

RESUBDIVISION SURVEY OF LOTS 3-B1 & 3-B2 AND A PORTION OF UNCONSTRUCTED LIME STREET RIGHT-OF-WAY INTO LOT 3-B-X CLEARVIEW ESTATES SEC. A JEFFERSON PARISH, LA

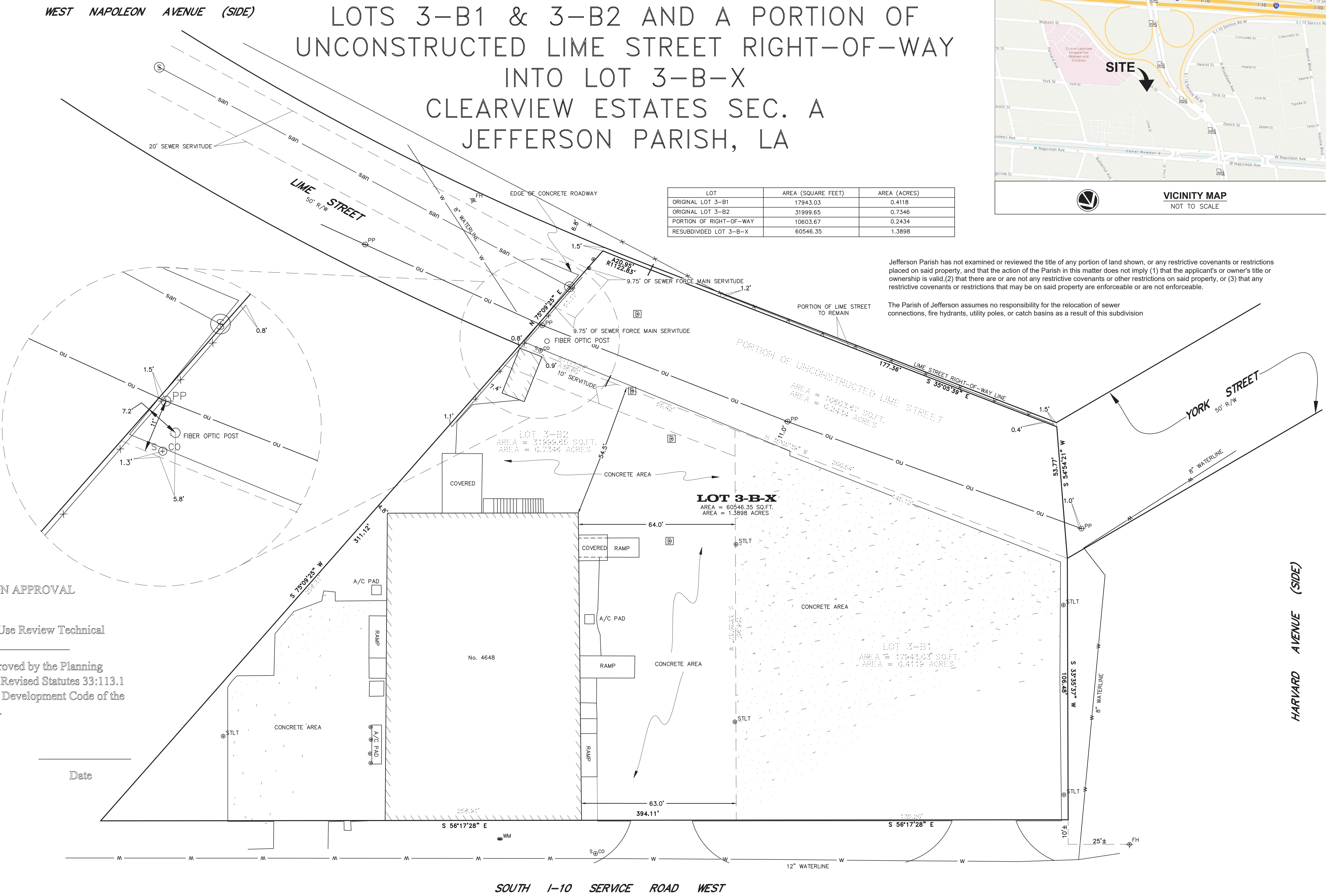


LOT	AREA (SQUARE FEET)	AREA (ACRES)
ORIGINAL LOT 3-B1	17943.03	0.4118
ORIGINAL LOT 3-B2	31999.65	0.7346
PORTION OF RIGHT-OF-WAY	10603.67	0.2434
RESUBDIVIDED LOT 3-B-X	60546.35	1.3898

Jefferson Parish has not examined or reviewed the title of any portion of land shown, or any restrictive covenants or restrictions placed on said property, and that the action of the Parish in this matter does not imply (1) that the applicant's or owner's title or ownership is valid, (2) that there are or are not any restrictive covenants or other restrictions on said property, or (3) that any restrictive covenants or restrictions that may be on said property are enforceable or are not enforceable.

