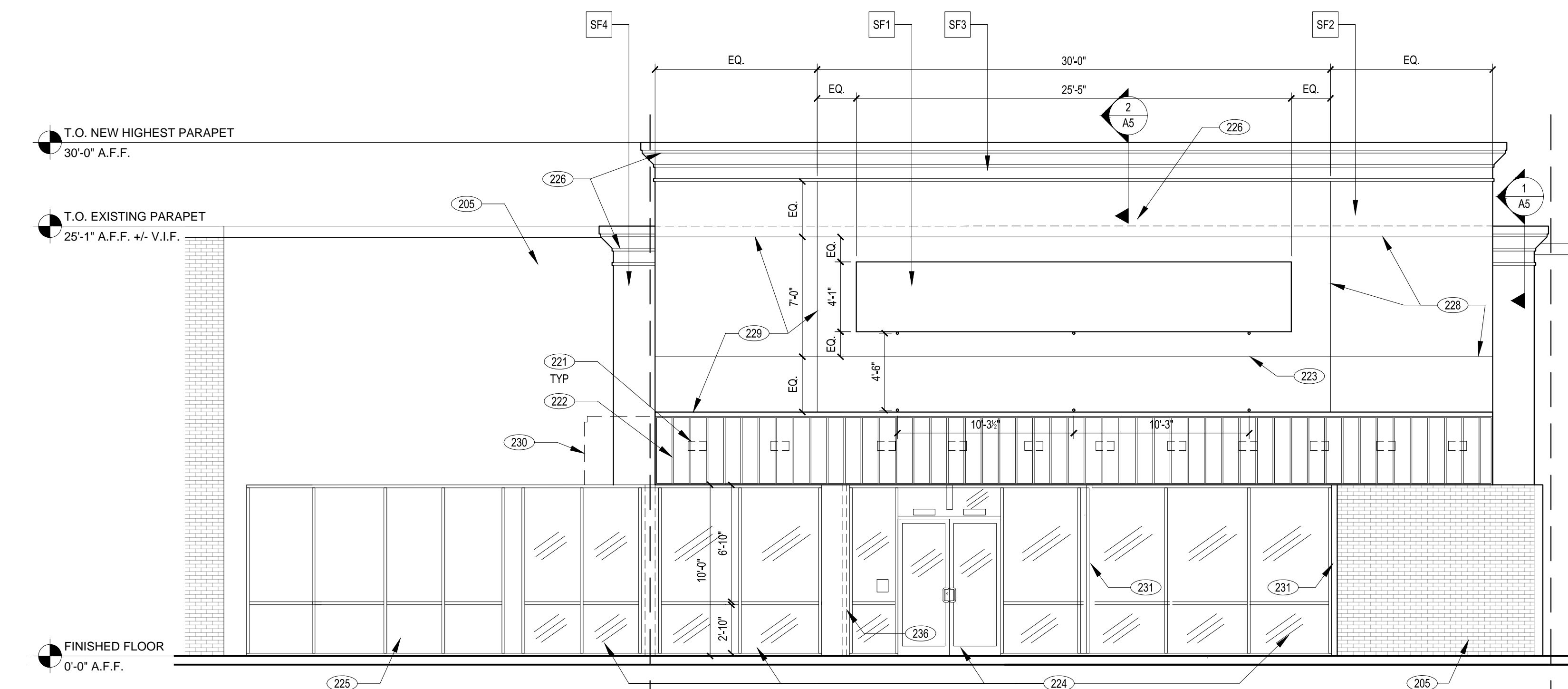
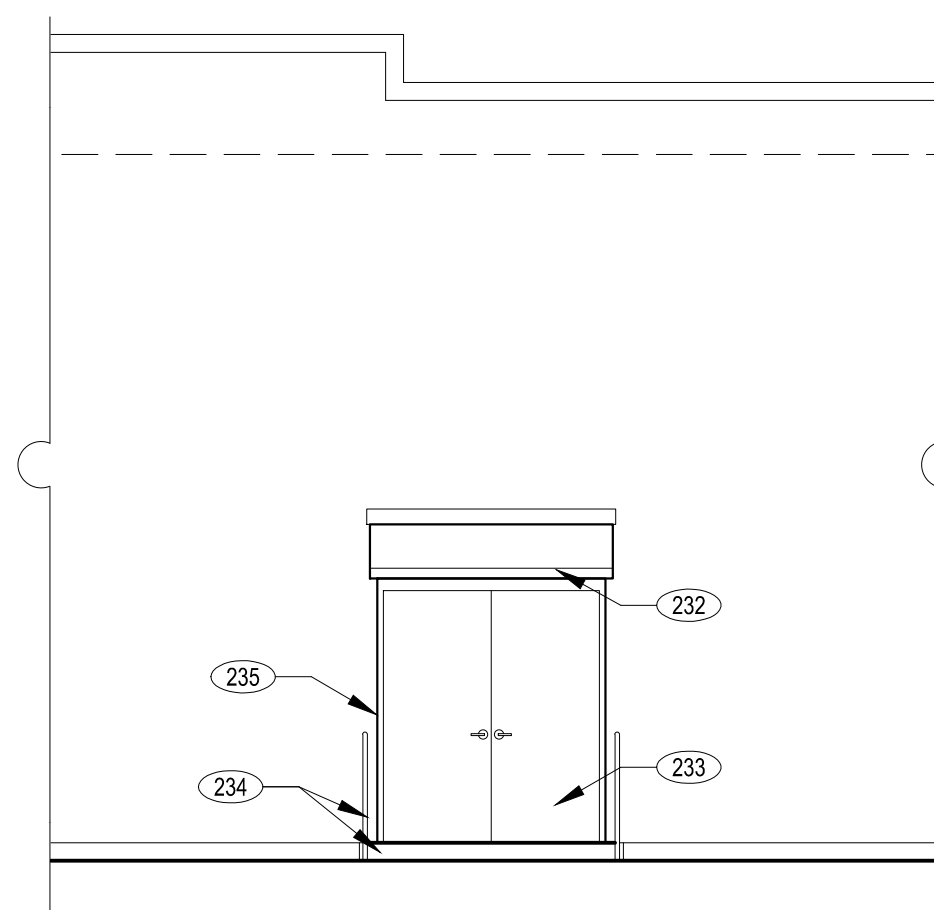


1 DEMO FRONT ELEVATION
A2.0 3/16" = 1'-0"



2 FRONT ELEVATION
A2.0 3/16" = 1'-0"



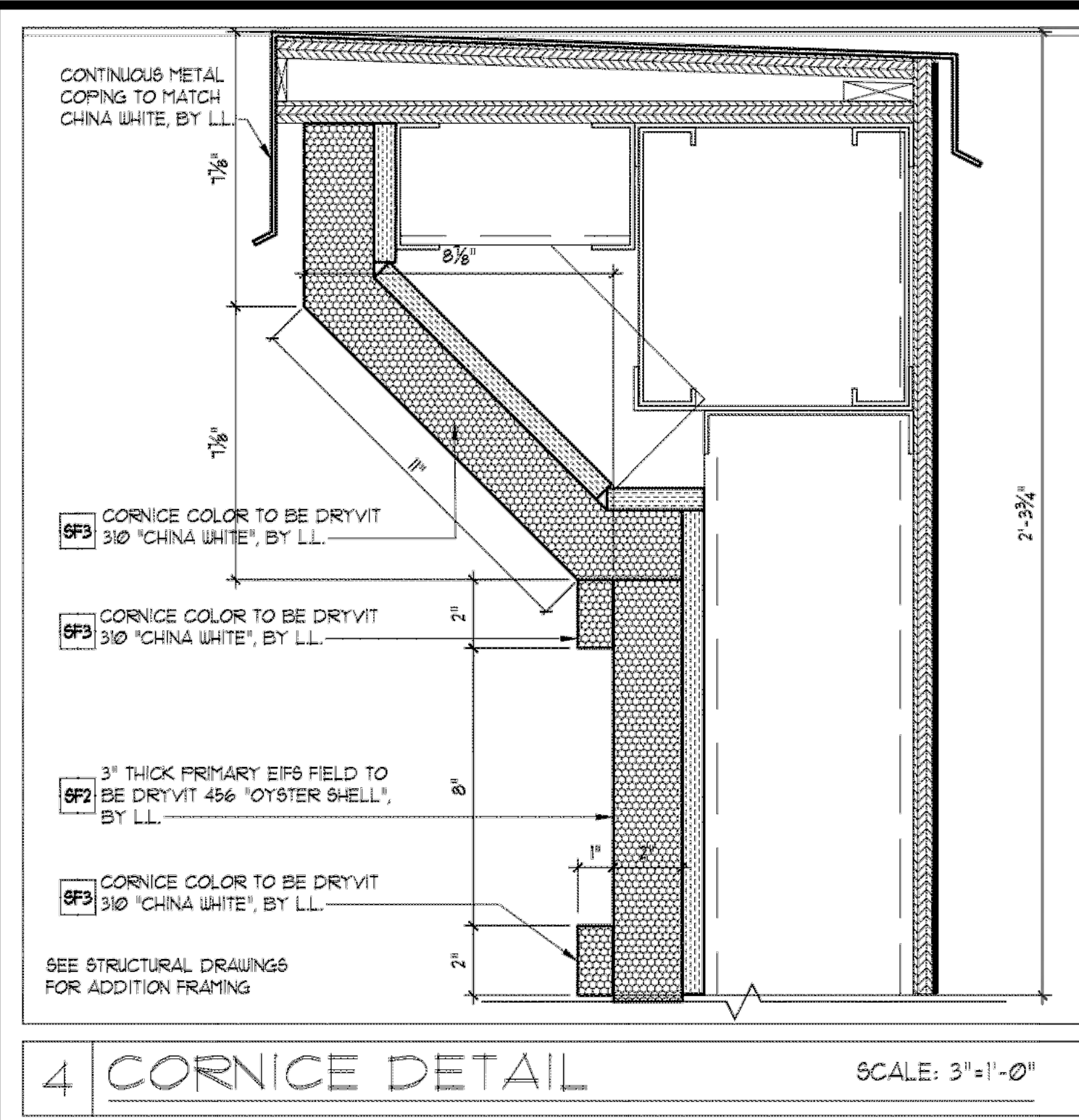
3 PARTIAL SIDE ELEVATION
A2.0 3/16" = 1'-0"

