

**Subject:** Planning Comment  
**Page Label:** SP-1 Site Plan  
**Date:** 3/24/2025 1:12:00 PM  
**Author:** Regan K. Contois  
**Area:** 0.00 sf  
**Color:** ■  
**Layer:**  
**Space:**

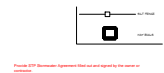
Provide 4' pedestrian access/safety space adjacent to bldg per code. Approved for only (1) 9x18' parking space. Suggest widening radius as discussed, not increasing paving further into street buffer.



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**Area:** 0  
**Color:** ■  
**Layer:**  
**Space:**

provide scaled drawing per code

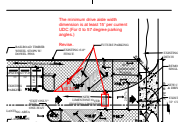
C101 Erosion Control Plan (1)



**Subject:** Stormwater  
**Page Label:** C101 Erosion Control Plan  
**Date:** 3/24/2025 1:08:45 PM  
**Author:** Chris A. Cloutet  
**Area:** 0  
**Color:** ■  
**Layer:**  
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Provide STP Stormwater Agreement filled out and signed by the owner or contractor.

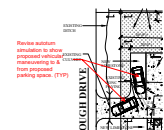
C100 Drainage & Paving Plan (5)



**Subject:** Dimensions  
**Page Label:** C100 Drainage & Paving Plan  
**Date:** 3/24/2025 1:03:39 PM  
**Author:** Chris A. Cloutet  
**Area:** 0.00 sf  
**Color:** ■  
**Layer:**  
**Space:**

The minimum drive aisle width dimension is at least 15' per current UDC (For 0 to 57 degree parking angles.)

Revise.



**Subject:** Callout  
**Page Label:** C100 Drainage & Paving Plan  
**Date:** 3/24/2025 12:55:02 PM  
**Author:** Chris A. Cloutet  
**Area:** 0  
**Color:** ■  
**Layer:**  
**Space:**

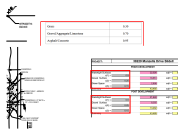
Revise autoturn simulation to show proposed vehicular maneuvering to & from proposed parking space. (TYP)



**Subject:** Backing Space  
**Page Label:** C100 Drainage & Paving Plan  
**Date:** 3/24/2025 1:09:52 PM  
**Author:** Chris A. Cloutet  
**Area:** 0.00 sf  
**Color:** ■  
**Layer:**  
**Space:**

24' backing space is required per code.

Revise.



**Subject:** Runoff Coefficient (C)  
**Page Label:** C100 Drainage & Paving Plan  
**Date:** 3/24/2025 11:50:56 AM  
**Author:** Chris A. Cloutet  
**Area:** 0  
**Color:** ■  
**Layer:**  
**Space:**

Revise Runoff Coefficient (C) = 0.95 for watertight surfaces per STP Ordinance Sec. 900-6.3(F); Exhibit 900-6-6.

Revise Runoff Coefficient (C) = 0.7 for gravel per STP Ordinance Sec. 900-6.3(F); Exhibit 900-6-6.

Revise Runoff Coefficient (C) = 0.3 for greenspace per STP Ordinance Sec. 900-6.3(F); Exhibit 900-6-6.

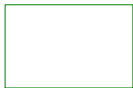
(TYPICAL for both pre & post development.)



**Subject:** Runoff Coefficient (C)  
**Page Label:** C100 Drainage & Paving Plan  
**Date:** 3/24/2025 11:51:02 AM  
**Author:** Chris A. Cloutet  
**Area:** 0  
**Color:** ■  
**Layer:**  
**Space:**

Provide "Weighted" Runoff Coefficient (C) for both pre & post development.

4 (1)



**Subject:** Planning Comment  
**Page Label:** 4  
**Date:** 3/24/2025 1:12:00 PM  
**Author:** Regan K. Contois  
**Area:** 0  
**Color:** ■  
**Layer:**  
**Space:**

General Landscape Notes:

1. Provide scaled landscape plan stamped by licensed Landscape Architect per code (with phone and email contact).
2. Label Plan 'Alternative Compliance Landscape Plan' as this plan differs from code and was achieved via special consideration from Planning Administrator.
3. Provide updated parking calculation on LA Site Plan.
4. All Class A trees must be native and meet min size standards for STP (2-2.5" caliper 10-12' height.)
5. All parking lot islands must be min. 9x18' planting area with 6" curb, Class A tree and living materials below (grass, groundcover or shrubs.)
6. All planted areas must have min. 3" organic mulch (no stone) typ.
- Seed, sod all disturbed areas.
7. LA plan must include certification stamp per code as shown on this page (to be signed by project la prior to calling for final inspection.)
8. Note on plan: "No tree removal will occur with this project.

All existing trees in ROW and on-site to remain unless approved in writing by Dept of Development."

