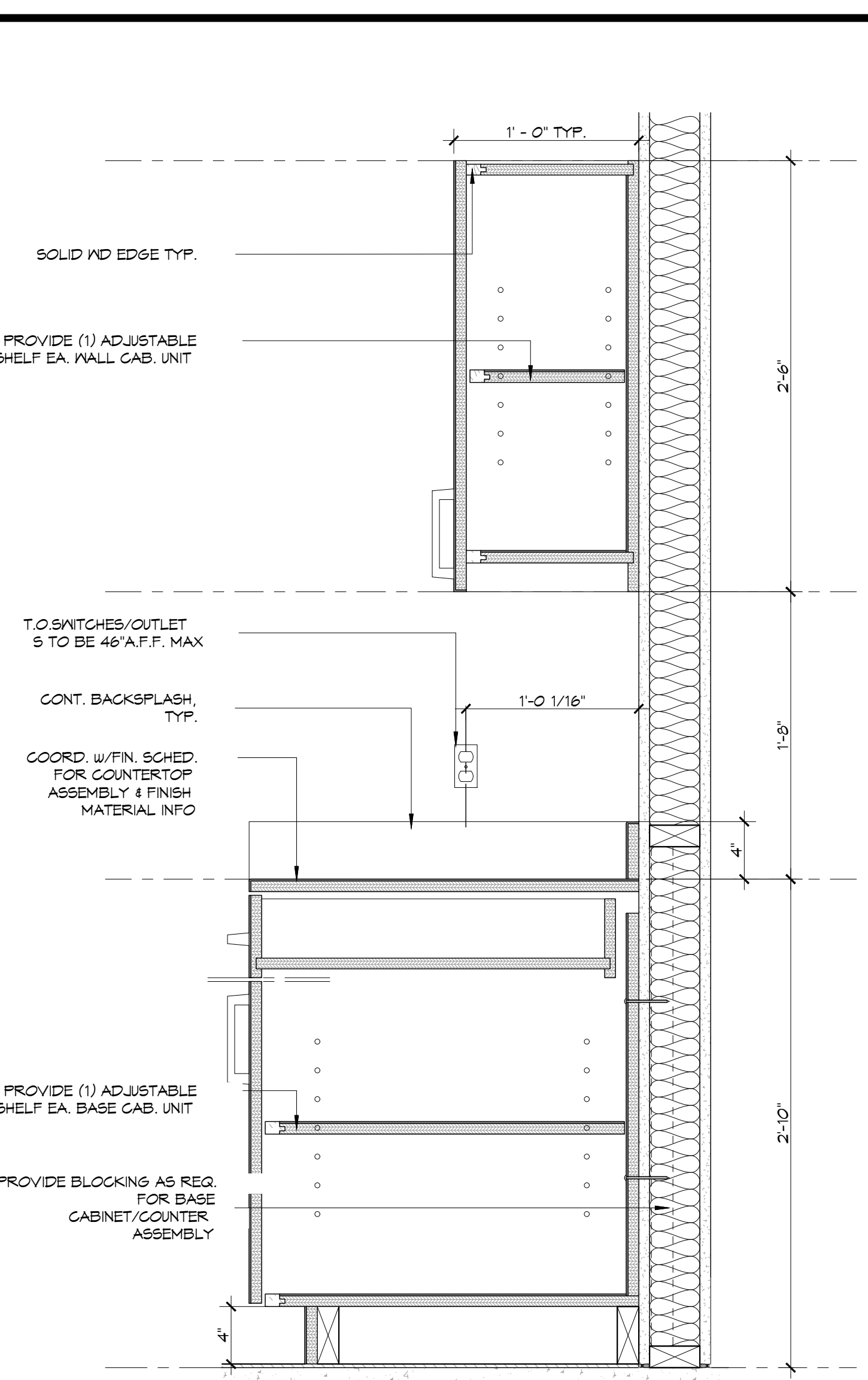
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