- ### KEYED DEMOLITION NOTES
- 201 REMOVE CANOPY COLUMNS, COLUMN BASES, OVERHEAD STRUCTURE & ANY PART OF THE FOUNDATION PROTRUDING ABOVE THE SIDEWALK LEVEL, A
 - 202 REMOVE EXISTING STOREFRONT, SIGNAGE, STOREFRONT SYSTEM, GLAZING FRAMES & DOORS AS SHOWN. PATCH & REPAIR SURROUNDING AREA AS REQUIRED & PREP FOR NEW DESIGN. COORDINATE WITH FINISH PLAN.
 - 203 REMOVE PORTION OF CMU WALL TO ACCOMMODATE NEW OPENING. PATCH & REPAIR SURROUNDING AREAS AS REQUIRED & PREP AREA PER NEW DESIGN. SEE STRUCTURAL DRAWINGS.
 - 205 EXISTING WALL TO REMAIN.
- ### KEYED CONSTRUCTION NOTES
- 221 SURFACE MTD. UNDER AWNING LIGHTING 'L'
 - 222 STANDING SEAM METAL AWNINGS. COLOR TO MATCH PMS 285C & TO HAVE A 4'-0" PROJECTION. FLASH TO WALL.
 - 223 PROVIDE & INSTALL ALL EYE BOLTS FOR BANNER LOCATION. SEE DETAIL (JOB SPECIFIC) TYP. OF ALL GROMMET LOCATIONS.
 - 224 NEW STOREFRONT SYSTEM, GLAZING, & DOORS
 - 225 EXISTING STOREFRONT TO REMAIN
 - 226 EIFS CORNICE. SEE DETAIL.
 - 227 EXTEND PARAPET THIS AREA.
 - 228 BUILD OUT EIFS TO DEPTH INDICATED. SEE LEGEND.
 - 229 SCORED JOINT.
 - 230 REPAIR WALL FINISH WHERE CANOPY REMOVED TO MATCH.
 - 231 WRAP NEW COLUMNS WITH ALUM. BREAK METAL TO MATCH STOREFRONT.
 - 232 PROVIDE NEW METAL COVER OVER REAR DOOR - SEE DETAIL.
 - 233 NEW DOORS & FRAMES - PRIME & PAINT.
 - 234 NEW LANDING, RAMP, AND RAILING - SEE DETAIL ON A5.
 - 235 REPAIR WALL AROUND NEW OPENING.
 - 236 LOCATE COLUMN IN EXISTING CONSTRUCTION. PATCH & REPAIR TO MATCH. ALT: PLACE COLUMN OUTSIDE OF CONSTRUCTION & WRAP W/ BREAK MTL.

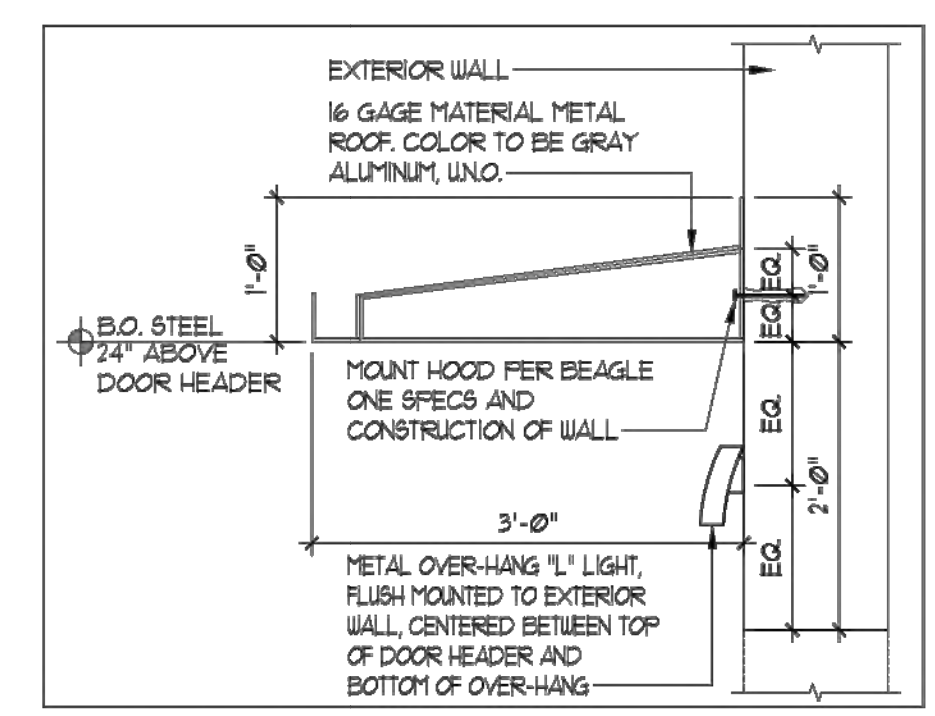
FINISH LEGEND / NOTES

FINISH	DESCRIPTION / MATERIAL	MANUFACTURER	SPEC / FINISH	COLOR *
SF1	STOREFRONT EIFS SYSTEM 3" MIN. DEPTH	DRYVIT OUTSULATION PLUS MD	"FIVE BELOW" BLUE SIGNAGE EIFS	FIBE-10/0219
SF2	STOREFRONT EIFS SYSTEM 3" MIN. DEPTH	DRYVIT OUTSULATION PLUS MD	"FIVE BELOW" PRIMARY FACADE	FIBE-01/021
SF3	1" MIN. EIFS CORNICE	DRYVIT OUTSULATION PLUS MD	"CHINA WHITE" CORNICE	FIBE-06/021
SF4	STOREFRONT EIFS SYSTEM 2" MIN. DEPTH	DRYVIT OUTSULATION PLUS MD	"AMARILLO WHITE" PILASTERS	FIBE-09/021

NOTE:
NO SUBSTITUTIONS ALLOWED. CONTACT FIVE BELOW'S DRYVIT NATIONAL ACCOUNT REPRESENTATIVE: BOB W. DAZEL AT (734) 790-6165 AND AT BOB.DAZEL@DRYVIT.COM



4 CORNICE DETAIL SCALE: 3/4" = 1'-0"



5 HOOD DTL. SCALE: 3/4" = 1'-0"

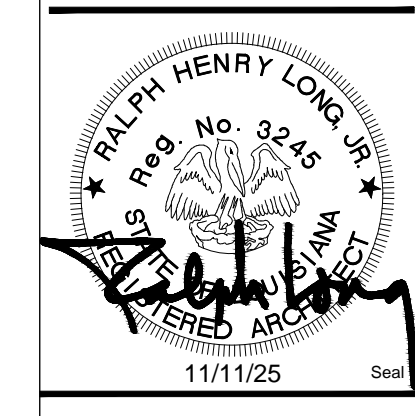
- NOTE:**
SEE TENANT BUILD-OUT SET, SHEET A4 FOR FINISH SPECS.
- NOTE:**
ALL SIGNS UNDER SEPARATE PERMIT APPLICATION
- NOTE:**
L.L. TO CLEAN & POWER WASH ENTIRE FACADE/ STOREFRONT SYSTEM TO A LIKE NEW CONDITION, FROM LEASELINE TO LEASELINE PRIOR TO STORE OPENING.