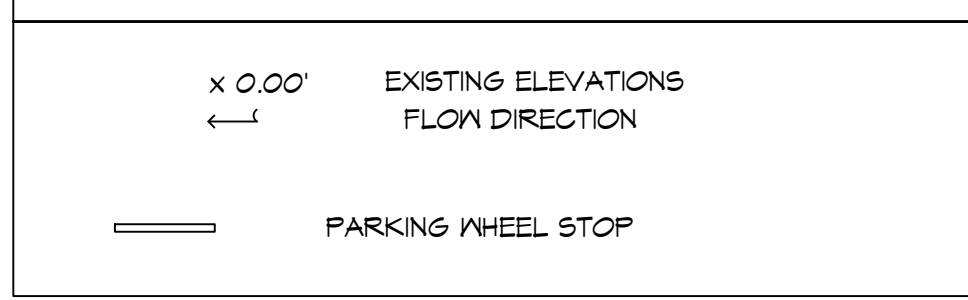


FILE NAME: \\A:\Projects\38229 Manzella Drive Slidel\Drawings\C100 - Proposed Drainage and Paving Plan.dwg DATE: 03-11-2025 10:52:42 AM

### GENERAL PAVING NOTES

- ALL NEW CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND A MINIMUM THICKNESS OF 6". CONCRETE MIX SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF ASTM C-150 TYPE 1.
- ALL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60).