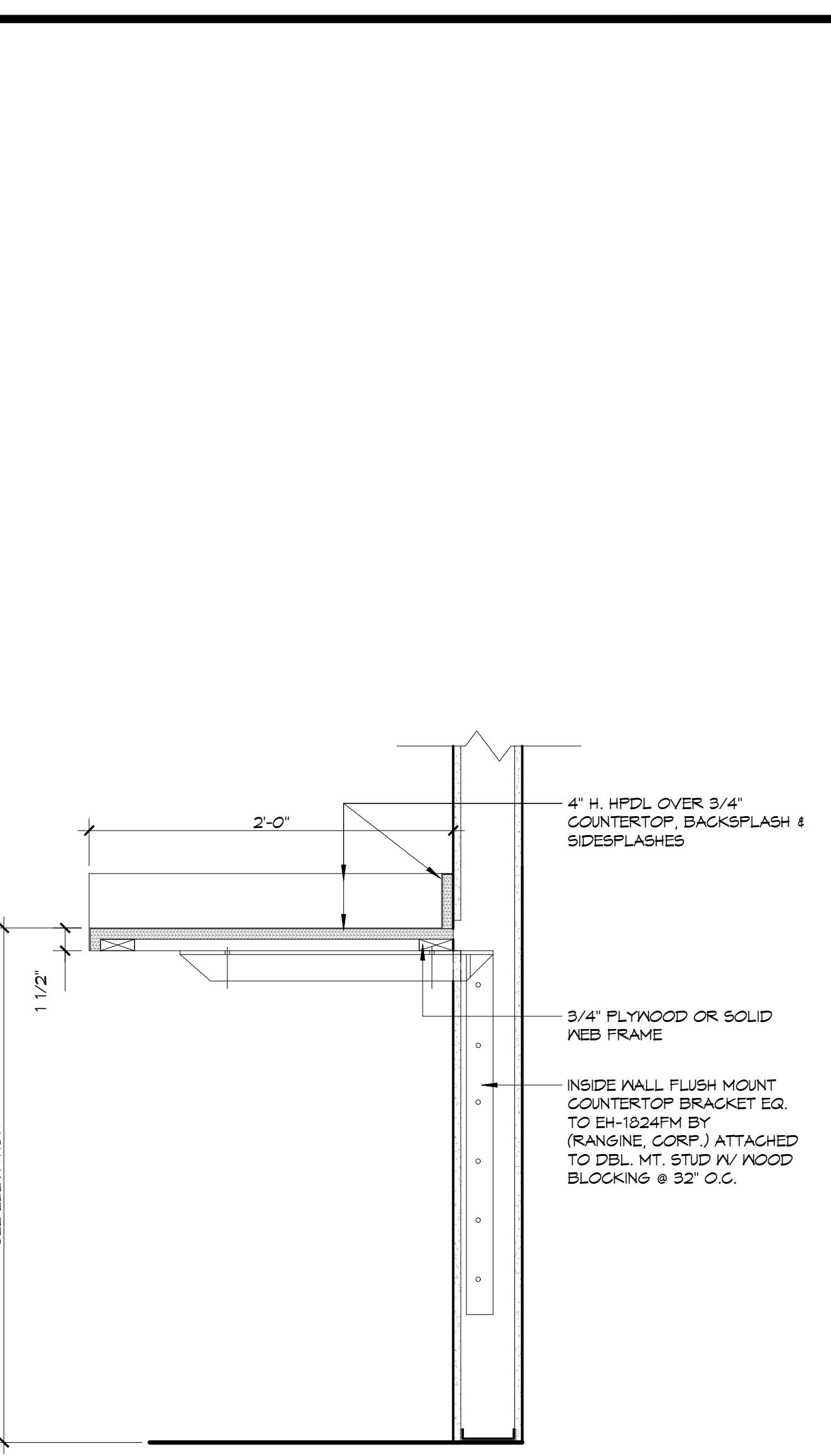
1 TYP CASEWORK W/APPLIANCE DETAIL
SCALE: 1-1/2" = 1'-0"



