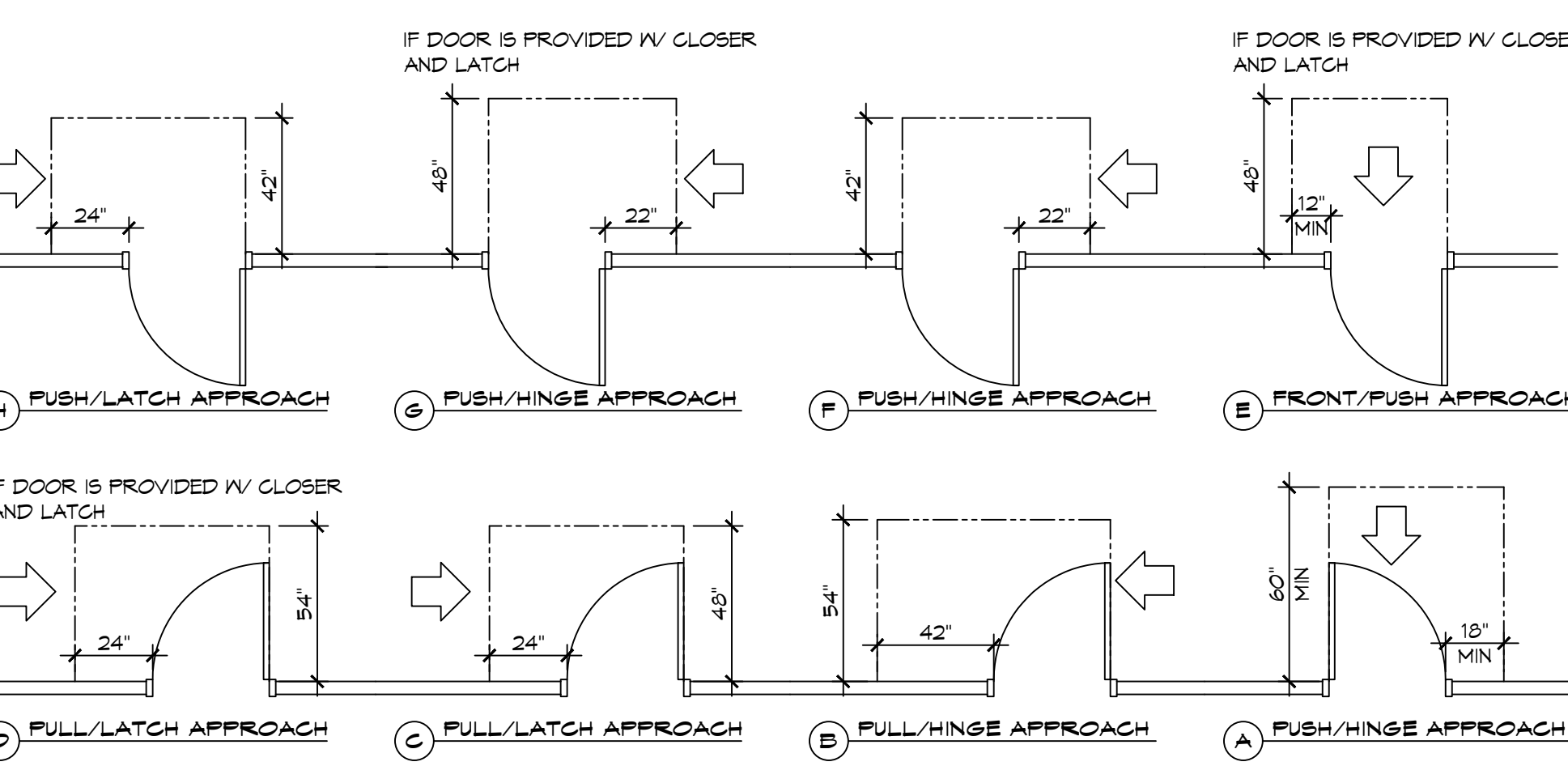
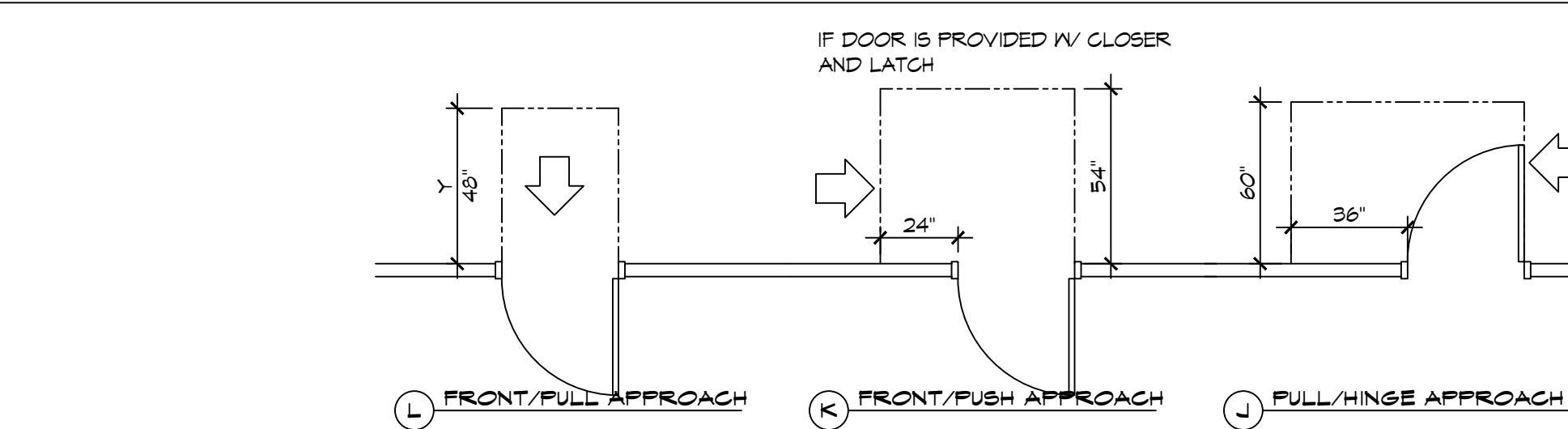
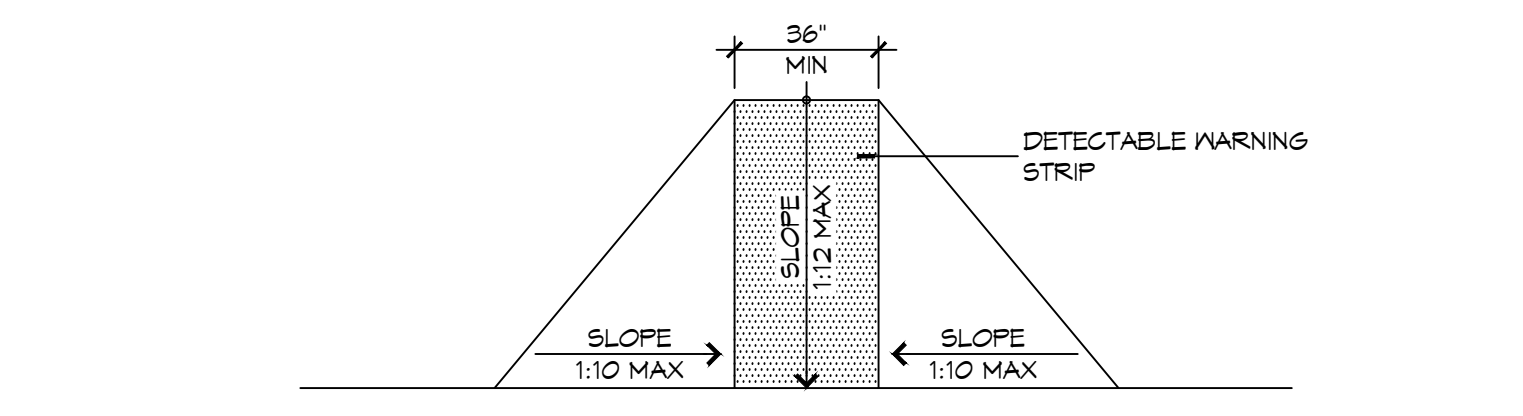


