

LIFE-SAFETY INFORMATION

APPLICABLE CODES	
NFPA 101 LIFE-SAFETY CODE 2015	
OCCUPANCY TYPE(S) AND CHAPTER(S)	
BUSINESS (CHAPTER 38)	
MULTIPLE, MIXED, OR SEPARATE OCCUPANCY (REFERENCE CHAPTER 6)	
N/A	
OCCUPANT LOAD FACTOR (REFERENCE TABLE 1.3.1.2)	
BUSINESS 264 SF/	100 SF PER OCCUPANT = 3 OCCUPANTS
WAREHOUSE 945 SF/	500 SF PER OCCUPANT = 2 OCCUPANTS
CLASSIFICATION OF HAZARD OF CONTENTS	
(REFERENCE: OCCUPANCY CHAPTER AND 6.2.2: SPECIFY LOW, ORDINARY, OR HIGH)	
CONSTRUCTION TYPE(S) (REFERENCE: CHAPTERS, TABLE A.8.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)	
2B	
MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS	
(REFERENCE: SECTION 7.5, SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)	
1/2 DIAGONAL =	43'-8"
MAXIMUM DEAD-END CORRIDORS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
50'	
MAXIMUM COMMON PATH OF TRAVEL DISTANCE (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
50'	
MAXIMUM TRAVEL DISTANCE TO EXITS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	
200'	

DETECTION, ALARM, AND COMMUNICATION SYSTEMS	NO
ALLOWABLE HEIGHT AND BUILDING AREA	PER IBC EQUIVALENT CONSTRUCTION TYPE

BUILDING CODE INFORMATION

APPLICABLE CODES	
IBC 2021	
BUSINESS GROUP 5-1 (IBC 2021 CHAPTER 3)	
OCCUPANT LOAD CALCULATIONS (TABLE 1004.1.1)	
BUSINESS	264 SQ FT 100 SF PER OCCUPANT (GROSS) 3 OCCUPANTS
WAREHOUSE	945 SQ FT 500 SF PER OCCUPANT (GROSS) 2 OCCUPANTS
CONSTRUCTION TYPE(S) (TABLE 504)	
2B (SECTION 504)	
ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION	
MAXIMUM HEIGHT IN STORIES (SECTION 504.4)	2
MAXIMUM AREA IN SQUARE FEET (SECTION 503, 506 & 507, TABLE 503)	17,500

WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

WIND DESIGN DATA:

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY	
WIND SPEED V_{ult} (3 SECOND GUST) =	140 MPH (IBC FIG. 1609.3(1))
NOMINAL DESIGN WIND SPEED V_{asd} =	110 MPH ($V_{ult} \times (0.6)^{1/2}$)
RISK CATEGORY:	CATEGORY II BLDG
TOPOGRAPHIC FACTOR =	1
DESIGN WIND PRESSURE (ASCE 7-10 TABLE 26.6-1):	37.7 PSF
INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 26.11-1):	± 0.18
STORAGE WAREHOUSE - HEAVY (IBC TABLE 1607.1):	LIVE LOADS (IBC SEC 1607)
	250 PSF
ROOF LIVE LOADS (IBC TABLE 1607.1):	20 PSF UNIFORM, 300 LB CONCENTRATED
	SNOW LOADS (IBC SEC 1609):
	5 PSF
GROUND SNOW LOAD (IBC FIG. 1609.2):	