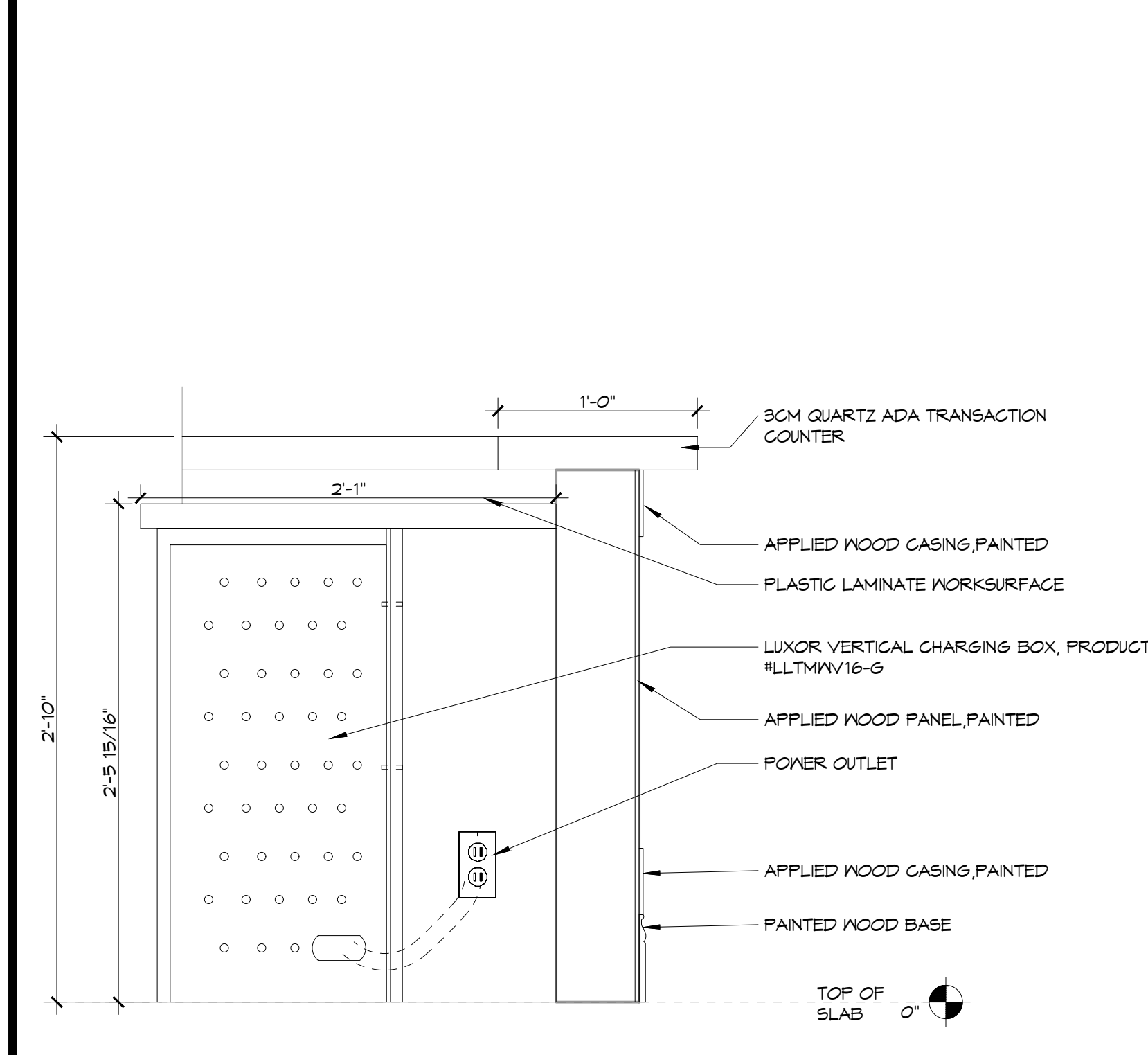
2 TYP CASEWORK W/SINK DETAIL
SCALE: 1-1/2" = 1'-0"