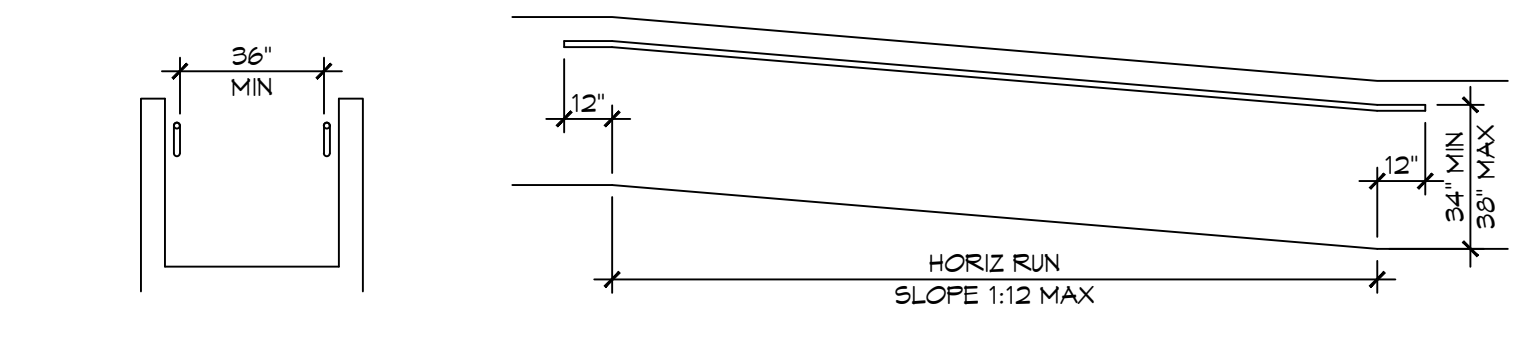
ACCESSIBLE SIGN
SCALE: NTS



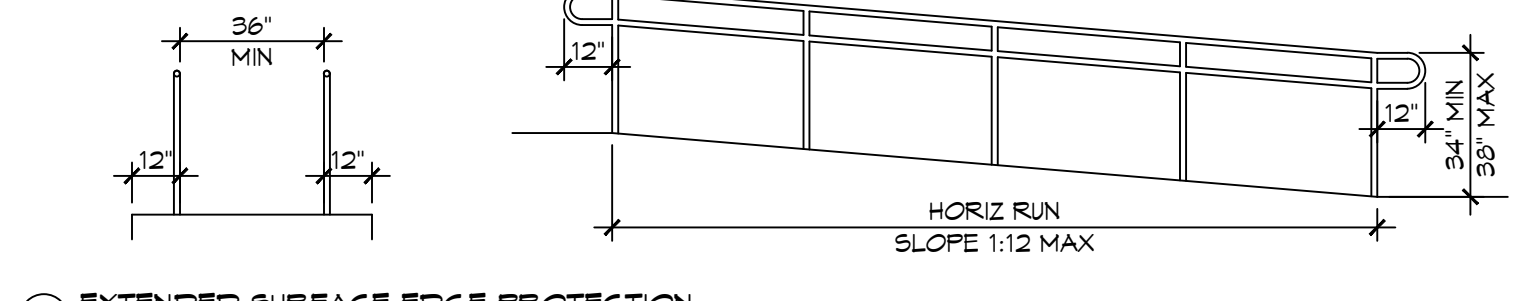
3 ADA DOOR CLEARANCES
SCALE: 1/4" = 1'-0"