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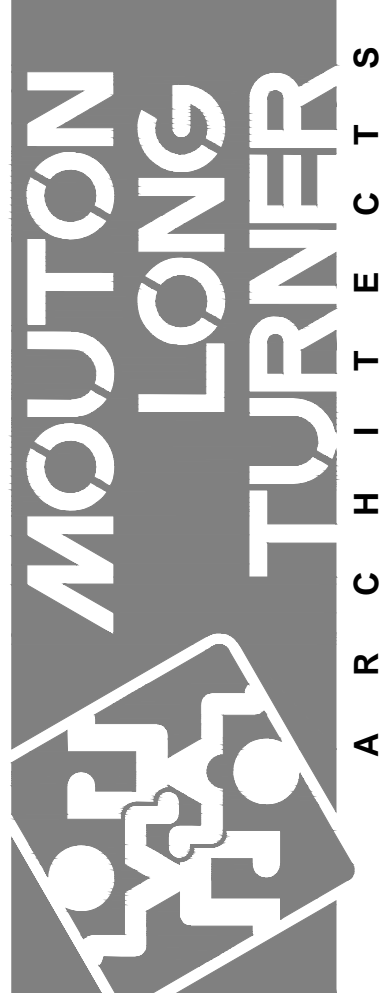
Revisions

1	10-23-25 SIGN BAND	
2	10-11-25 UPDATED LANDLORD LETTER	

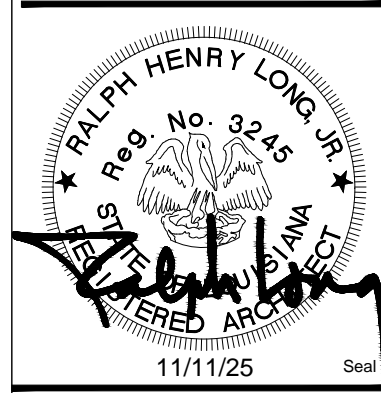
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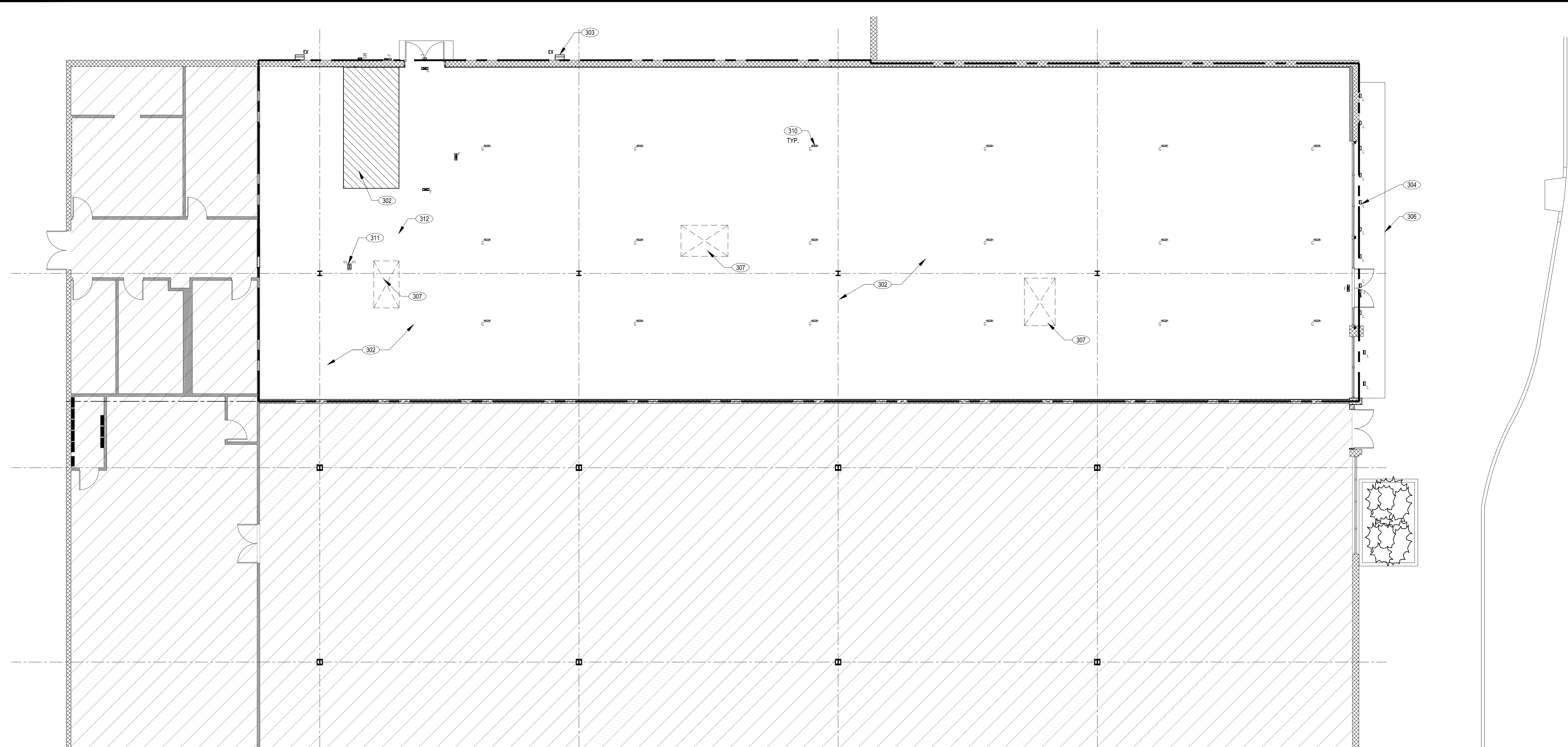
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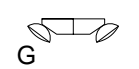
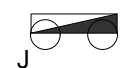

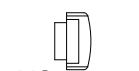
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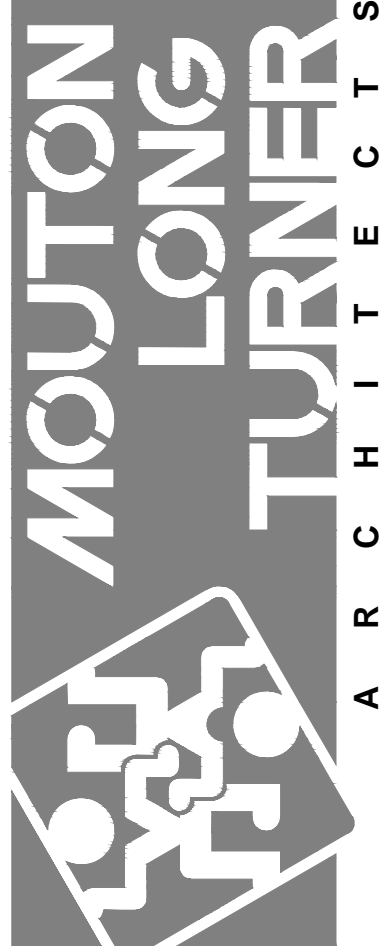
1
A3.0 REFLECTED CEILING PLAN
1/8" = 1'-0"

NOTE:
HORNS & STROBES TO BE HUNG SUSPENDED FROM
CEILING/DECK TO NOT IMPEDE W/ FIXTURES.

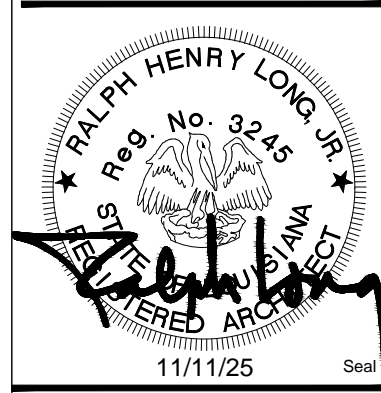
NOTE:
REFER TO TENANT BUILD-OUT PLANS FOR LIGHTING
SPECS, DIMENSIONS, MOUNTING HTS., FINISHES,
PAINT COLOR, AND OTHER MISC. DETAILS.