- ALL REINFORCING STEEL SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. ALL CONTROL AND EXPANSION JOINTS SHALL BE LOCATED AND INSTALLED AS SHOWN ON THE PAVING PLAN AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL SUB GRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY IN A MAXIMUM OF 6" LIFTS.
- ANY WORK WITHIN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFORM MANUAL OF TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.

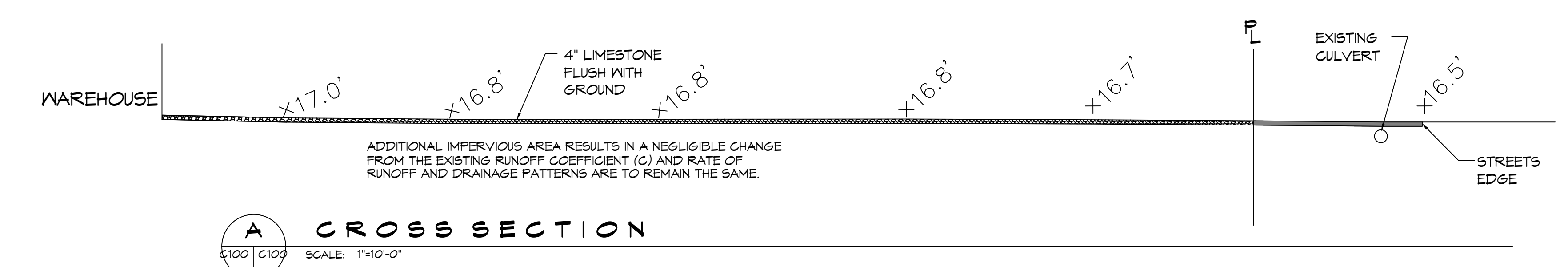
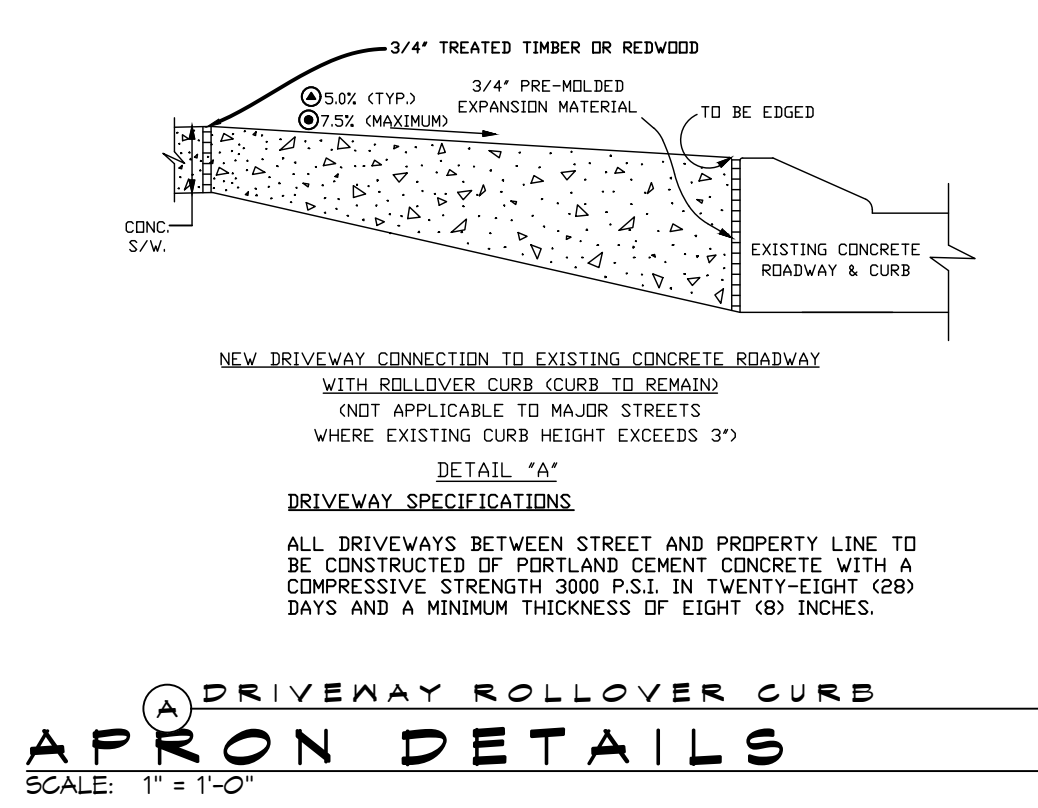
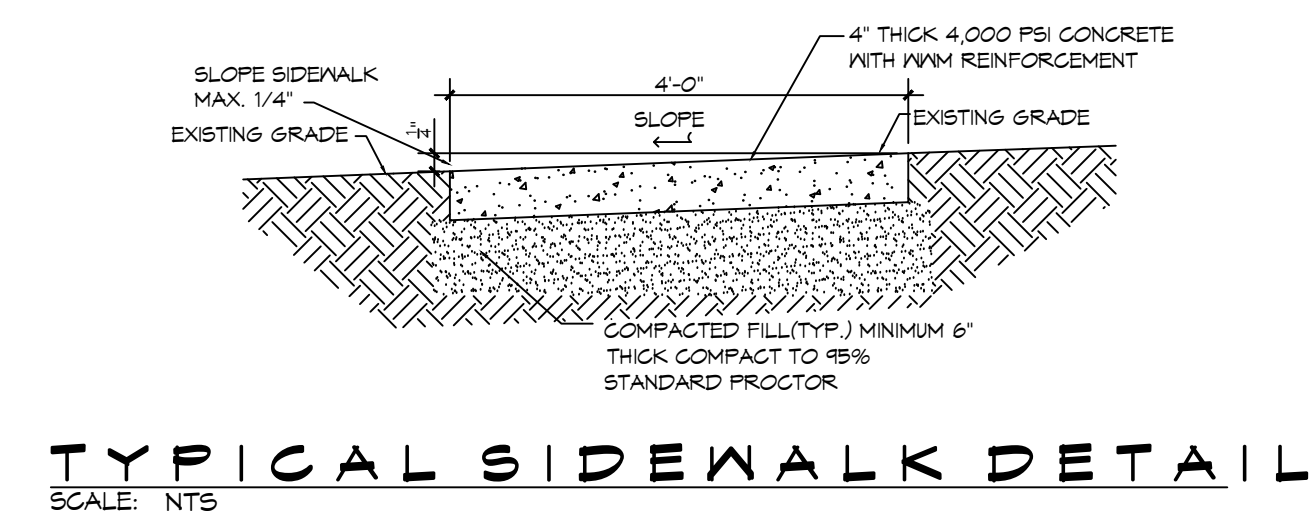
### DRAINAGE LEGEND