FLOOD ZONE INFORMATION

BASED ON THE SURVEY OF THIS PROPERTY BY JV BURKES, THIS PROPERTY IS IN SPECIAL FLOOD HAZARD AREA

FIRM, COMMUNITY NO. 225205 0420 E DATED 04/21/1999

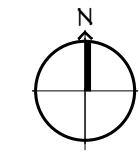
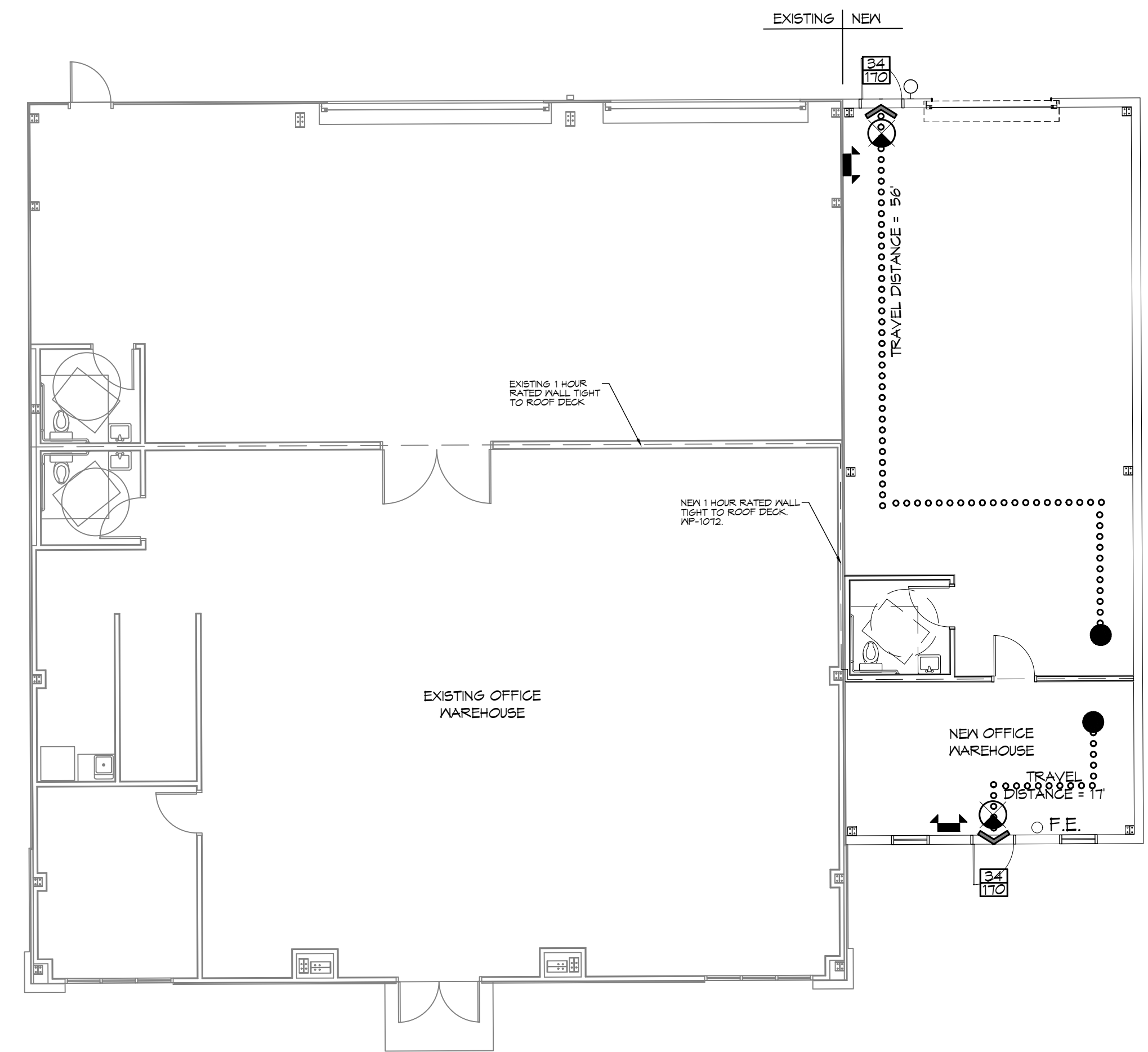
FLOOD ZONE: AE BASE FLOOD ELEVATION: 9'

LIFE-SAFETY LEGEND

SYMBOL	DESCRIPTION
	EXITS
	DOOR FIRE RATING (MINUTES)
	DOOR WIDTH/EGRESS CAPACITY
	EXIT LIGHT
	FIRE EXTINGUISHER W/ WALL MTD BRACKET
	COMMON PATH OF TRAVEL
	TRAVEL DISTANCE
	DECISION POINT