The Parish of Jefferson assumes no responsibility for the relocation of sewer connections, fire hydrants, utility poles, or catch basins as a result of this subdivision.

- LEGEND**
- (S) SEWER MANHOLE
 - (W) WATER MANHOLE
 - (D) DRAIN MANHOLE
 - (B) DRAIN INLET
 - (G) GAS MANHOLE
 - (E) SCB MANHOLE
 - (PP) POWER POLE
 - (O) ELEC TOWER
 - ==== D ==== CULVERT
 - [CB] CATCH BASIN
 - GM GAS METER
 - CV GAS VALVE
 - WM WATER METER
 - WV WATER VALVE
 - OC DRAIN CLEANOUT
 - SCD SEWER CLEANOUT
 - FH FIRE HYDRANT
 - STLT STREET LIGHT
 - TRLT TRAFFIC LIGHT
 - ANCHOR
 - SIGN
 - GUARD POST
 - ELECTRIC BOX
 - TREE
 - BUSH
 - FENCE
 - san SEWER LINE
 - stm DRAIN LINE
 - w WATER LINE
 - g GAS LINE
 - e UNDERGROUND ELECTRIC
 - t TELEPHONE LINE
 - c TV LINE
 - fo FIBEROPTICS LINE
 - ou OVERHEAD UTILITIES
 - TP TELEPHONE PED
 - PS PARKING STOPPER



MINOR SUBDIVISION APPROVAL

Plat has been reviewed by the Land Use Review Technical Committee under Docket No. _____

This plat has been reviewed and approved by the Planning Director as authorized via Louisiana Revised Statutes 33:113.1 and Section 33-2.31.1 of the Unified Development Code of the Jefferson Parish Code of Ordinances.

Planning Director _____ Date _____

Owner(s): 4648 LLC

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER:
FIRM MAP DATED: 2/2/18
FLOOD ZONE: AE
BASE FLOOD ELEVATION: (-)5
FIRM PANEL: 22051C 0185 F

NOTE: ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

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THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46-LXII, CHAPTER 25 FOR A CLASS "C" (SUBURBAN) SURVEY

BY:	DATE:	COMMENT:
SKB	2/18/2021	UPDATED TO SHOW RESUBDIVISION
SKB	7/22/2021	UPDATED RESUBDIVISION TO SHOW YORK STREET ROW
SKB	9/17/2021	UPDATED PORTION OF RIGHT-OF-WAY AREA
SKB	10/05/2021	UPDATED PER COMMENTS RECEIVED 9/21/2021
SKB	08/03/2022	UPDATED RESUBDIVISION
SKB	09/09/2022	UPDATED RESUBDIVISION

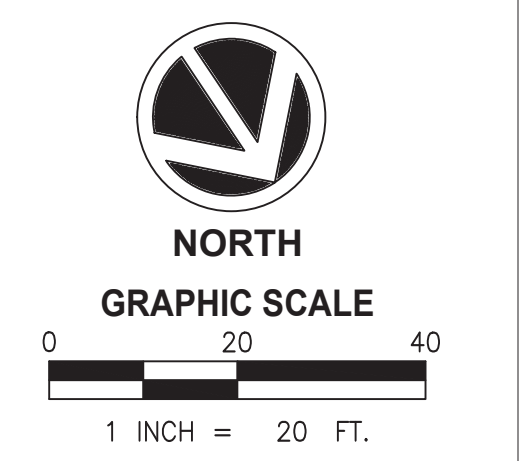
BOUNDARY SURVEY
PREPARED FOR:
INTERNATIONAL WHOLESALE
CLUB

KLS Group Inc.

3D SCANNING & MODELING - ELEVATION CERTIFICATES
3313 Jurgens St. Metairie, LA 70002
P: 504-302-0991 F: 504-539-3712
INFO@KREBSLA.YOUT.COM



RESUBDIVISION SURVEY OF
LOTS 3-B1, 3-B2 AND
A PORTION OF
UNCONSTRUCTED LIME STREET
RIGHT OF WAY
CLEARVIEW ESTATES SEC. A
JEFFERSON PARISH, LA



Surveyor's Seal

Sheet No. **1** of **1**

KLS Job No. 8693-21

PM: JWK Drafter: SKR