LEGEND	KEYED CONSTRUCTION NOTES - RCP	RCP GENERAL NOTES						
 EMERGENCY LIGHT  DUAL HEAD REMOTE  EXTERIOR WALL PACK LIGHT  EXTERIOR WALL PACK	<p>301. PROVIDE ACCESS PANELS INTO CONCEALED CEILING AREAS AND SOFFITS AS REQUIRED BY CODE. PANELS SHALL BE FLUSH WITH DRY-WALL AND PAINTED/ FINISHED TO MATCH ADJACENT SURFACE.</p> <p>302. COORDINATE W/ MECHANICAL CONTRACTOR FOR EXACT PLACEMENT OF HVAC REGISTERS AND DUCT LAYOUTS. COORDINATE WITH NEW LIGHTING LAYOUT SHOWN. HVAC DROPS FOR NEW AREAS SHALL BE DESIGNED AND INSTALLED BY MECHANICAL CONTRACTOR PER LOCAL CODE. PROVIDE ANY ADDITIONAL FRAMING FOR ROOFTOP EQUIPMENT SUPPORT.</p> <p>303. VERIFY IF THERE IS EXISTING LIGHTING AT REAR EXIT. ADD LIGHTING IF NECESSARY.</p> <p>304. PROVIDE POWER FOR ELECTRIC SIGN ON FRONT WALL.</p> <p>305. NOT USED.</p> <p>306. (N) STANDING SEAM METAL AWNING. COLOR TO MATCH PANTONE 285</p> <p>307. LOCATION OF RTU'S ABOVE FOR COORDINATION WITH LIGHTING, TYP. OF 3</p> <p>308. NOT USED.</p> <p>309. NOT USED.</p> <p>310. EMERGENCY LIGHT FIXT. @ 12'-4" A.F.F. SEE MTD. DTL. 4/A2.0</p> <p>311. EMERGENCY LIGHTS TO BE HUNG @ 14'-0" A.F.F.</p> <p>312. CABLE MOUNTED LIGHT FIXTURES @ 14'-0" A.F.F.</p>	<p>1. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF SERVICING POINTS WITH THE SERVING VOLTAGE REQUIREMENTS AND NOTIFY ALL TRADES OF SERVING VOLTAGE.</p> <p>2. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL H.V.A.C. EQUIPMENT AND SHALL FURNISH AND INSTALL ALL CONDUCTORS AND CONDUIT TO ALL EQUIPMENT AND CONTROLS. CONTRACTOR SHALL MAKE ALL NECESSARY CONNECTIONS AS REQUIRED FOR A COMPLETE WORKING SYSTEM. CONTRACTOR SHALL VERIFY ALL SIZES AND ELECTRICAL REQUIREMENTS PRIOR TO INSTALLATION.</p> <p>3. THE ELECTRICAL CONTRACTOR SHALL SUBMIT (3) COPIES OF THE SHOP DRAWINGS AND MATERIAL LISTS TO THE ELECTRICAL DESIGNER PRIOR TO INSTALLATION.</p> <p>4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT AND CONTROL WIRING WITH MECHANICAL CONTRACTOR.</p> <p>5. TELEPHONE SYSTEM IS SCHEMATIC ONLY AND SHALL BE INSTALLED PER OWNERS REQUIREMENTS.</p> <p>6. MOUNT ALL SWITCHES AT 48" A.F.F. UNLESS OTHERWISE NOTED.</p> <p>7. MOUNT ALL WALL OUTLETS AT 15" A.F.F. UNLESS OTHERWISE NOTED.</p> <p>8. BREAKERS IN ALL SUB-PANELS SHALL BE U.L. RATED FOR A MINIMUM OF 10,000 AMPS ICA OR PER SERVING UTILITY COMPANY.</p> <p>9. PLASTIC PIPE APPROVED FOR UNDERGROUND USE MAY BE USED WHERE ALLOWED BY GOVERNING BUILDING AUTHORITY.</p> <p>10. SEE "E" SHEETS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS APPLICABLE TO THE ELECTRICAL WORK.</p> <p>11. G.C. TO KEEP ONE (1) SEALED CASE & REMINDER OF LAST OPEN CASE OF LAMPS TO BE LEFT IN STOCKROOM.</p> <p>12. G.C. TO INSTALL ALL EXIT SIGNS FROM THE CENTER G.C. TO INSTALL ALL EXIT SIGNS FROM THE CENTER OF SIGN AT SPECIFIED PLAN HEIGHT.</p>						
<p>Issued</p> <table border="1"> <thead> <tr> <th>Date</th> <th>To</th> <th>Remarks</th> </tr> </thead> <tbody> <tr> <td>10-13-25</td> <td></td> <td>PERMITS</td> </tr> </tbody> </table>			Date	To	Remarks	10-13-25		PERMITS
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<p>Revisions</p> <table border="1"> <thead> <tr> <th>Symbol</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>▲</td> <td>10-23-25 SIGN BAND</td> </tr> <tr> <td>▲</td> <td>10-11-25 UPDATED LANDLORD LETTER</td> </tr> </tbody> </table>			Symbol	Description	▲	10-23-25 SIGN BAND	▲	10-11-25 UPDATED LANDLORD LETTER
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<p>10/13/25 Date 25-1885 Project No. A3.0 Drawing No.</p>								

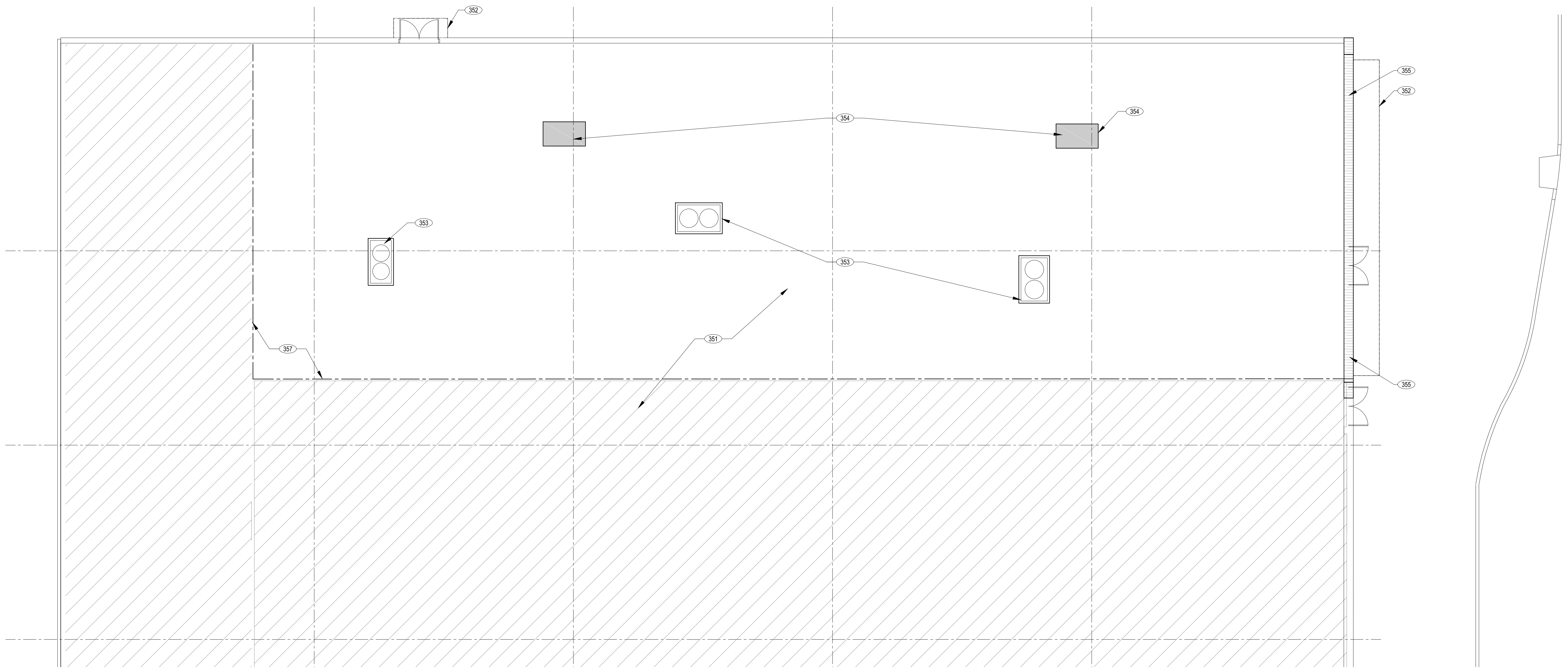
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1
A3.1 **ROOF PLAN**
1/8" = 1'-0"

NOTE:
ALL ROOFING AND ROOFING SYSTEMS SHALL MEET
MINIMUM WIND LOAD CRITERIA.

KEYED ROOF PLAN NOTES	ROOF INSTALLTION	SHEET METAL WORK	TYPICAL ROOFING DETAILS
<p>351 EXISTING ROOF</p> <p>352 PRE-ENGINEERED METAL AWNING</p> <p>353 EXISTING ROOF CURB PREPARE FOR NEW HVAC UNIT PER MECHANICAL</p> <p>354 EXISTING ROOF CURB TO BE ABANDONED. INSPECT & DISCUSS W/ OWNER AS TO INSTALLING A METAL CAP OR REMOVING COMPLETELY & REPAIRING THE ROOF TO BE CONTIGUOUS.</p> <p>355 CAP FLASHING OVER NEW CORNICE</p> <p>356 NOT USED.</p> <p>357 LEASE LINE</p> <p>358 WEATHERPROOF BACKSIDE OF NEW PARAPET EXTENSION W/ MATERIAL TO MATCH EXISTING.</p> <p>359 EXHAUST FAN WITH CURB. SEE MECHANICAL</p>	<p>INSPECT SUBSTRATE AND REPORT UNSATISFACTORY CONDITIONS IN WRITING. BEGINNING WORK MEANS ACCEPTANCE OF SUBSTRATE. COORDINATE INSTALLATION WITH OTHER TRADES, INCLUDING CARPENTRY, FLASHING AND PENETRATING WORK.</p> <p>COMPLY WITH NRCA ROOFING AND WATERPROOFING MANUAL AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p> <p>CLEAN, PRIME AND PREPARE SUBSTRATE.</p> <p>INSTALL INSULATION WITH TIGHTLY BUTTED JOINTS AND NEATLY FITTED AROUND PENETRATIONS.</p> <p>INSTALL WALKWAY PROTECTION MEMBRANE REQUIRED TO PROVIDE ACCESS TO ROOF MOUNTED EQUIPMENT AND AS PER OWNER.</p> <p>RESTORE OR REPLACE DAMAGED COMPONENTS. PROTECT WORK FROM DAMAGE.</p> <p>4' X 8' INSULATION BOARDS ARE TO BE FASTENED TO THE DECK WITH A MINIMUM OF FASTENERS PER MANUFACTURER'S REQUIREMENTS AND CODE TO MEET WIND LOAD.</p> <p>CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.</p>	<p>1. FURNISH AND INSTALL GRAVEL STOPS, FLASHING, PARAPET CAP, DOWNSPOUTS, AND GUTTERS AS REQUIRED FOR A WATERTIGHT SYSTEM.</p> <p>2. EXPOSED FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS.</p> <p>3. COMPLY WITH SMACNA SHEET METAL MANUAL RECOMMENDATIONS. COMPLY WITH ACCESSORY MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE INSTALLATION WITH ROOFING SYSTEM TO ENSURE WEATHERTIGHT PERFORMANCE.</p> <p>4. ANCHOR SECURELY TO STRUCTURE TO WITHSTAND INWARD AND OUTWARD LOADS.</p> <p>5. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.</p> <p>MEMBRANE ROOFING NOTES</p> <p>FURNISH AND INSTALL MEMBRANE ROOFING SYSTEM REPAIRS & PATCHING OVER RIGID INSULATION MIN, INCLUDING ALL FLASHING, BACK FLASHING, CANT STRIPS, CRICKETS, INSULATION, WATERPROOFING OF EXISTING WALLS, AND RELATED MATERIALS REQUIRED FOR A COMPLETE, WATERPROOF INSTALLATION. CONTRACTOR SHALL PROVIDE A 15 YEAR NO DOLLAR LIMIT MFG. WARRANTY.</p>	<p>2 HVAC UNIT ROOF CURB DETAIL 1 1/2"=1'-0"</p> <p>3 TYPICAL VENT PENETRATION 1 1/2"=1'-0"</p> <p>4 PIPE PORTAL DETAIL 1 1/2"=1'-0"</p>