F FLARED RAMPS

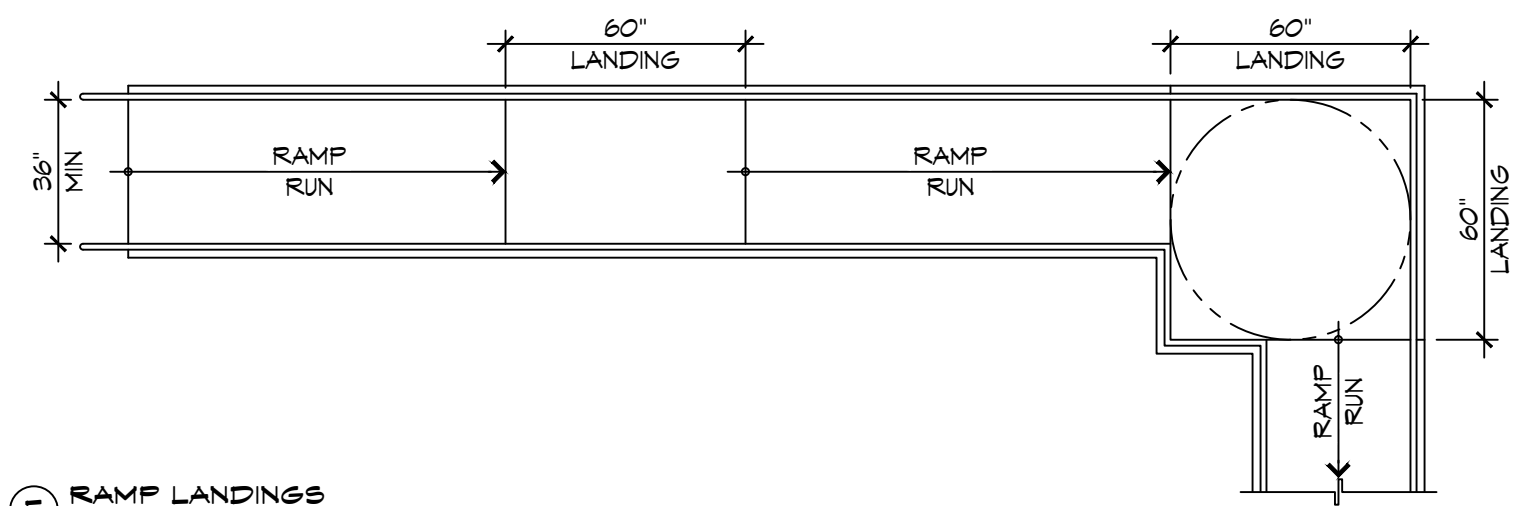


D WALL EDGE PROTECTION

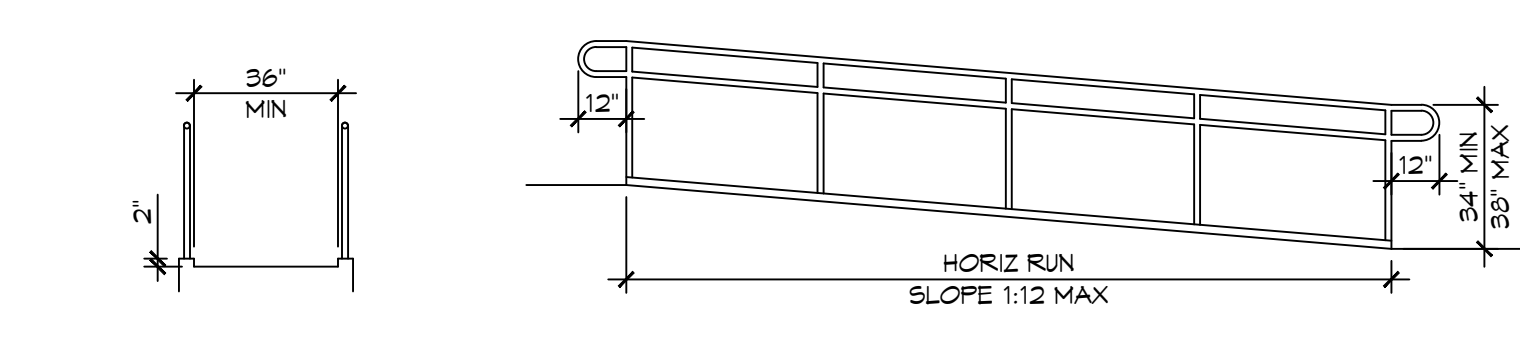


B EXTENDED SURFACE EDGE PROTECTION

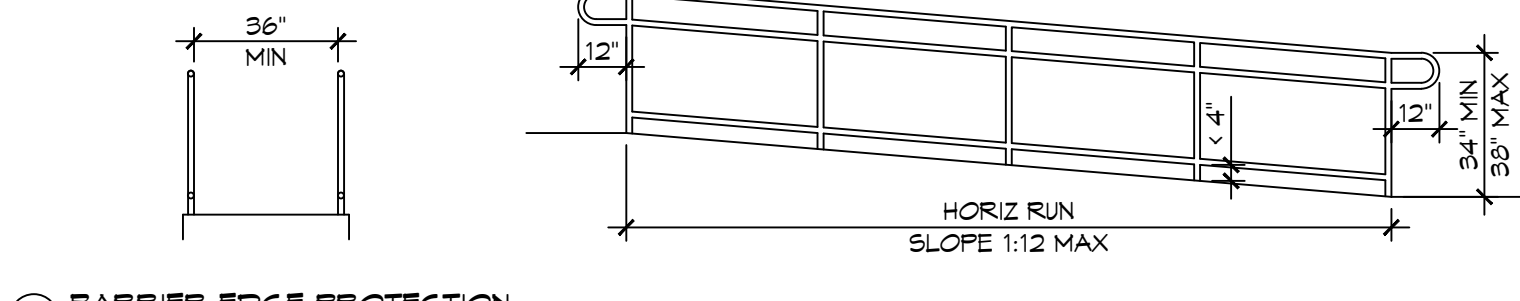
4 ACCESSIBLE RAMPS
SCALE: 1/4" = 1'-0"