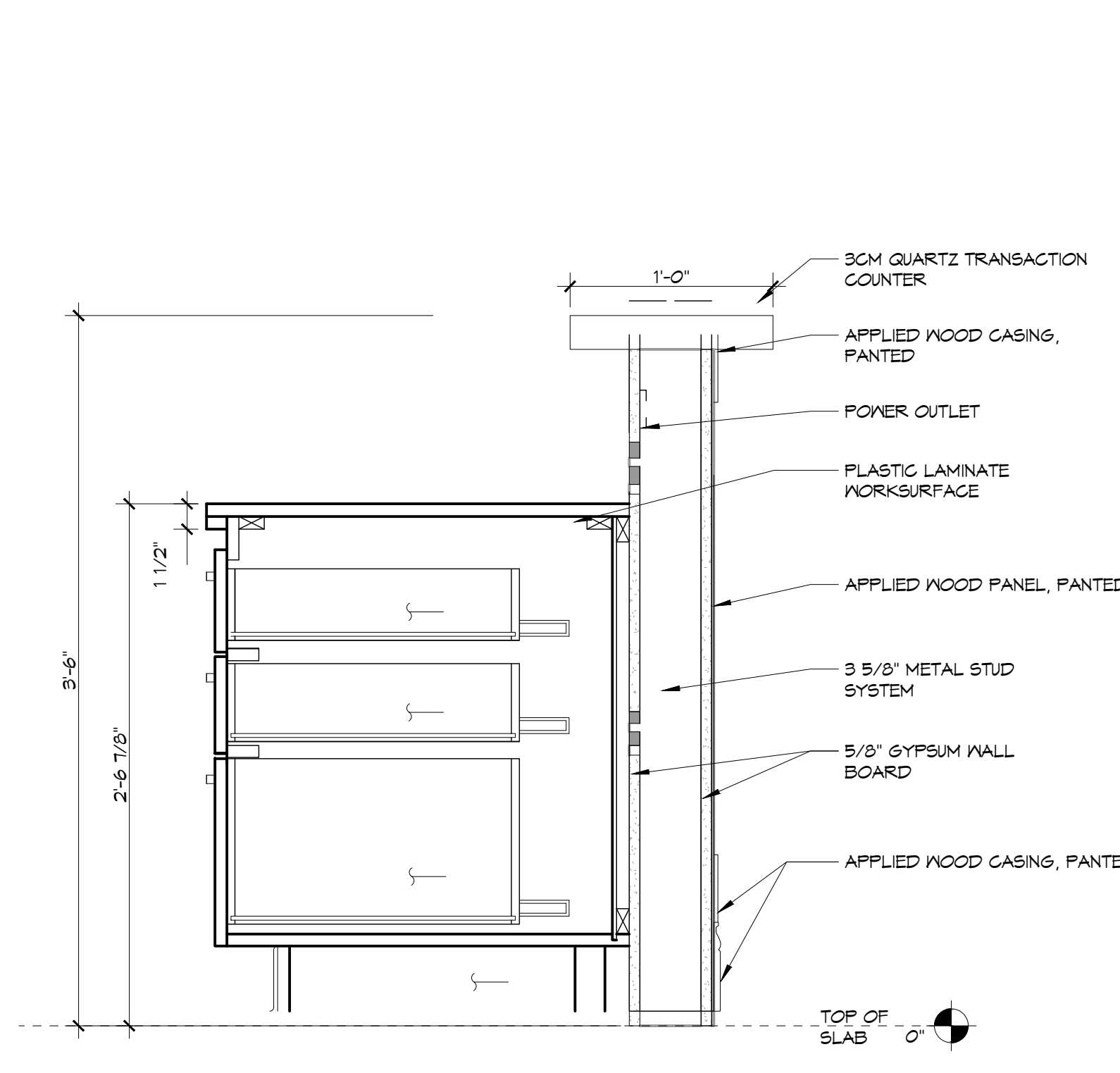
3 TYP CASEWORK DETAIL
SCALE: 1-1/2" = 1'-0"



