

12/16/2020

Scale: 1 inch= 200 feet

File: DAMMON,DAVID.ndp

Tract 1: 5.0537 Acres (220140 Sq. Feet), Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=2570 ft.

Tract 2: 0.1443 Acres (6286 Sq. Feet), Closure: s35.4422w 0.28 ft. (1/2405), Perimeter=671 ft.

Tract 3: 0.2253 Acres (9814 Sq. Feet), Closure: n00.0000e 0.00 ft. (1/467115), Perimeter=1468 ft.

01 n22e 210.00

10 s55.15e 732.93

02 n55.12w 1075

11 n62.3121w 211.55

03 s22w 210

12 n52.1909w 523.77

04 s55.1200e 1075.00

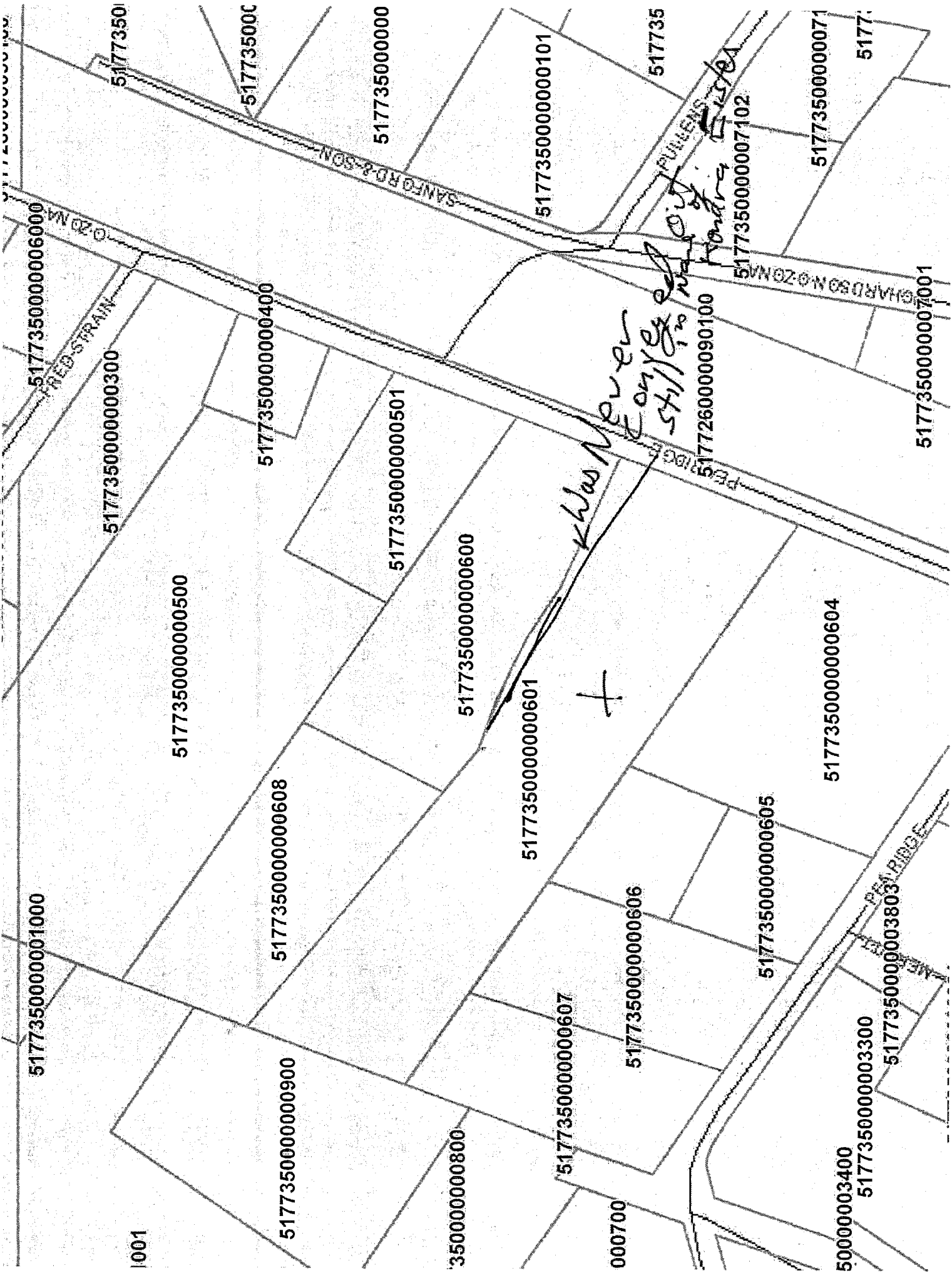
05 @2

06 n55.1200w 318.32

07 s62.3121e 311.90

08 s22w 40.48

09 @3



517735000001000

1001

517735000000500

517735000000300

517735000000400

517735000000501

517735000000600

517735000000601

517735000000608

517735000000900

350000000800

517735000000607

000700

517735000000606

517735000000605

517735000000604

5000003400

5177350000003300

5177350000003803

5177350000006000

51773500

51773500C

517735000000

517735000000101

517735

51773500000071

5177

5177350000007001

Kwas Never For Sale 5/1/10

+

SANFG RD & SON

PUBBENS

517735000007102

51772600000090100

GARDSON & ZONA

5177350000007001

PUBBENS

PUBBENS

PUBBENS

14 Pea Ridge Rd



PEARL RIVER COUNTY, MS
Inst# 20200011268 Bk: 2020 Pg: 11268
Recorded: 12/01/2020 @11:17:39 AM
Num Pages: 1
MELINDA BOWMAN CHANCERY CLERK

Chancery Clerk s Conveyance
Land Sold for Taxes
(Title 39, Div 10, Mississippi Code 1942. As Amended)