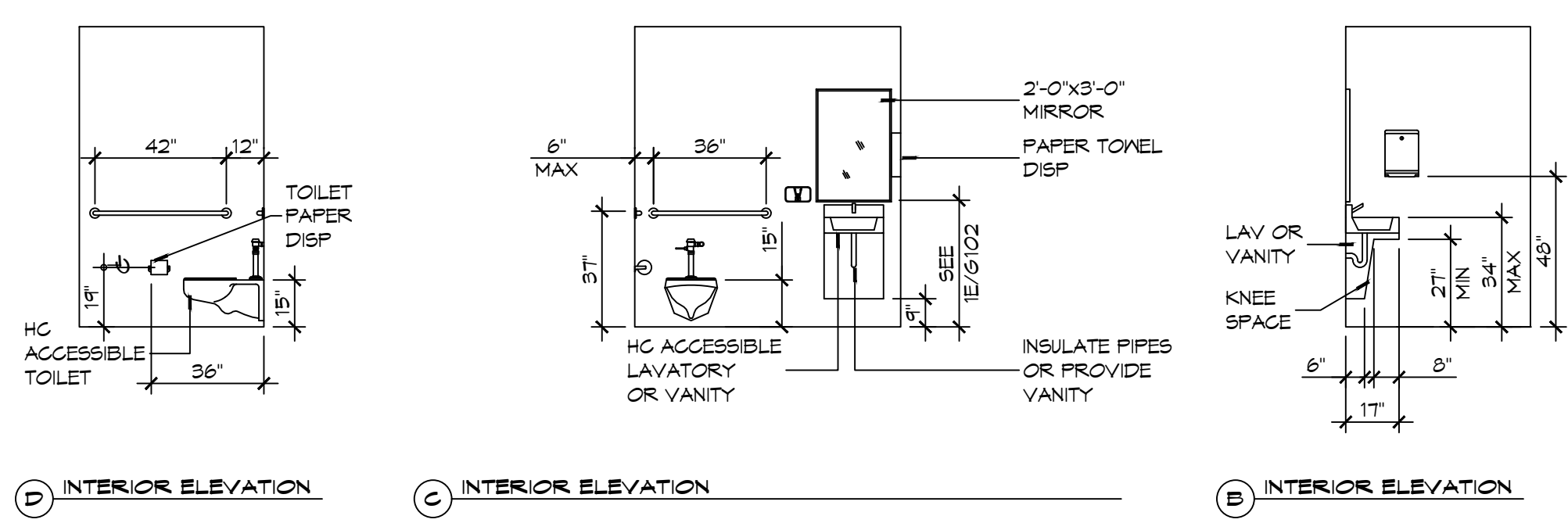
E RAMP LANDINGS



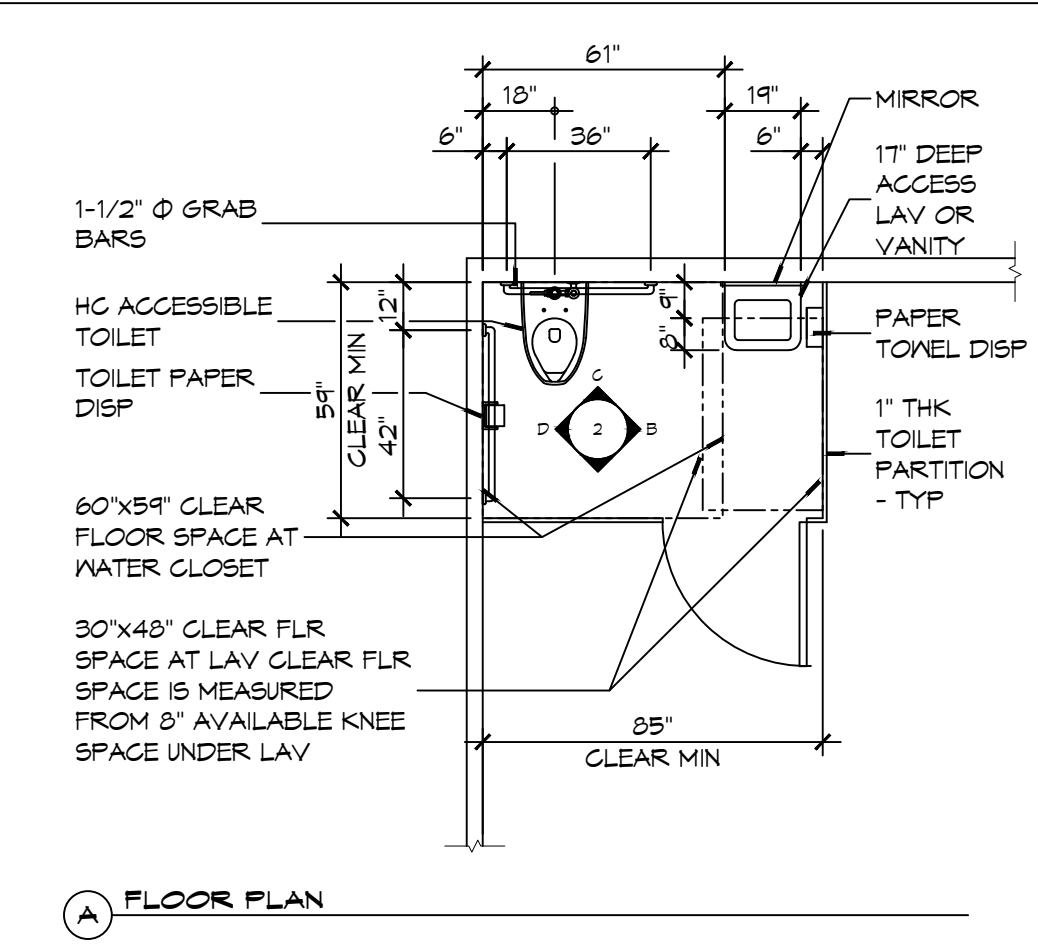
C CURB EDGE PROTECTION



A BARRIER EDGE PROTECTION



2 RESTROOM CLEARANCES
SCALE: 1/4" = 1'-0"



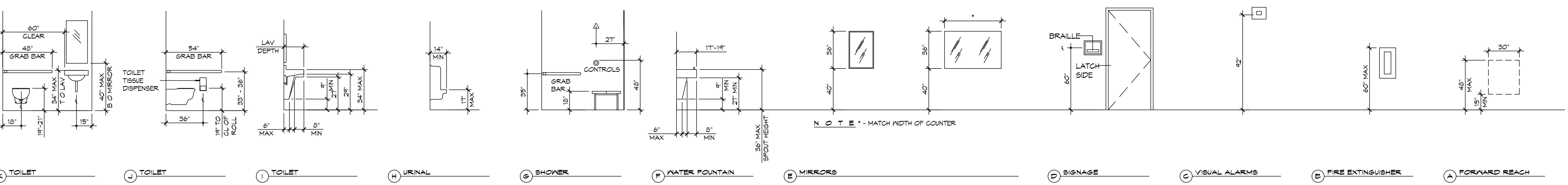
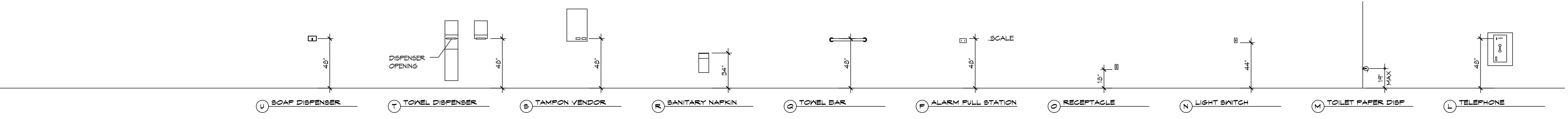
A FLOOR PLAN

ACCESSIBILITY NOTES

DOOR CLEARANCE NOTES
ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES, 3/6102 - 3K/6102.
DOOR HARDWARE SHALL BE LEVER TYPE.
MAX DOOR OPENING FORCE:
INTERIOR HINGED DOORS: 5 LBF
EXTERIOR HINGED DOORS: 8.5 LBF
SLIDING OR FOLDING DOORS: 5 LBF
FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" AND NOT LESS THAN 34" ABOVE FINISHED FLOOR.
THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN 90°, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. OPENINGS MORE THAN 24" IN DEPTH SHALL MAINTAIN 32" MIN CLEARANCE.
RAMP NOTES
THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE MIN 1-1/2" CLEAR.
GRIPPING SURFACES SHALL BE CONTINUOUS AND UNOBSTRUCTED. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL, OR POST.
HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2" HIGH.
HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
RAMP LANDINGS SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.

GENERAL SITE ACCESSIBILITY NOTES

1. ACCESSIBILITY SIGNAGE SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTION 303.7.
2. SEE SHEET 0003 FOR ACCESSIBLE RAMP AND HANDRAIL DESIGNS WHERE THEY OCCUR.
3. ALL ACCESSIBLE PARKING SPACES AND AISLES THAT SERVE THEM SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTIONS 302.4 AND 302.5.
4. OPENINGS IN GROUND SURFACES SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTION 302.3.
5. VERTICAL CHANGES IN ELEVATION ALONG ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTIONS 303.2, 303.3, AND 303.4.
6. PARKING SPACES DESIGNATED AS ACCESSIBLE SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH ADAAG 2010 GUIDELINES SECTIONS 303.1.2.1 AND 302.6.
7. ALL ACCESSIBLE PARKING SPACES AND ROUTES SERVING THEM SHALL HAVE A ROUGH, SLIP-RESISTANT SURFACE OR LIGHT BROOM FINISH IN COMPLIANCE WITH ADAAG 2010 GUIDELINES SECTION 302.1.