PROJECT DESCRIPTION

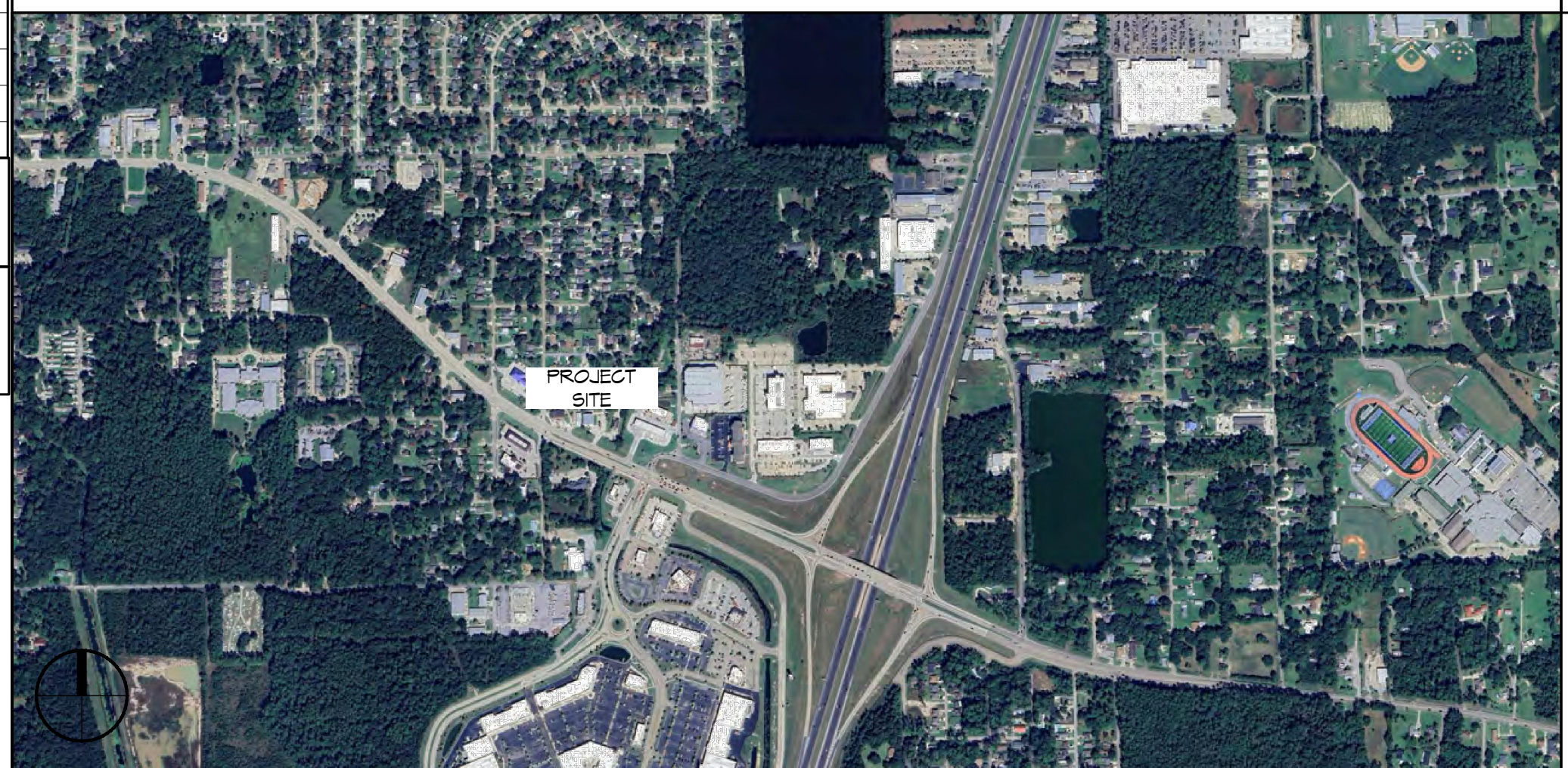
THIS OFFICE WAREHOUSE OF 214 SF. FT. ADDITION WILL TIE INTO THE EXISTING BUILDING.



LIFE-SAFETY PLAN (NEW WAREHOUSE)

SCALE: 1/8" = 1'-0"

VICINITY MAP



SHEET INDEX

SHEET #	SHEET TITLE
G101	GENERAL INFORMATION SHEET
G101	PROPOSED ADDITION SITE PLAN
G102	EROSION CONTROL AND DETAILS
G103	EXISTING DRAINAGE PLAN
S101	WAREHOUSE ADDITION FOUNDATION PLAN
A101	WAREHOUSE ADDITION FLOOR PLAN
A102	WAREHOUSE ADDITION EXTERIOR ELEVATIONS, SECTION VIEW, AND ROOF PLAN
P101	PLUMBING PLAN AND RISER DIAGRAM
M101	MECHANICAL PLAN
E101	WAREHOUSE ADDITION LIGHTING AND POWER PLAN

GENERAL NOTES

1. ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
2. CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
3. THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
4. **DO NOT SCALE DRAWINGS.** CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
5. TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
6. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
7. CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
8. ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

DAMMON

ENGINEERING, INC.

LOUISIANA & MISSISSIPPI

www.dammonengineering.com
554 Old Spanish Trail
Slidell, LA 70458
Chief Engineer: Brian Mistich, PE
Info@dammonengineering.com
PH: 985.649.5832

DATE	REVISIONS



ADDITION TO OFFICE/WAREHOUSE

RAY HORVATH
FLOORWORKS AND BLINDS

1860 SHORTCUT HWY
SLIDELL, LA 70458
JOB No.: 2225 DATE: 11-15-2025
DRAWN BY: JMS CHECKED BY: GKZ

SHEET TITLE:
GENERAL INFORMATION SHEET

DRAWING NUMBER:
G101

SHEET No: 1 of 10