**DAMMON ENGINEERING, INC.**  
LOUISIANA & MISSISSIPPI

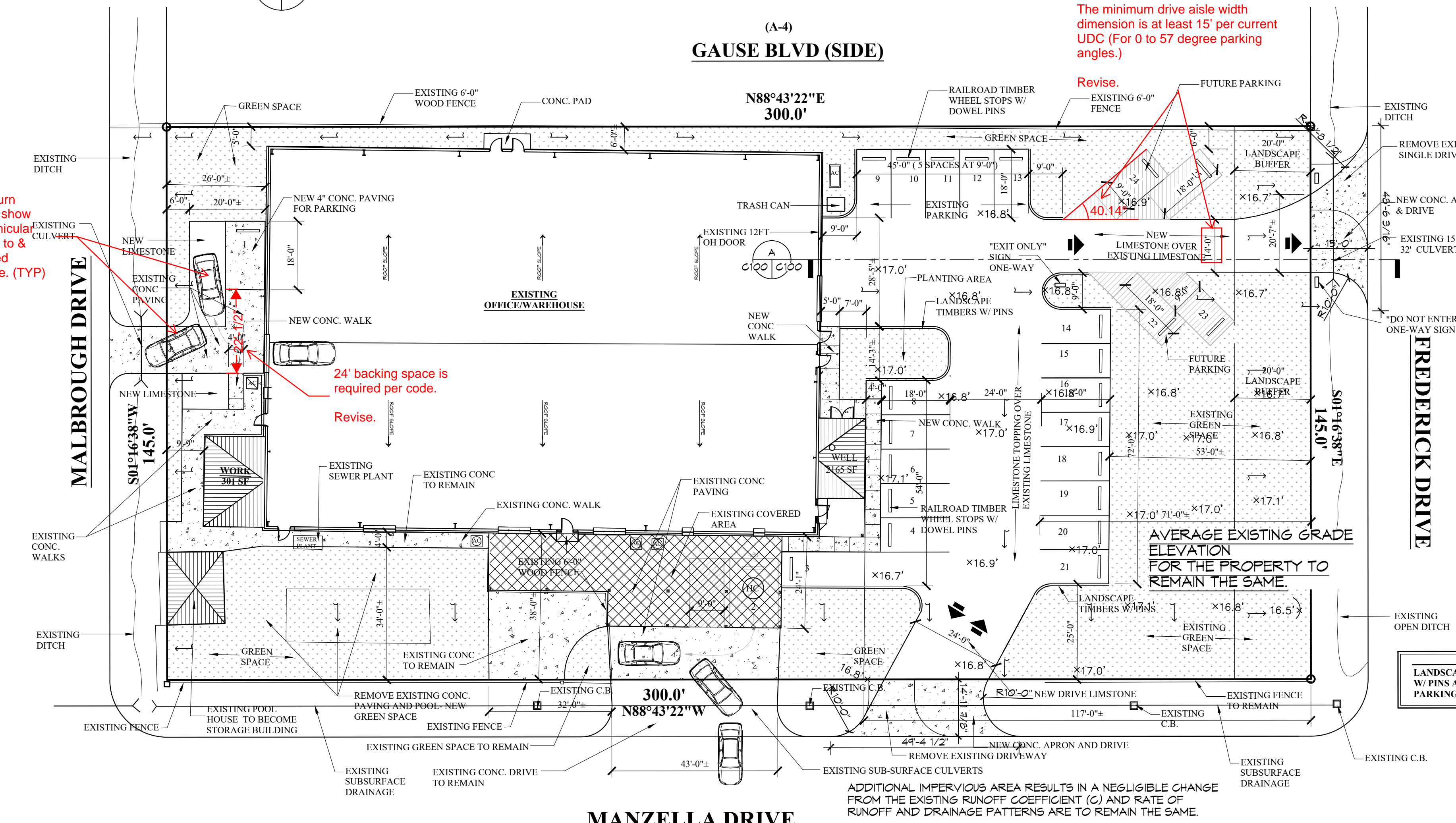
www.dammonengineering.com  
info@dammonengineering.com  
PH: 985.649.9832

Chief Engineer: Brian Mistich, PE  
554 Old Spanish Trail  
Slidell, LA 70468



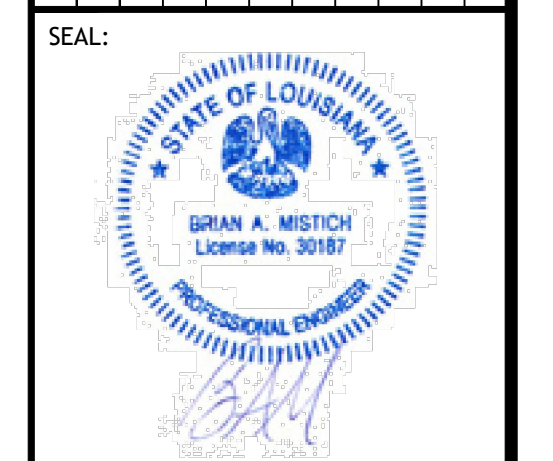
Grass	0.30
Gravel/Aggregate/Limestone	0.70
Asphalt/Concrete	0.95

Commercial Plans RECEIVED 3/17/2025 DEPARTMENT OF ENGINEERING ENGINEERING REVIEW COPY



PROJECT: 38229 Manzella Drive Slidel			
PRIOR DEVELOPMENT			
Watertight Surfaces	c(1) = 0.9	22,026	sqft = 0.506 Acres
Gravel Surface	c(2) = 0.25	18,651	sqft = 0.428 Acres
Green Space	c(3) = 0.15	2,808	sqft = 0.064 Acres
<b>Summary</b>		<b>43,485</b>	<b>sqft = 0.998 Acres</b>
POST DEVELOPMENT			
Watertight Surfaces	c(1) = 0.9	21,648	sqft = 0.497 Acres
Gravel Surface	c(2) = 0.25	8,355	sqft = 0.192 Acres
Green Space	c(3) = 0.15	13,482	sqft = 0.310 Acres
<b>Summary</b>		<b>43,485</b>	<b>sqft = 0.998 Acres</b>