1 MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"

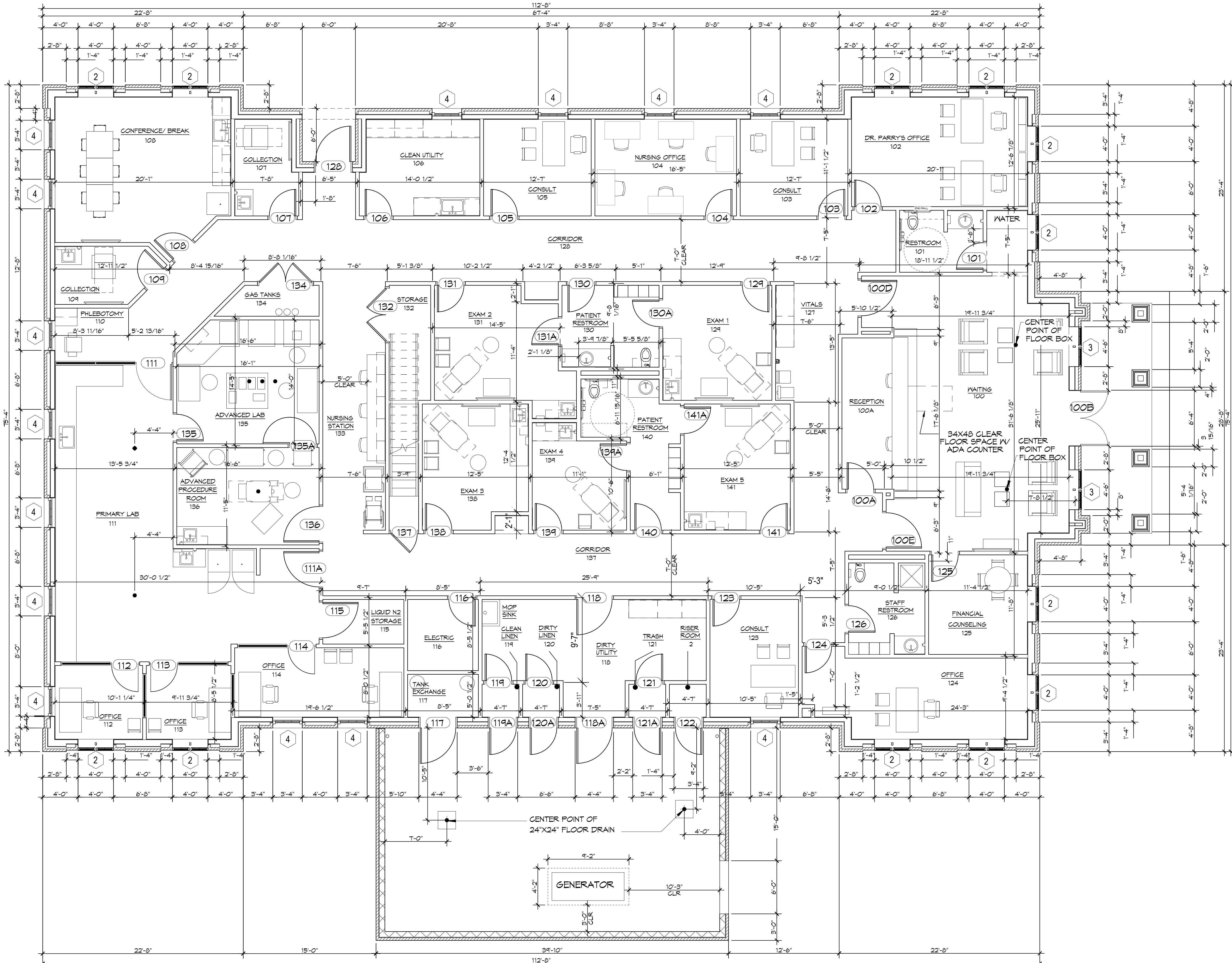
DAMMON ENGINEERING, INC.
LOUISIANA & MISSISSIPPI
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PH: 985.649.5832
Chief Engineer: Brian Misch, PE
554 Old Spanish Trail
Slidell, LA 70458

#	DESCRIPTION	DATE

SEAL: _____

NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
540 OAK HARBOR BLVD
SLIDELL, LA 70458
JOB No: 2519 DATE: 08-16-2025
DRAWN BY: CKD CHECKED BY: JME

SHEET TITLE:
ACCESSIBILITY INFORMATION
DRAWING NUMBER:
G2
SHEET No: 2 of 52



GENERAL NOTES

1. INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF IBC 2021 SECTION 120.
 - A. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND SMOKE DEVELOPED INDEX OF 0-450.
 - B. FACING SHALL COMPLY WITH IBC 2021.
2. ALL MATERIALS SHALL BE NEW AND UL LISTED.
3. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
4. CONSTRUCTION SHALL COMPLY WITH ALL PARISH, STATE, AND LOCAL CODES.
5. CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
6. CONTRACTOR SHALL FURNISH WATER AND POWER FROM EXISTING SOURCES.
7. EXTERIOR CAULKING SHALL BE THICKAL CAULK.
8. PAINT SHALL BE SHERWIN WILLIAMS OR EQUIVALENT AND APPROPRIATE FOR THE SUBSTRATE TO WHICH IT IS APPLIED AS RECOMMENDED BY PAINT MANUFACTURER. ALL WORK TO RECEIVE THREE COATS (ONE PRIMER COAT, TWO FINISH COATS) UNLESS OTHERWISE RECOMMENDED BY PAINT MANUFACTURER. COLORS TO BE SELECTED BY OWNER.
9. PROVIDE CLEANUP ON A REGULAR BASIS. NO TRASH SHALL BE STORED INSIDE BUILDING PREMISES.
10. USE 2x6 STUDS, OR TWO 2x4 STAGGERED STUDS WITH 2x6 SILL PLATE AT ALL WALLS WHERE 4" PIPE IS INDICATED. SEE PLUMBING RISER DIAGRAM FOR PIPE SIZE.
11. PROVIDE GALVANIZED METAL PAN WITH DRAIN AT ALL WATER HEATERS.
12. ALL FLOORING SHALL MEET OR EXCEED ADA GUIDELINES REQUIREMENTS FOR SLIP RESISTANCE.
13. INTERIOR LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY, SPECIAL KNOWLEDGE, OR SPECIAL DEVICE TO OPEN IN THE DIRECTION OF EGRESS. ALL DOORS SHALL HAVE LEVER TYPE HANDLES.
14. INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD OF 0-200 AND A SMOKE DEVELOPMENT RATING OF 0-450, PER IBC 2015.
15. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF ALL LOCAL, STATE, AND NATIONAL CODES COVERING THE TYPE OF WORK BEING PERFORMED.
16. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 101. SEE APPENDIX 'E' OF NFPA 101 FOR DISTRIBUTION OF EXTINGUISHERS.
17. ALL FIRE WALLS SHALL EXTEND TIGHT TO ROOF DECK AND BE SEALED WITH AN APPROVED FIRE CAULK.
18. ALL ELECTRICAL, MECHANICAL, AND PLUMBING MATERIALS PENETRATING FIRE WALLS SHALL BE FIRE CAULKED. (PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.) SEAL ALL JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE.
19. SERVICE COUNTERS SHALL HAVE AN ACCESSIBLE WRITING SURFACE IN COMPLIANCE WITH ADA-ABA 221.2 WHERE SERVICE OR SALES COUNTERS ARE PROVIDED. AT LEAST ONE AT EACH LOCATION SHALL BE ACCESSIBLE AND SHALL COMPLY WITH SECTION 904.4.