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Date	To	Remarks
10-13-25	PERMITS	

Revisions

Rev	Date	Description
A	10-23-25	SIGN BAND
B	10-11-25	UPDATED LANDLORD LETTER

10/13/25
Date: 25-1885
Project No.

A3.1

STOREFRONT, DOORS, & WINDOWS

1. CAULK AND FLASH WINDOWS AND ALUMINUM STOREFRONT AGAINST ADJACENT SURFACES PER MANUFACTURER RECOMMENDED DETAILS.
2. ALL WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING AS PER CURRENT INTERNATIONAL BUILDING CODE. SILL HEIGHTS SHOWN ARE ABOVE SLAB/SUB-FLOOR.
3. PROVIDE SAFETY GLAZING FOR ALL WINDOWS WHERE ANY PORTION OF THE GLAZING PANEL IS LESS THAN 18" AFF

STOREFRONT

SHALL BE 2"x 4" NOMINAL COMMERCIAL STYLE ALUMINUM, HURRICANE RESISTANT STOREFRONT, TO MATCH COLOR & STYLE OF EXISTING, W/ 1" THICK INSULATED GLASS, THERMALLY BROKEN, LOW-E.

STEEL DOORS AND FRAMES

GENERAL PROVISIONS

FURNISH AND INSTALL ALL STEEL DOORS AND FRAMES, COMPLETE WITH JAMB ANCHORS.

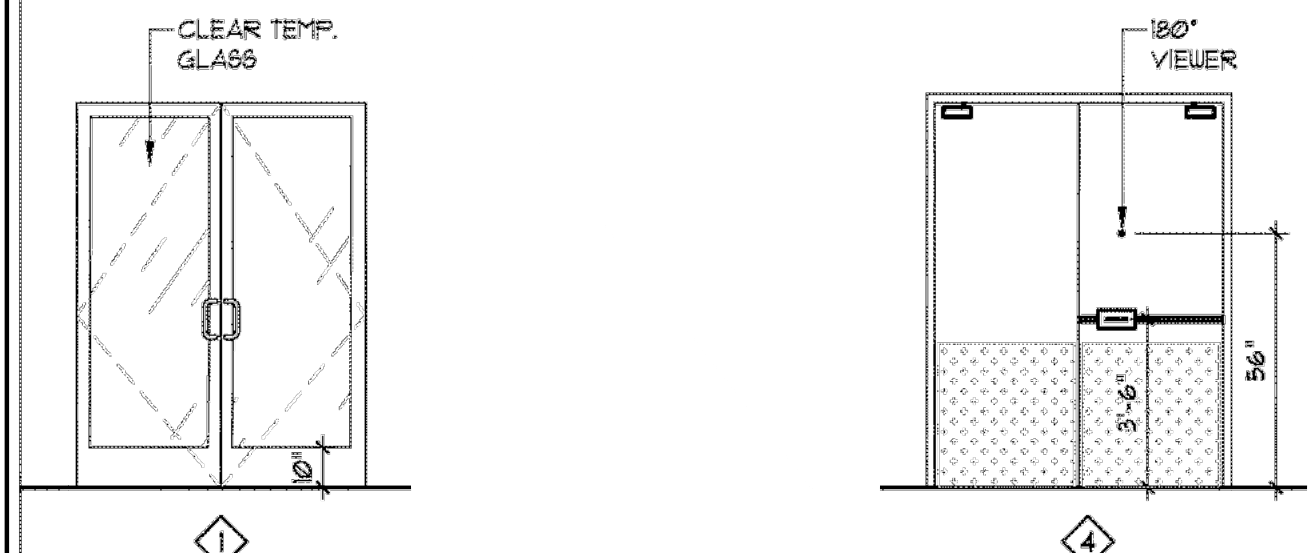
MATERIALS

1. DOORS AND FRAMES BY PIONEER INDUSTRIES, INC., STEELCRAFT, OR CECO. DOOR FRAMES SHALL BE OF 16 GAUGE COLD ROLLED STEEL. THEY SHALL BE MITERED AND WELDED AT CORNERS. FRAMES SHALL BE FURNISHED FACTORY-PRIMED AND SHALL HAVE THREE (3) "T" TYPE JAMB ANCHORS FOR EACH SIDE OF EACH FRAME.

DOORS SHALL BE CONSTRUCTED OF TWO (2) SHEETS OF 18 GAUGE COLD ROLLED STEEL, WITH VERTICAL STIFFENERS NOT OVER 6" APART AND TOP AND BOTTOM EDGES REINFORCED HORIZONTALLY BY STEEL CHANNELS. JOINTS AT EDGES OF DOOR SHALL BE CONTINUOUSLY WELDED. EXTERIOR DOORS SHALL HAVE POLYURETHANE CORE INSULATION. 0.29 U-VALUE. THEY SHALL BE THOROUGHLY CLEANED OF GREASE AND OTHER IMPURITIES, FILLED FLUSH, AND GIVEN TWO (2) COATS OF BAKED-ON RUST RESISTANT METALLIC PRIMER. CAULK AROUND ALL ABUTTING EDGES WITH CLEAR SILICONE. DOORS AND FRAMES, 2 TOP COATS PAINT COLOR TO BE SELECTED.

2. SEE DOOR SCHEDULE FOR HARDWARE

DOORS AND HARDWARE



- A. DH PAGE 16 THE REQUIRED VENDOR FOR ALL DOOR FRAMES & HARDWARE UNO
- B. ALL HARDWARE LISTED BELOW SHALL BE SUPPLIED BY L.L. UNLESS OTHERWISE NOTED
- C. ALL HARDWARE SHALL HAVE SATIN CHROME FINISH, UNLESS OTHERWISE NOTED.
- D. OPENING SHALL BE MINIMUM OF 32" WIDE WHEN DOORS ARE AT A RIGHT ANGLE TO THE CLOSED POSITION.
- E. MAX EFFORT TO OPERATE DOOR SHALL NOT EXCEED 85 POUNDS FOR EXTERIOR DOORS AND 3 POUNDS FOR INTERIOR DOORS WITH A PULL OF PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATIONS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED THE MAX EFFORT TO OPERATE THE DOORWAY MAY BE INCREASED NOT TO EXCEED 14 POUNDS WITH CLOSURE.
- F. INTERIOR METAL DOORS SHALL BE 20 GA. ALL EXTERIOR DOORS SHALL BE 18 GA.
- G. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FINISHED FLOOR.

1 DOOR TYPES

A DOOR/HARDWARE NOTES

SET 3 - EXIT DOOR WITH PANIC HARDWARE

- CLOSER:** NORTON NCLP880R (HOLD OPEN), PUSH SIDE MTD, HOLD-OPEN OPERATION. (SET TO BE 5LB MAX OPENING FORCE) INCLUDE HOLD OPEN CLOSER, TYP. OF 1. NEW CLOSER TO BE INSTALLED ON ALL (E) DOORS. ADJUST MOUNTING POINTS FOR MIN. 105° ROTATION.
- HINGES:** HAGER AB050, 1 1/2 PAIR STAINLESS STEEL MARKAR, A66A ABLOY HINGE #B103, SUPPORT PIVOT, US3G.
- EXIT DEVICE:** ALARM EXIT DEVICE SINGLE DOOR, DETEX ECL-230X-TD WEATHERIZED ALARMEE RM, (1) DX3 BLACK/GRAY TRIPLE HINGE BOLTS DOUBLE DOOR, DETEX ECL-230X-TD, WEATHERIZED ALARMEE RM EXIT DEVICE, 230D, AUTOMATIC FLUSH BOLTS 23TD COORDINATION BAR 280X DUST PROOF STRIKE & DD9K DOUBLE DOOR STRIKE EXIT DEVICE TO HAVE 1" PIN BEST ACCEPTABLE CYLINDER & (2) HAGER 291MM MOUNTING BRACKETS, (2) DX3 BLACK/GRAY TRIPLE HINGE BOLTS NEW EXIT DEVICE TO BE INSTALLED ON ALL.
- KICK PLATE:** 36"x48" 1/8 GA. KICK PLATE. INSTALL W/ 6S. COUNTERSINK SCREWS ON BOTH PUSH & PULL SIDE. VERIFY SIZE WITH DOOR SIZE.
- SILENCER:** RESILIENT TYPE, REMOVABLE FOR REPLACEMENT, 3 EACH DOOR, MTD. IN FRAME.
- SMOKE SEAL:** "PEMCO" #588D (USE AT RATED DOORS ONLY)
- WEATHERING:** WEATHER-STRIPPING AND SMOKE GASKET. (EXTERIOR DOORS)
- SECURITY:** SECURITY ASTRAGAL, NATIONAL GUARD PRODUCTS #398P & #3929P FULL HT. OF DOOR, INSTALL W/ SECURITY SCREWS
- VIEWER:** 180 DEGREE VIEWER - HAGER IT66 INSTALLED ON DOOR BELL SIDE
- THRESHOLD:** 5" ALUM./STEEL THRESHOLD -T.G.C. TO CLEAN THRESHOLD PRIOR TO WALK-THRU