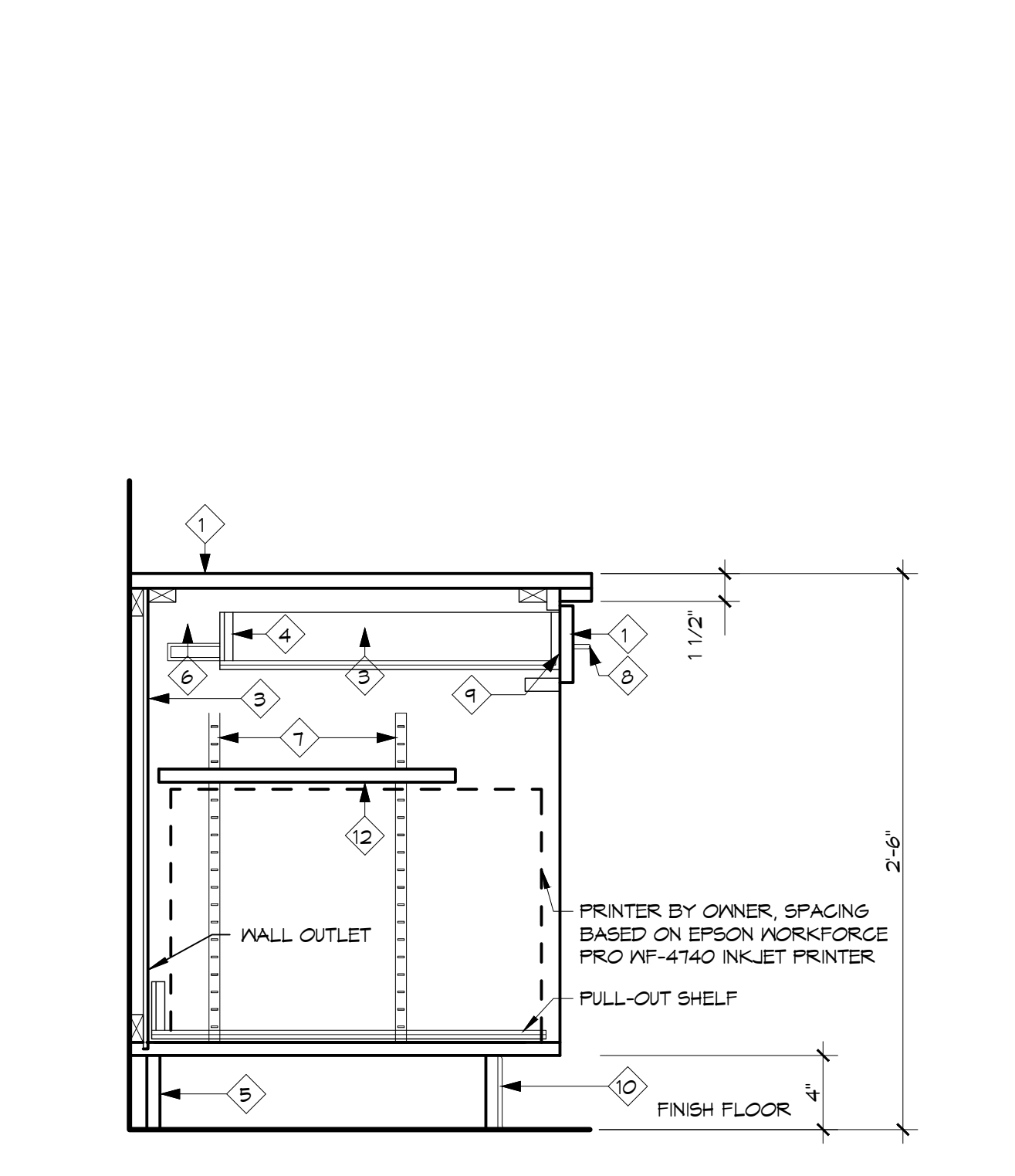
4 LAMINATE COUNTERTOP
SCALE: 1-1/2" = 1'-0"