DAMMON ENGINEERING, INC.
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#	DESCRIPTION	DATE

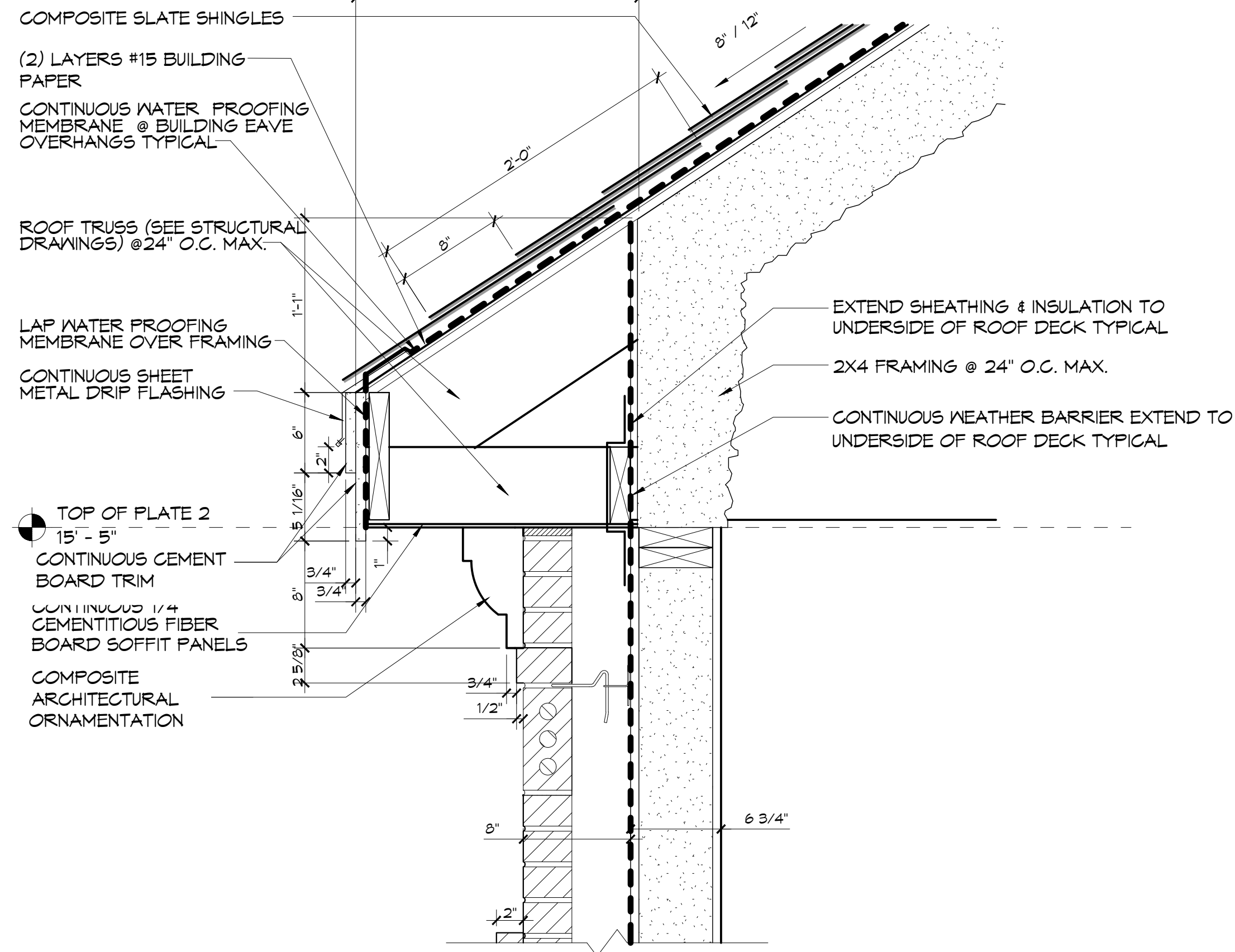
SEAL: _____

NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
 340 OAK HARBOR BLVD
 SLIDELL, LA 70458
 JOB No: _____ DATE: 05-16-2025
 DRAWN BY: CKD CHECKED BY: JMS

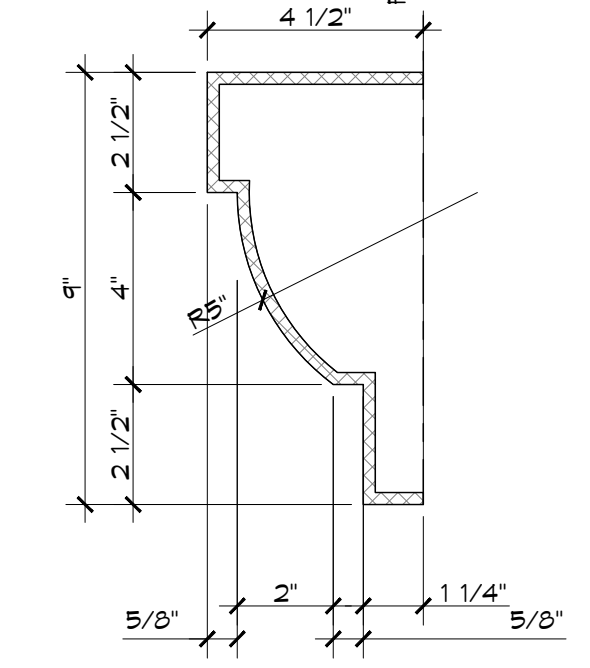
SHEET TITLE:
DIMENSION PLAN - LEVEL 1
 DRAWING NUMBER:
A1.1
 SHEET No: 11 of 52