NOTE:
L.L. GENERAL CONTRACTOR TO SUPPLY "BEST 1-PIN CONSTRUCTION" CORES ON ALL LOCKING DOORS WITH 3 CONTROL KEY AND MIN. OF 5 OPERATING KEYS. KEYS TO MATCH ALIKE.

GENERAL DOOR NOTES

1. PROVIDE ARCHITECT WITH DOOR AND WINDOW SUBMITTALS PRIOR TO ORDERING.
2. COORDINATE WITH HVAC CONTRACTOR FOR DOORS TO BE UNDERCUT FOR HVAC RETURN.
3. ALL DOORS TO OCCUPIABLE ROOMS SHALL HAVE PASSAGE HARDWARE AS PER NFPA 101 5-2.1.5.3, 4, 5.
4. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED.
5. ALL LOCKS AND DEADBOLTS SHALL BE KEYED W/ A MASTER KEY. KEY LOCKS AS PER OWNER REQUIREMENTS (COORDINATE W/ OWNER)
6. DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" & 44" ABOVE THE FINISHED FLOOR
7. DOORS IN MEANS OF EGRESS SHALL HAVE PASSAGE HARDWARE IN THE DIRECTION OF EXIT TRAVEL. (MAY BE LOCKED IN THE OTHER DIRECTION) PROVIDE LATCH AS REQUIRED FOR EACH ROOM FUNCTION
8. ALL NEW EXTERIOR DOORS, WINDOWS AND GLAZING SHALL BE OF AN IMPACT RESISTANT SYSTEM TO MEET REQUIREMENTS OF CH. 16 OF THE CURRENT IBC FOR IMPACT RESISTANT CONSTRUCTION SET FORTH BY ASTM E1996 OR SHALL EMPLOY A WINDOW PROTECTION SYSTEM TO COVER ALL OPENINGS TO MEET THE IBC SECTION 1609.1.4 - DESIGNED PER 130 MPH DESIGN CRITERIA
9. PROVIDE TEMPERED OR IMPACT RESISTANT GLAZING TO COMPLY W/ LOCAL CODES.
10. MAXIMUM EFFORT REQUIRED TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING:
EXTERIOR DOORS 8.5 LBS
INTERIOR DOORS 5 LBS
FIRE DOORS 15 LBS
11. EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL EFFORT, OR SPECIAL KNOWLEDGE.
12. DOOR OPENING HARDWARE SHALL BE OPERABLE WITH A SINGLE EFFORT AND SHALL NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST.
13. WOOD DOORS SHALL BE FACTORY STAINED AND SEALED AND HAVE ALL EDGES FACTORY PRIMED AND SEALED. RESEAL ALL DOOR EDGES CUT IN THE FIELD.
14. ALL GLAZING IN DOORS: ALL GLAZING LESS THAN 18" FROM FINISHED FLOOR AND GLAZING WITHIN 24" OF DOORS AND LESS THAN 60" FROM FINISH FLOOR SHALL COMPLY WITH ALL LOCAL BUILDING CODE
15. REQUIREMENTS FOR SAFETY GLAZING (USE 1/4" FULLY TEMPERED GLASS MINIMUM U.O.N.)
16. MAINTAIN MINIMUM CLEAR WIDTH AT STRIKE SIDE OF DOORS IN ACCORDANCE WITH ADA
17. EXIT DOORS SHALL NOT BE LESS THAN 3'-0" IN WIDTH AND 6'-8" IN HEIGHT. PROJECTIONS, INCLUDING PANIC HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH.
18. DOORS LEADING TO ACCESSIBLE RESTROOMS SHALL BE IDENTIFIED AS PER ADA. PERMANENT SIGNAGE TO COMPLY WITH 4.30
19. CONTRACTOR TO VERIFY ROUGH OPENING SIZES PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING DOORS AND WINDOWS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

NOTE:
CONTRACTOR TO VERIFY ROUGH OPENING SIZES PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING DOORS AND WINDOWS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

SET 4 - ENTRY DOORS

- CLOSER:** NORTON NCLP880R (HOLD OPEN) WITH 8148 DROP PLATE ADJUST MOUNTING POINTS FOR MIN. 105° ROTATION. NEW CLOSER TO BE INSTALLED ON ALL (E) DOORS
- PULL:** HAGER PULL #U, 33D OR APPROVED EQ.
- PUSH:** HAGER PUSH #306, 33D OR APPROVED EQ.
- LOCK:** 1 PIN BEST ACCEPTABLE CYLINDER W/ TEE TURN INSIDE & EXTERIOR CYLINDER GUARD, MAJOR MANUF. KGL-26D. NO LOCKSET TO BE INSTALLED ON INTERIOR VESTIBULE DOORS, WHEN VESTIBULE IS INST.
- LOCK BOX:** MASTER LOCK - 5400D
- WEATHERING:** PER MANUF. SPECS, INCLUDING FLOOR SWEEPERS.
- THRESHOLD:** 8" STANDARD MILL FINISHED THRESHOLD. NEW THRESHOLD TO BE INSTALLED ON ALL (E) DOORS. EXTERIOR DOOR ONLY. T.G.C. TO CLEAN THRESHOLD PRIOR TO WALK-THRU.

NOTE:
REFER TO TENANT BUILD-OUT PLANS FOR INFORMATION ON INTERIOR WALLS, DOORS, AND FIXTURES & FINISHES NOT SHOWN HERE.

2 DOOR HARDWARE SPECS

DOOR NO.	LOCATION ROOM NAME	TYPE	THICKNESS	DOOR			FRAME	FINISHES		HARDWARE SET	REMARKS
				MATERIAL	LABEL	DOOR SIZE	JAMB	DOOR FINISH			
1	STOREFRONT ENTRY	◇	N/A	STOREFRONT	-	(2) 3'-0" x 8'-0"	-	CLEAR ANODIZED	#4	SUPPLIED & INSTALLED BY L.L. ADJUST CLOSER FOR A 105 DEGREE ROTATION	
6	EGRESS DOOR	◇	1 3/4"	HOLLOW METAL	-	(2) 3'-0" x 8'-0"	4C/45D	P-2	#3	SUPPLIED & INSTALLED BY L.L. ADJUST CLOSER FOR A 105 DEGREE ROTATION	

3 DOOR SCHEDULE

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SLIDELL, LA 70460

Issued

Date	To	Remarks
10-13-25	PERMITS	

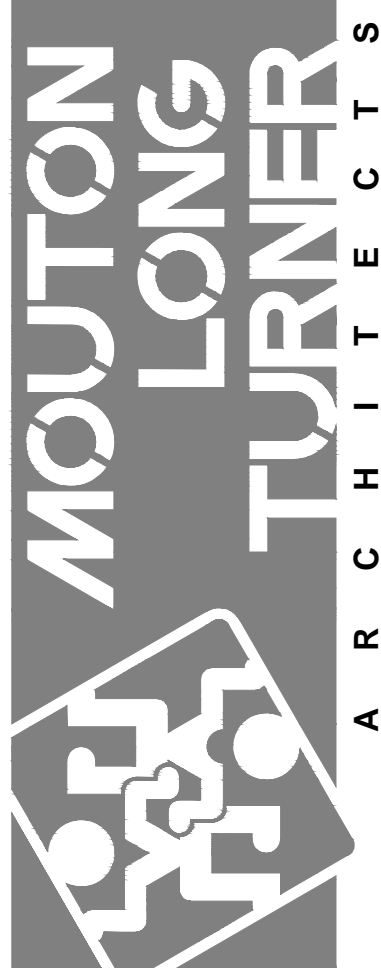
Revisions

Revision	Date	Description
A	10-23-25	SIGN BAND
B	10-11-25	UPDATED LANDLORD LETTER

10/13/25
Date
25-1885
Project No.