REVISIONS	DATE	DESCRIPTION



**NEW OFFICE / STORAGE**

38229 MANZELLA DRIVE, SLIDELL, LOUISIANA

JOB No: 03-11-2025  
DATE: 03-11-2025  
DRAWN BY: BAW  
CHECKED BY: BAW

SHEET TITLE: PROPOSED DRAINAGE AND PAVING PLAN

DRAWING NUMBER: **C100**

SHEET No: 1 of 6

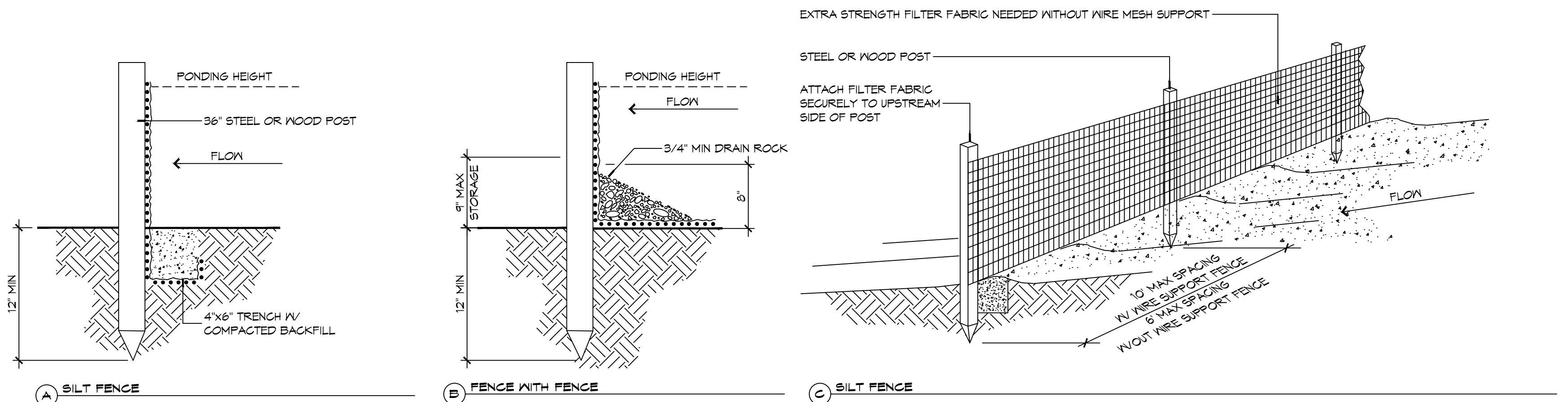


## GENERAL SITE UTILITIES NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH CONTRACT SPECIFICATIONS AND APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
2. CONSTRUCTION SHALL NOT INTERRUPT EXISTING UTILITIES.
3. ALL DISTURBED GROUND SHALL BE RESTORED IN KIND TO A CONDITION EQUAL TO OR BETTER THAN ORIGINALLY FOUND.
4. SOIL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS.
5. PROTECT EXISTING UTILITY LINES FROM DAMAGE. FOLLOW INDIVIDUAL UTILITY'S RECOMMENDATIONS FOR UTILITY LINE PROTECTION.
6. CONTRACTOR SHALL IMMEDIATELY REPORT ALL DAMAGE TO UTILITY LINES TO BOTH UTILITY COMPANY AND ENGINEER.
7. ALL DAMAGE CAUSED TO EXISTING UTILITY LINES BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO COMPLETE SATISFACTION OF THE UTILITY COMPANY AND ENGINEER.
8. LOCATION OF EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR CUT AND GAP OF EXISTING UTILITIES PRIOR TO ANY DEMOLITION.
10. CONTRACTOR SHALL CONTACT LOUISIANA ONE CALL PRIOR TO COMMENCEMENT OF SITE EXCAVATION.
11. THE CONTRACTOR SHALL CONTACT RESOLVE SYSTEMS, INC FOR EXACT LOCATION OF TIE-IN FOR UTILITIES.
12. THE CONTRACTOR SHALL CONTACT GLECO FOR POWER CONNECTION.