The State of Mississippi
County of Pearl River 82429

Be it known that GARY BEECH, Tax Collector of said
County of Pearl River, did on the 27TH day of AUGUST A.D., 2018
according to law, sell the following described land, situated in said
county and assessed to NICHOLS JAMES R EST to wit:

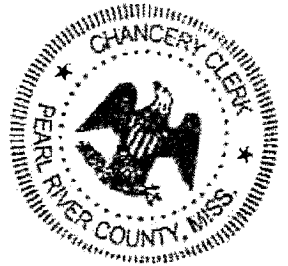
Description of Land:

PLAT OF OZONA SUB BLOCK 297 & PT BLOCK 296
CONTAINING 5.70 AC
Parcel No: 517735000000601 S-T-R: 35-05S-17W PPIN 18730 YR 2017
Deed Book 1045 Page 0136

For the taxes assessed thereon for the year, A.D., 2017, when
MS TL LLC TESCO CUSTODIAN became the best bidder therefore, at
and for the sum of 1266.64 dollars and the same not having been redeemed
I therefore sell and convey said above described land to the said
MS TL LLC TESCO CUSTODIAN P O BOX 30539
TAMPA, FL 33630

Given under my hand and official seal of said office, this 1ST day of
DECEMBER A.D., 2020.

Melinda Bowman
Chancery Clerk

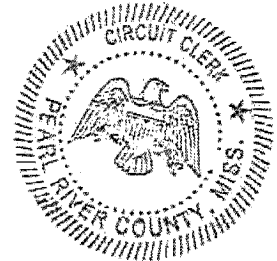


The State Of Mississippi
County of Pearl River

Personally appeared before me, the undersigned authority of law in and
for the county and state aforesaid, the within named
MELINDA SMITH BOWMAN, CHANCERY CLERK
in and for the said county and state, who acknowledged that he signed
and delivered the foregoing instrument on the day and year therein
mentioned.

Given under my hand and official seal of office at my office at
POPLARVILLE, Mississippi, this 1ST day of DECEMBER A.D., 2020.

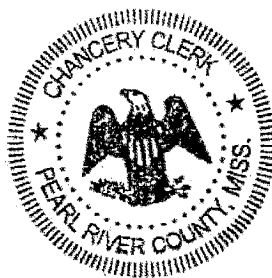
James F. Stokes
CLERK CIRCUIT COURT Pearl River County, Mississippi



County actual postage fee (Section 27-43-3)	11.50
Publishers fee (if paid by county) (Section 25-7-21)	
Served 1st Sheriff Notice (Section 27-43-3)	35.00
Served 2nd Sheriff Notice (Section 27-43-3)	
Identify record owners (Section 27-43-3)	50.00
Recording list, each subdivision (Section 25-7-21(4)(a))	1.00
Issue 1st sheriffs notice (Section 27-43-3)	2.00
Mail 1st owners notice (Section 27-43-3)	1.00
Issue 2nd sheriffs notice (Section 27-43-3)	
Mail 2nd owners notice (Section 27-43-3)	2.50
Issue each lienor notice (Section 27-43-11)	
Recording each conveyance (Section 25-7-21(4)(d))	10.00
Abstracting each subdivision (Section 25-7-21(4)(e))	1.00
Certify amount to redeem (Section 25-7-9(1)(a))	1.00
Certify release from sale (Section 25-7-9(1)(a))	1.00
Redemption fee 3% x line 32 (Section 25-7-21(4)(f))	3.48
TOTAL (to be collected from purchaser) Charge against said land	119.48

Grantor:	Grantee:
MELINDA SMITH BOWMAN, CHANCERY-CLERK	MS TL LLC TESCO CUSTODIAN
P.O. BOX 431	P O BOX 30539
POPLARVILLE MS 39470	
	TAMPA, FL 33630
	4073391108

601 403 2316
Indexing Instructions:



Chancery Clerk's Office
Pearl River County, Mississippi
I certify the instrument
was filed and recorded
FEBRUARY 6 2012 11:40:00AM
Book 1045 Page 136 Thru 137
Instrument 201201454 Page 1 of 2
Witness my hand and seal
David Earl Johnson

Prepared by:

R. Cratin Lockett, Jr., Esq.
10 Lakeland Circle
Jackson, Mississippi 39216
(601) 414-4141
MS BAR #100142

Return to:

Lockett Land Title, Inc.
6555 US Hwy 98 W, Ste 3
Hattiesburg, Mississippi 39402
(601) 450-0065
File 12-00166

STATE OF MISSISSIPPI
COUNTY OF PEARL RIVER

FHA CASE #281-305135

INDEXING INSTRUCTIONS: A part of Lot 297, Plat of Ozona, Pearl River County, Mississippi

SPECIAL WARRANTY DEED

This Indenture, made this 2 day of February, 2012, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable consideration in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged,

SHAUN DONOVAN, SECRETARY OF HOUSING AND URBAN DEVELOPMENT OF WASHINGTON, D.C.

(Grantor)
40 Marietta Street
Five Points Plaza
Atlanta, GA 30303
Phone 404-331-4113

has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey, confirm and specially warrant unto,

JAMES R. NICHOLS,
Sole Proprietor
43 Willard Place
Waggaman, LA 70094
(504) 281-3949

the following described property situated in the Pearl River County, State of Mississippi, and being more particularly described as follows, to-wit:

Entire Block 297 of the Plat of Ozona according to plat of survey made by Preston Herndon, Civil Engineers, duly recorded in the Office of the Clerk of the Chancery Court in and for Pearl River County, Mississippi, together with all improvements and appurtenances thereunto belonging, situated in Pearl River County, Mississippi.