A4.0
SCHEDULES

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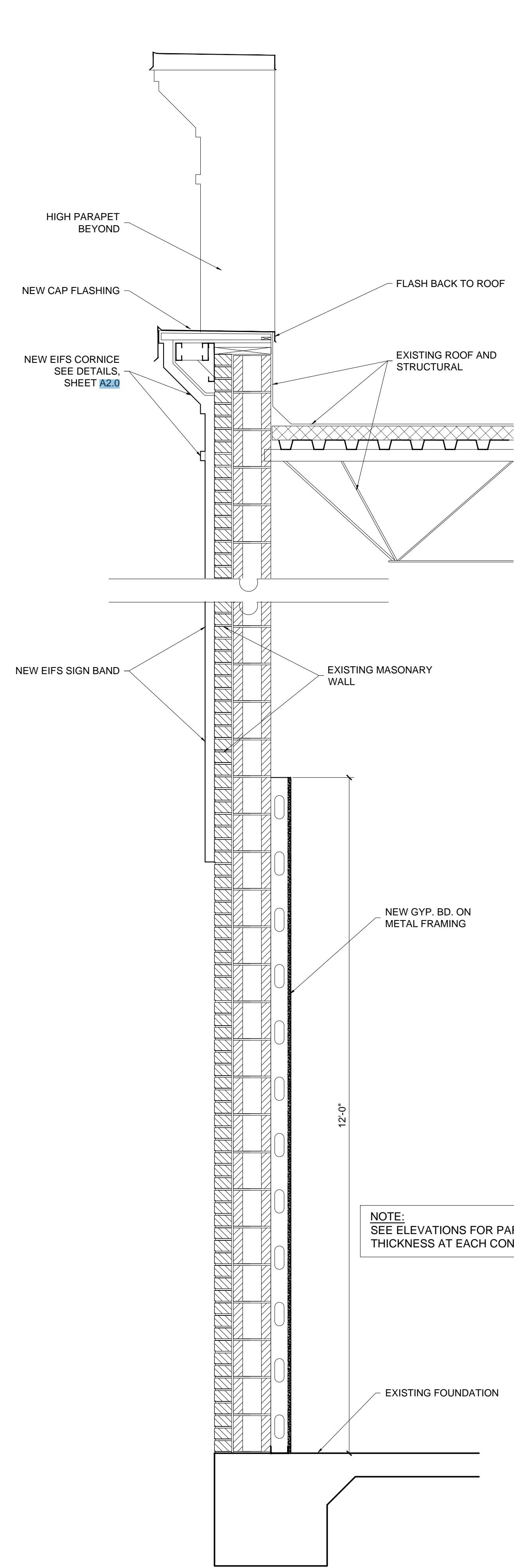
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Date	To	Remarks
10-13-25		PERMITS

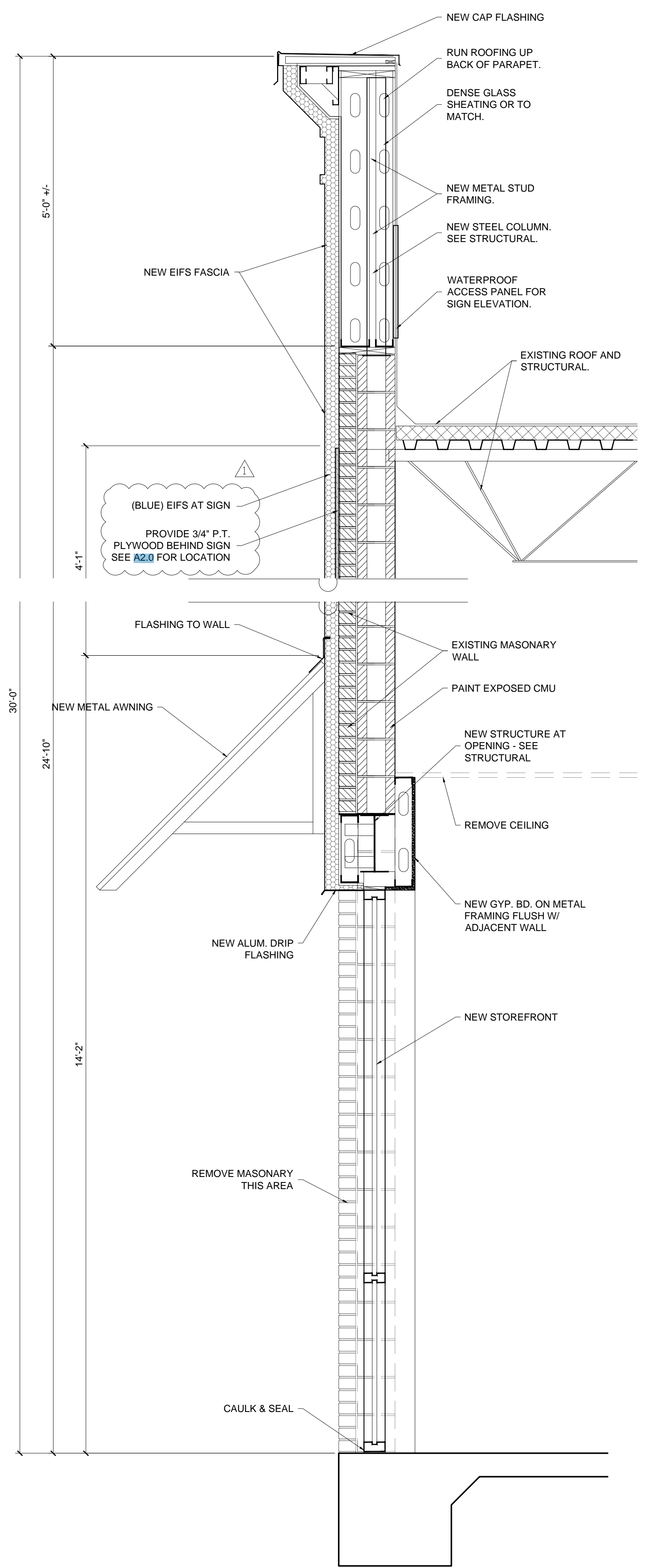
Revisions	
1	10-23-25 SIGN BAND
2	10-11-25 UPDATED LANDLORD LETTER

10/13/25 25-1885
Date Project No.
Drawing No.