1 DIMENSION PLAN - LEVEL 1
 SCALE: 3/16" = 1'-0"

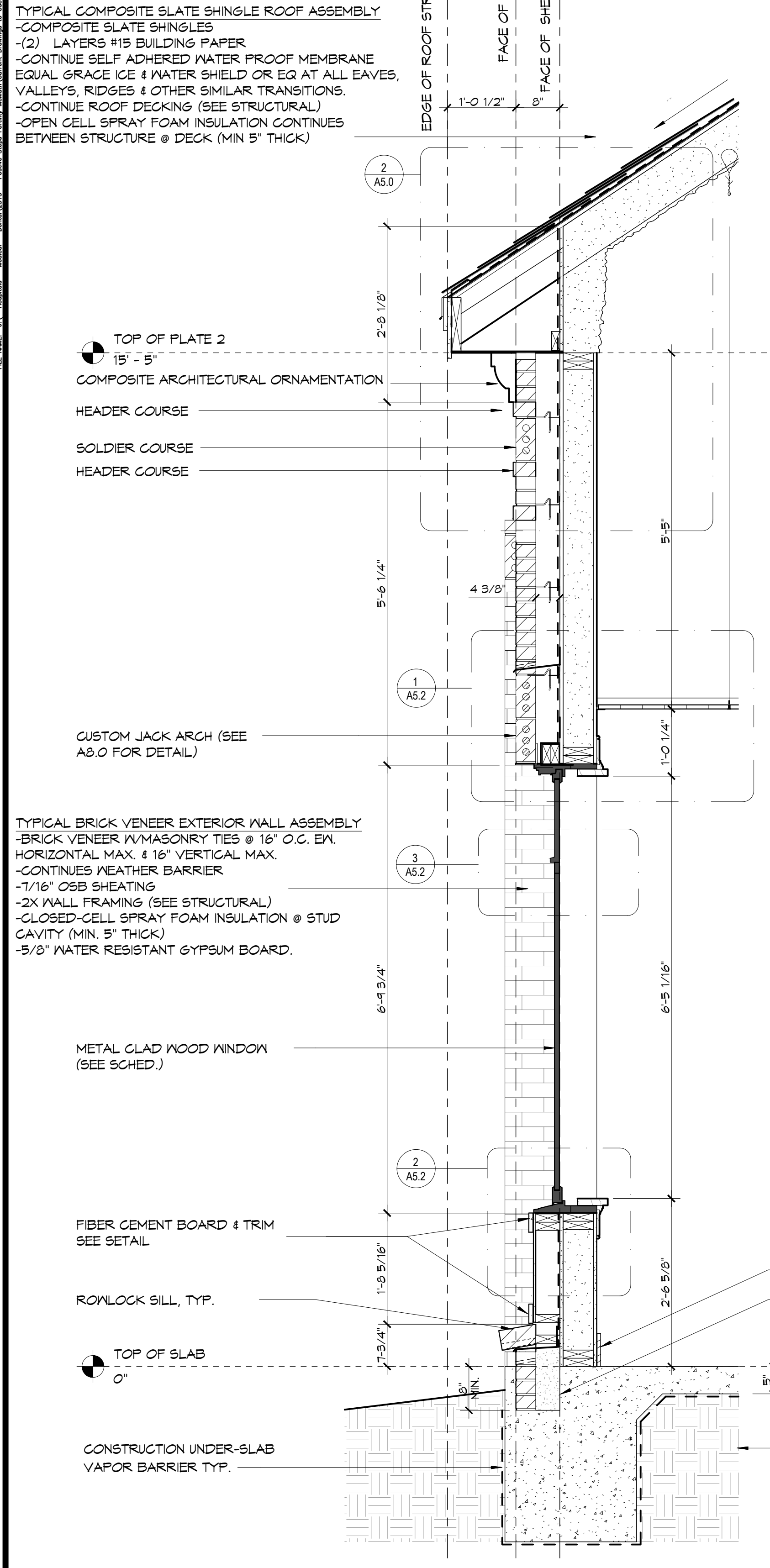
TYPICAL COMPOSITE SLATE SHINGLE ROOF ASSEMBLY
 -COMPOSITE SLATE SHINGLES
 -(2) LAYERS #15 BUILDING PAPER
 -CONTINUE SELF ADHERED WATER PROOF MEMBRANE EQUAL GRADE ICE & WATER SHIELD OR EQ AT ALL EAVES, VALLEYS, RIDGES & OTHER SIMILAR TRANSITIONS.
 -CONTINUE ROOF DECKING (SEE STRUCTURAL)
 -OPEN CELL SPRAY FOAM INSULATION CONTINUES BETWEEN STRUCTURE @ DECK (MIN 5" THICK)



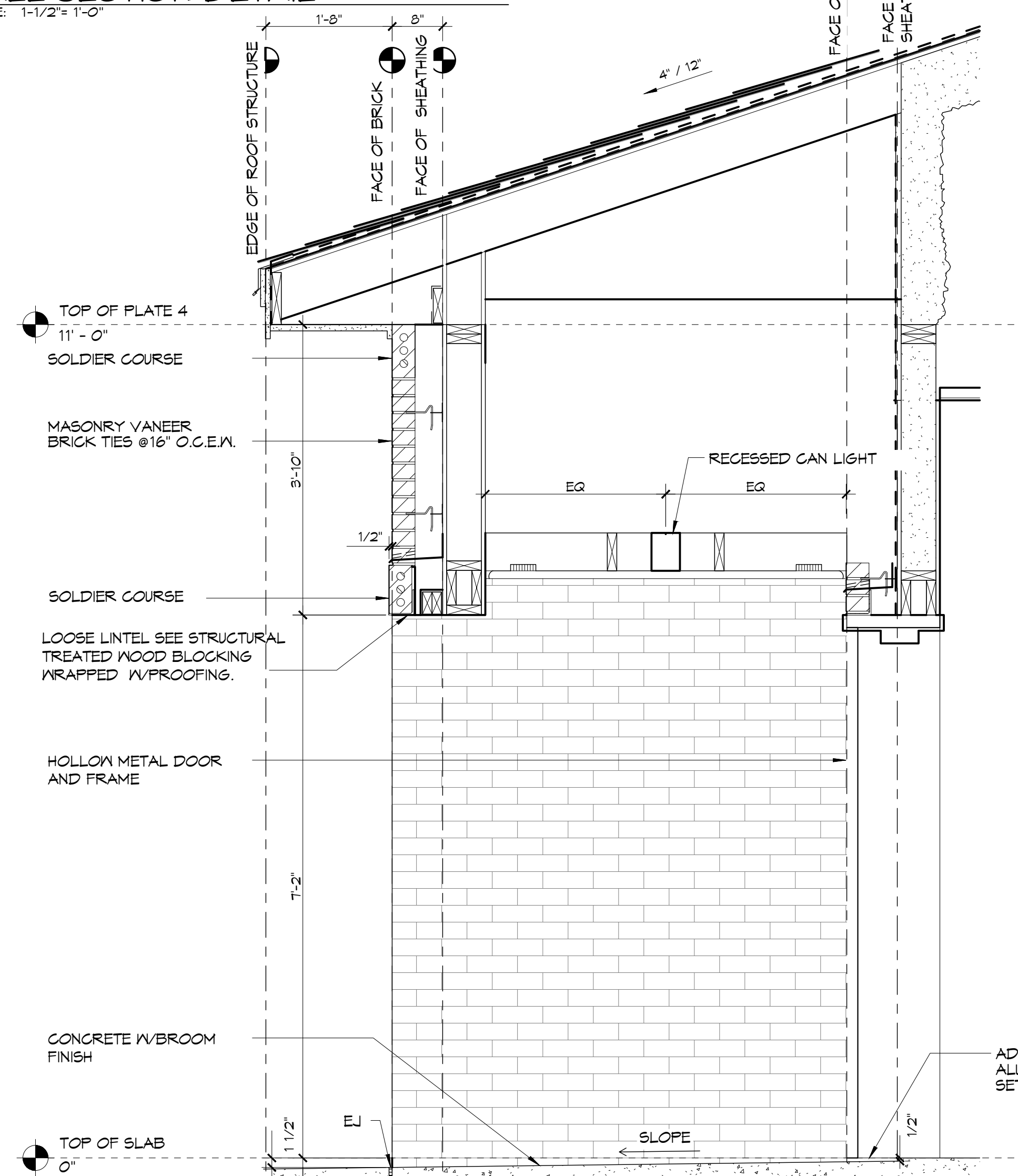
2 WALL SECTION DETAIL
 SCALE: 1-1/2" = 1'-0"