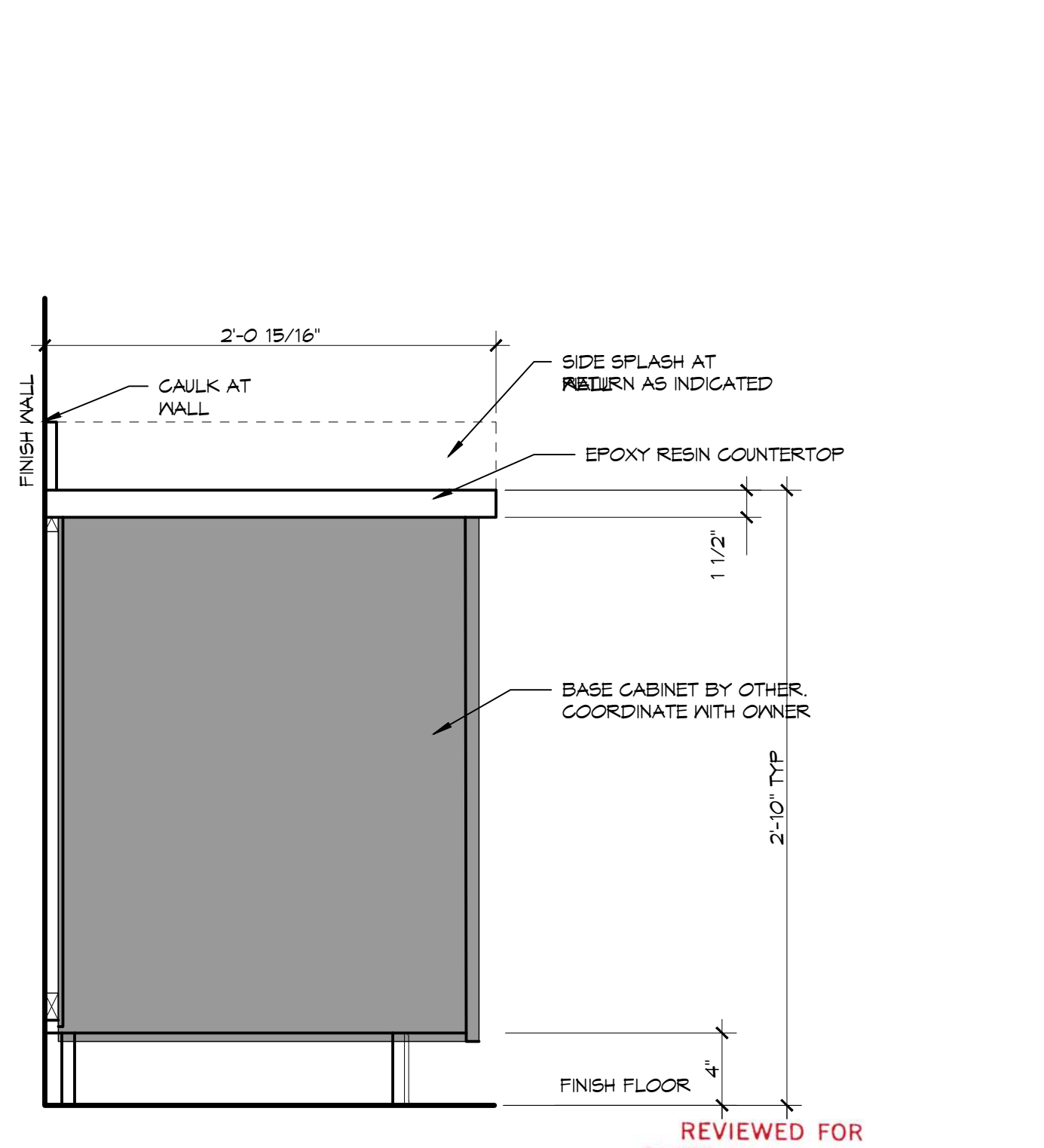
5 RECEPTION DESK
SCALE: 1-1/2" = 1'-0"



6 RECEPTION TRANSACTION COUNTER
SCALE: 1-1/2" = 1'-0"



7 RECEPTION PRINTER OPEN CABINETY
SCALE: 1-1/2" = 1'-0"



8 PRIMARY LAB CABINETY
SCALE: 1-1/2" = 1'-0"

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PH: 985.649.8832
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Stell, LA 70458

#	DESCRIPTION	DATE



NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
SHEET TITLE: MILLWORK
DRAWING NUMBER:
REVIEWED FOR STATE FIRE MARSHAL AS PER REVIEW LETTER BY: WILLIAM D. JONES, ARCHITECT, CBO
DATE: 05-16-2025
JOB No.: 2513
DRAWN BY: CJD
CHECKED BY: JMS

A11.0
SHEET No: 27 of 52