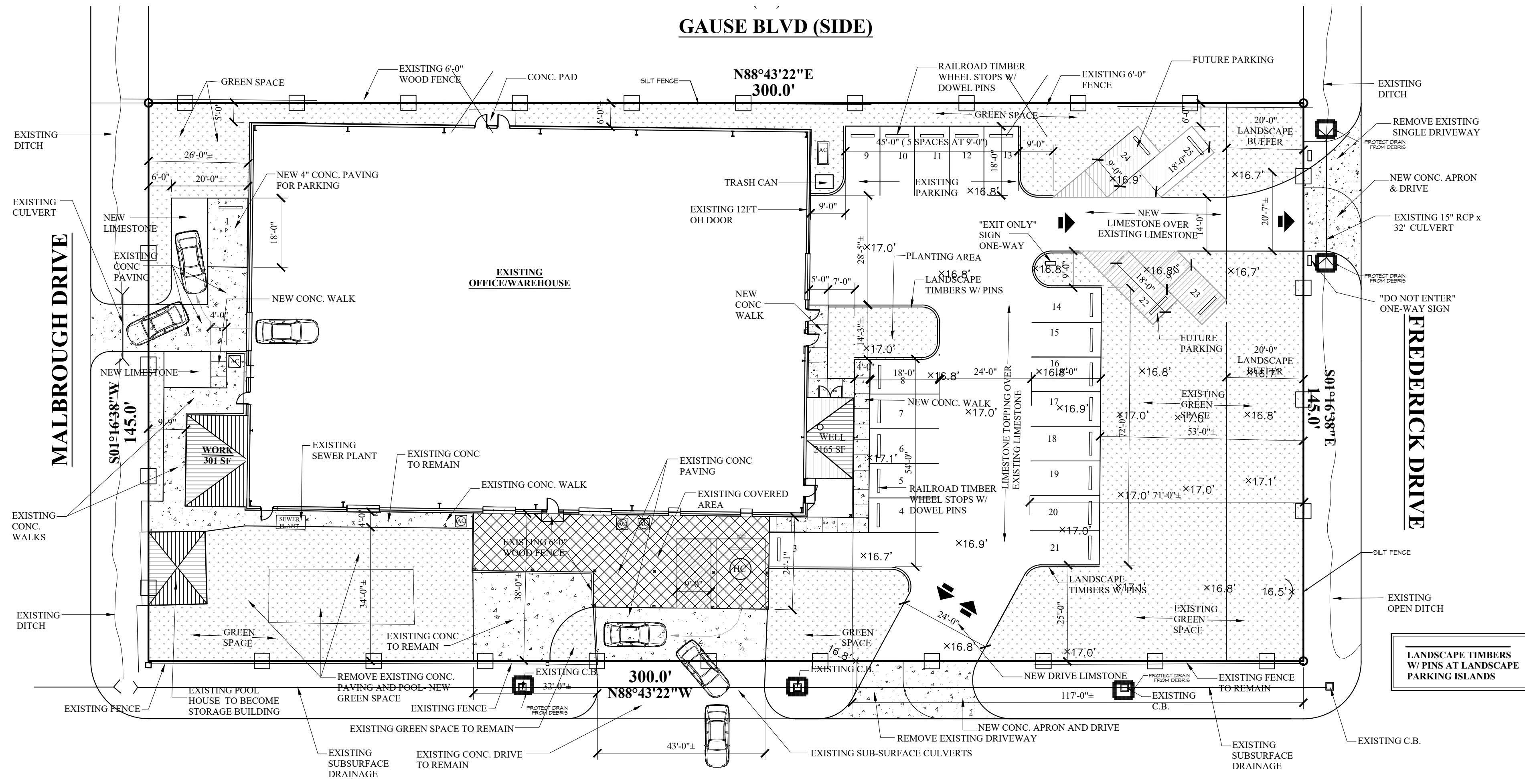
## SILT FENCE INSTALLATION

1. THE BASE OF BOTH END POSTS MUST BE AT LEAST 2'-4" ABOVE THE TOP OF THE SILT FENCE FABRIC ON THE MIDDLE POSTS FOR DITCH CHECKS TO DRAIN PROPERLY. USE A HAND LEVEL OR STRING LEVEL, IF NECESSARY, TO MARK BASE POINTS BEFORE INSTALLATION.
2. INSTALL POSTS 3 - 4 FEET APART IN CRITICAL WATER RETENTION AREAS AND 6 - 7 FEET APART ON STANDARD APPLICATIONS.
3. INSTALL POSTS 24" DEEP ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT THE FABRIC FROM UPSTREAM WATER PRESSURE.
4. INSTALL POSTS WITH THE NIPPLES FACING AWAY FROM THE SILT FENCE FABRIC.
5. ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 3' OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45° THROUGH THE FABRIC, WITH EACH FUNCTION AT LEAST 1" VERTICALLY APART. ADDITIONALLY, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
6. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
7. NO MORE THAN 24" OF A 36" FABRIC IS ALLOWED ABOVE GROUND LEVEL.
8. THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION. USE A FLAT-BLADED SHOVEL TO TUCK FABRIC DEEPER INTO THE SILT IF NECESSARY.
9. COMPACTION IS VITALLY IMPORTANT FOR EFFECTIVE RESULTS. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 PSI OF PRESSURE. COMPACT THE UPSTREAM SIDE FIRST, AND THEN EACH SIDE THREE TIMES FOR A TOTAL OF FOUR TRIPS.
10. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE FLOW EFFICIENCY.
11. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. NINE INCH MAXIMUM RECOMMENDED STORAGE HEIGHT.
12. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