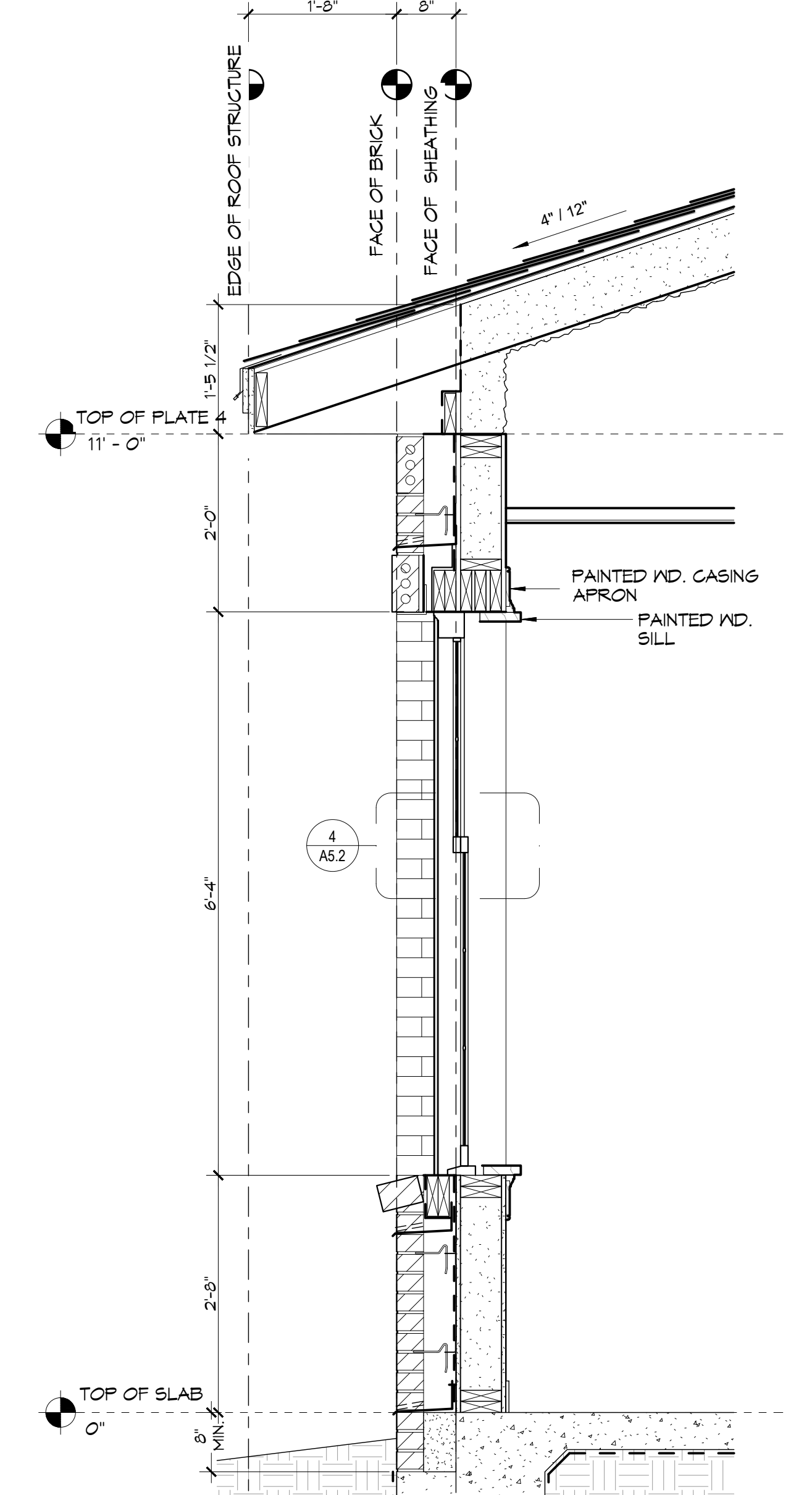
5 CORNICE PROFILE DETAIL
 SCALE: 3" = 1'-0"



4 WALL SECTION
 SCALE: 3/4" = 1'-0"



3 WALL SECTION
 SCALE: 3/4" = 1'-0"



1 WALL SECTION
 SCALE: 3/4" = 1'-0"

TYPICAL BRICK VENEER EXTERIOR WALL ASSEMBLY
 -BRICK VENEER W/MASONRY TIES @ 16" O.C. E/W.
 -HORIZONTAL MAX. & 16" VERTICAL MAX.
 -CONTINUES WEATHER BARRIER
 -1/16" OSB SHEATHING
 -2X WALL FRAMING (SEE STRUCTURAL)
 -CLOSED-CELL SPRAY FOAM INSULATION @ STUD CAVITY (MIN. 5" THICK)
 -5/8" WATER RESISTANT GYPSUM BOARD.

#	DESCRIPTION	DATE

SEAL: _____

NEW MEDICAL OFFICE
DIANA OAK HARBOR REAL ESTATE LLC
 540 OAK HARBOR BLVD
 SLIDELL, LA 70458
 JOB No: 2513 DATE: 05-16-2025
 DRAWN BY: CKD CHECKED BY: JMS

SHEET TITLE:
 WALL SECTIONS

DRAWING NUMBER:
A5.0
 SHEET No: 17 of 52