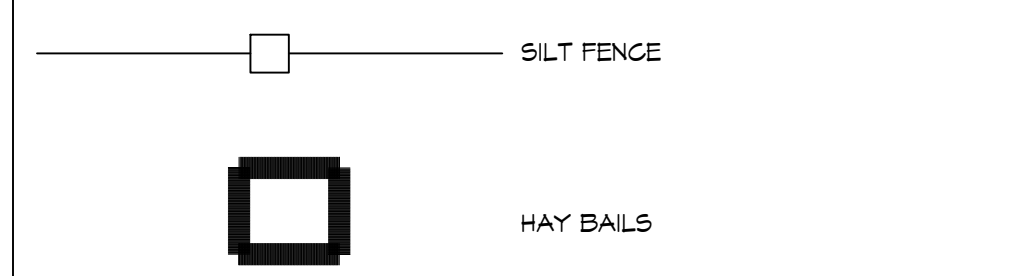


**DETAILS**  
SCALE: NTS

EROSION CONTROL FENCE AT LIMITS OF CONSTRUCTION



## EROSION CONTROL LEGEND



Provide STP Stormwater Agreement filled out and signed by the owner or contractor.

**DAMMON ENGINEERING, INC.**  
LOUISIANA & MISSISSIPPI

Chief Engineer: Brian Mistich, PE  
554 Old Spanish Trail  
Slidell, LA 70458  
www.dammonengineering.com  
info@dammonengineering.com  
PH: 985-649-5832

DATE	DESCRIPTION



**OFFICE / STORAGE**

39229 MANZILLA DRIVE,  
SLIDELL, LOUISIANA

JOB No.:  
DATE: 05-11-2025  
DRAWN BY: C-SD  
CHECKED BY: BAK

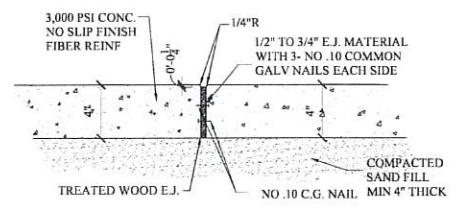
SHEET TITLE:  
**EROSION CONTROL PLAN**

DRAWING NUMBER:  
**C101**

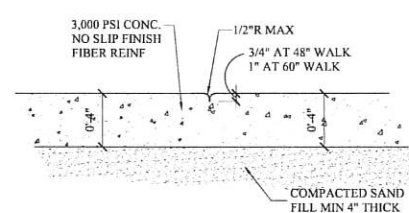
SHEET No: 2 of 6



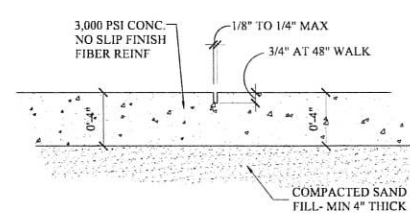
REVISIONS	BY
▲ 03/10/2025	JFS



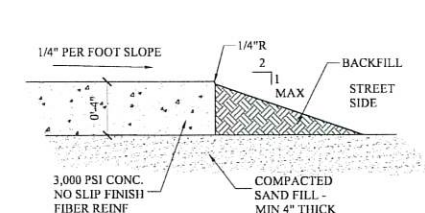
**TYPICAL EXPANSION JOINT- SIDEWALK**  
SPACING MAX 60'-0"



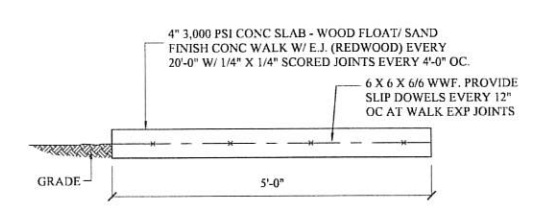
**HAND TOOLED SIDEWALK JOINT**



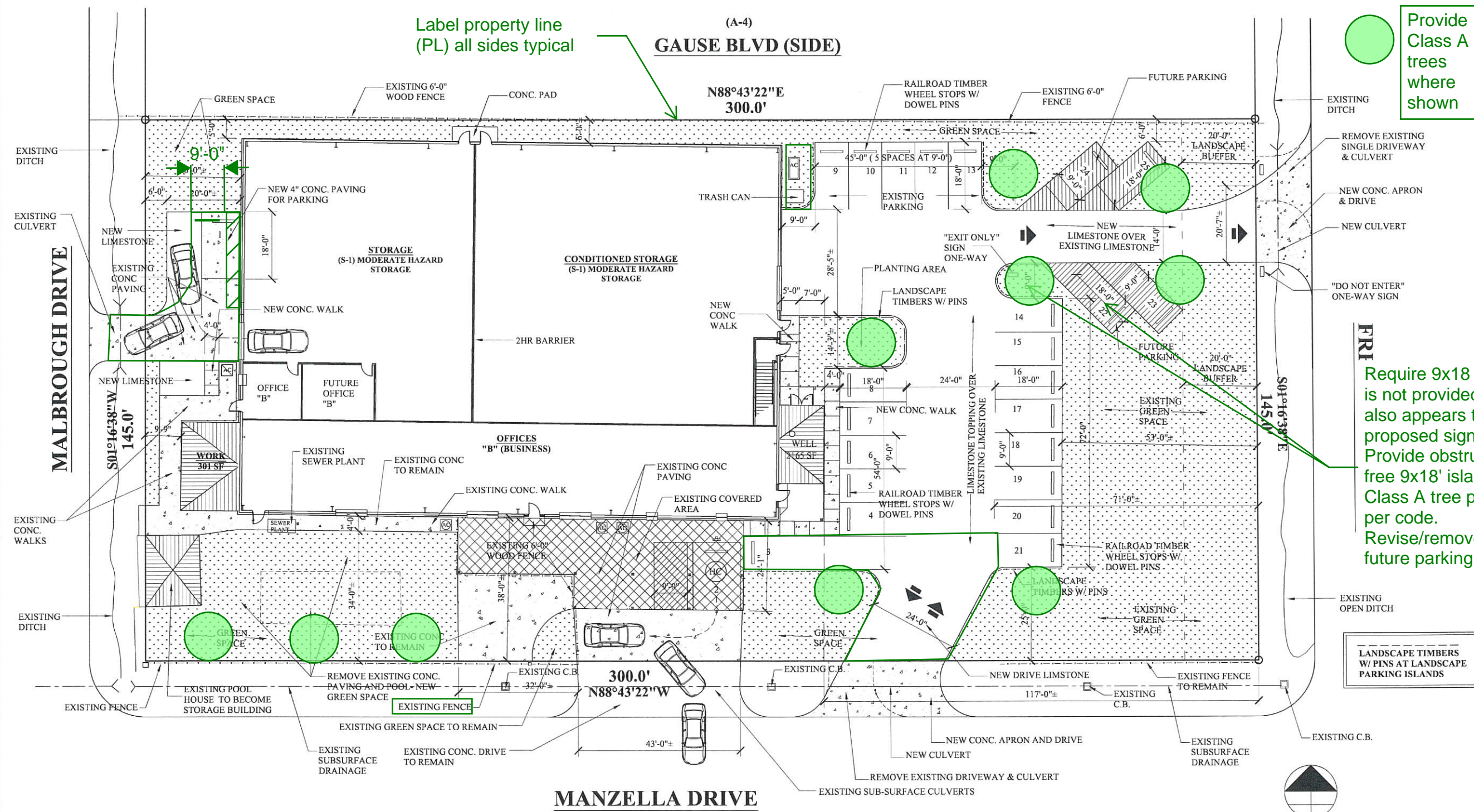
**TYPICAL SAW CUT JOINT AT WALK**



**TYPICAL WALK EDGE**



**DETAIL- CONCRETE WALK**  
SP-1



Label property line (PL) all sides typical

Provide Class A trees where shown

Require 9x18 island is not provided aqdm also appears to have proposed signage. Provide obstruction free 9x18' island for Class A tree planting per code. Revise/remove this future parking space.

**SITE PLAN- NEW WORK**

SCALE: NTS

provide scaled drawing per code

THESE DESIGN AND CONSTRUCTION DOCUMENTS AT THE SOLE PROPERTY OF JOSEPH F. SCHNEIDER, JR. AIA, ARCHITECT. NO USE OR REPRODUCTION OF THESE DOCUMENTS OR PARTIAL USE OR PARTIAL REPRODUCTION IS ALLOWED. NO USE OF THESE DRAWINGS WITHOUT THE WRITTEN EXPRESSED PERMISSION OF JOSEPH F. SCHNEIDER, JR. ARCHITECT IS ALLOWED.



**NEW OFFICE/ STORAGE**  
38299 MANZELLA DRIVE  
SLIDELL, LOUISIANA 70461

**JOSEPH F. SCI ARCHITECT**  
LA #4206 MS #3020 AL #8724 FL #AR05908 TX #24294  
105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460  
(985) 290-6648 jfsarchitect@charter.net

**DRAWN** J. SCHNEIDER  
**CHECKED** J. SCHNEIDER  
**DATE** 11/18/2024  
**SCALE** AS NOTED  
**JOB NO.**

**SHEET** SP-1  
**OF** SHEETS



General Landscape Notes:

1. Provide scaled landscape plan stamped by licensed Landscape Architect per code (with phone and email contact).
2. Label Plan 'Alternative Compliance Landscape Plan' as this plan differs from code and was achieved via special consideration from Planning Administrator.
3. Provide updated parking calculation on LA Site Plan.
4. All Class A trees must be native and meet min size standards for STP (2-2.5" caliper 10-12' height.)
5. All parking lot islands must be min. 9x18' planting area with 6" curb, Class A tree and living materials below (grass, groundcover or shrubs.)
6. All planted areas must have min. 3" organic mulch (no stone) typ.  
Seed, sod all disturbed areas.
7. LA plan must include certification stamp per code as shown on this page (to be signed by project la prior to calling for final inspection.)
8. Note on plan: "No tree removal will occur with this project.  
All existing trees in ROW and on-site to remain unless approved in writing by Dept of Development."