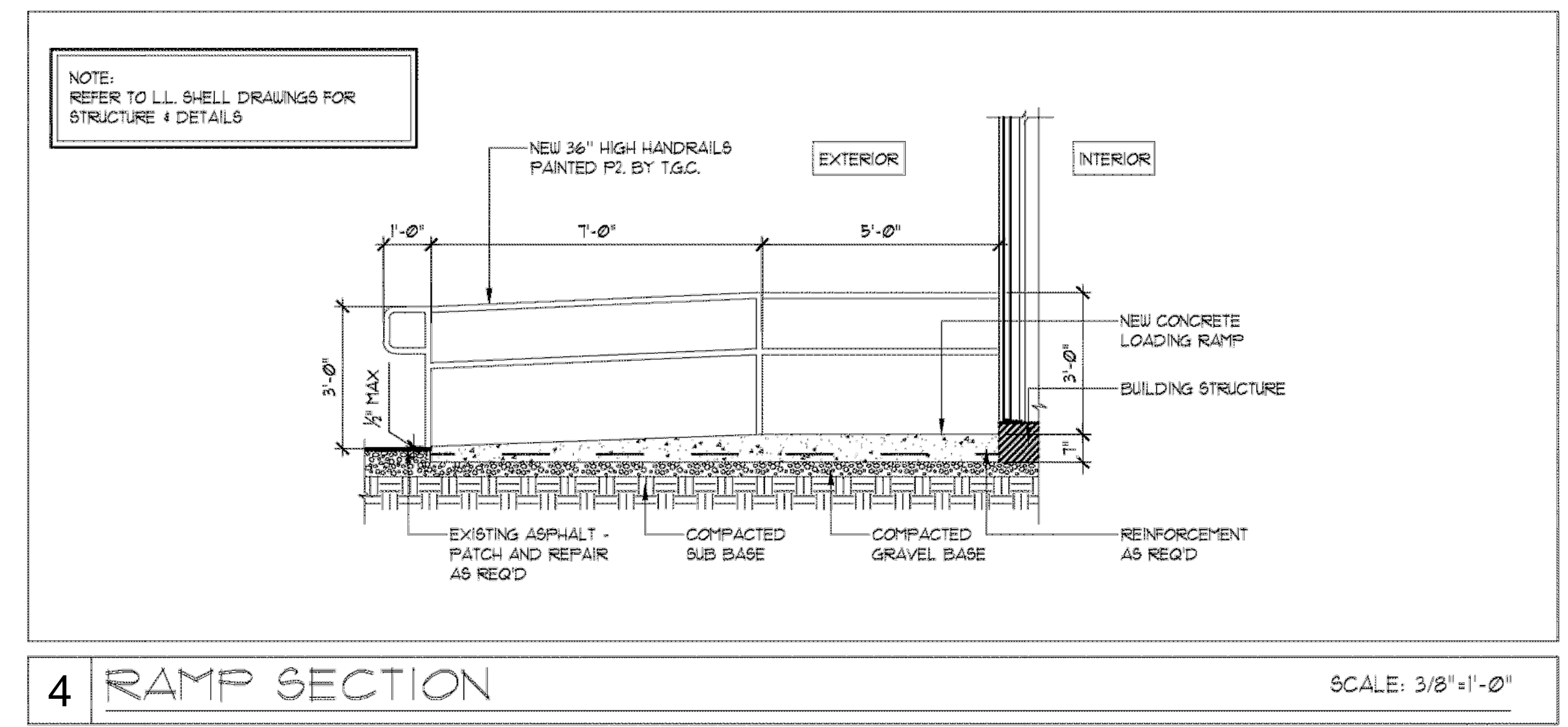
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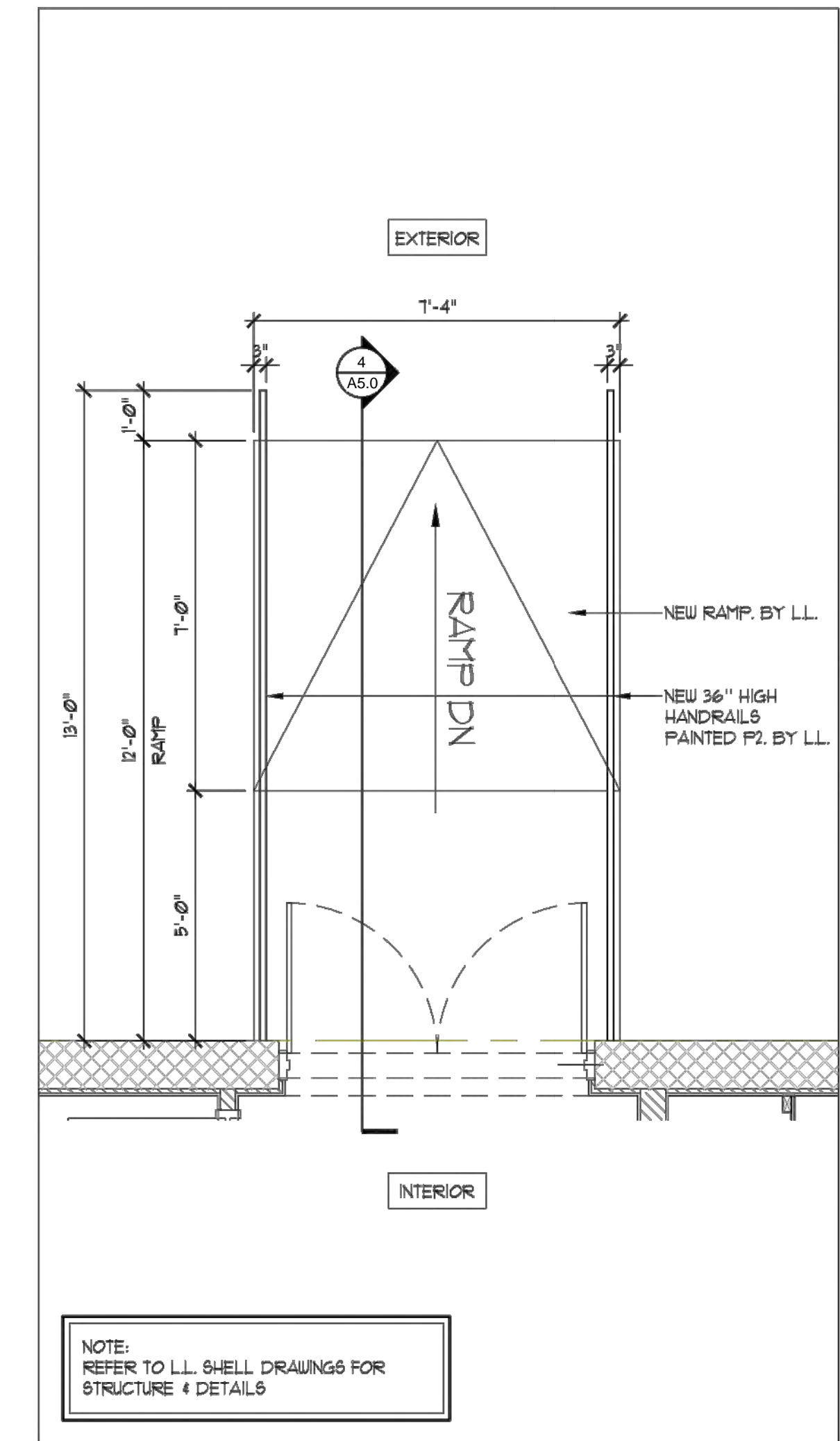
1
SECTION AT LOW PARAPET
3/4" = 1'-0"



2
SECTION AT HIGH PARAPET
3/4" = 1'-0"



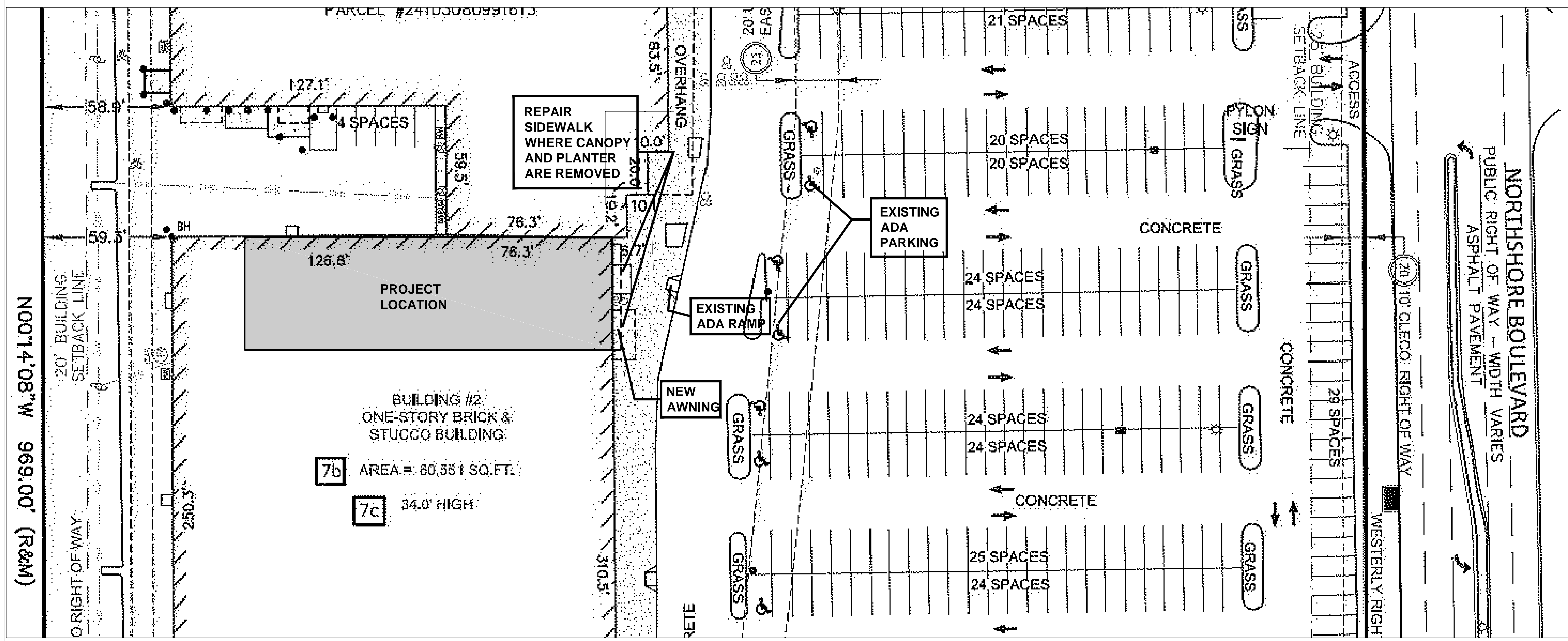
4 RAMP SECTION SCALE: 3/8" = 1'-0"



3 RAMP PLAN SCALE: 3/8" = 1'-0"

NOTE:
SEE STRUCTURAL FOR CONCRETE RAMP SPECS.

NOTE:
ALL CONDITIONS SHOWN ARE EXISTING, EXCEPT AS NOTED AS "NEW".



PARTIAL SITE PLAN (FOR REFERENCE ONLY)
NOT TO SCALE

NOTE:
SITE INFORMATION WAS TAKEN FROM SURVRY BY:
AMERICAN SURVEY AND MAPPING, ORLANDO, FL.
PROVIDED BY THE OWNER.
VERIFY ACTUAL CONDITIONS IN THE FIELD.

GENERAL SITE PLAN NOTES

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. CONTRACTOR SHALL VERIFY AND INCORPORATE INTO THE WORK ALL PERMIT REVIEW COMMENTS.

G.C. SHALL VERIFY LOCATIONS OF EXISTING FEATURES, SERVITUDE, PROPERTY LINES, UTILITIES, AND ETC.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT AND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, IMMEDIATELY NOTIFY THE CONSTRUCTION SUPERVISOR. MINOR ADJUSTMENTS OF FINISH GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON APPROVAL OF CONSTR. SUPERVISOR. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.

TRAFFIC CONTROLS: ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE AUTHORITY HAVING JURISDICTION'S TRAFFIC DIVISION AND CONFORM TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES, AND MAINTAIN THEM DURING THE CONSTRUCTION PERIOD.

ADA PAVING/ SIDEWALKS

- THERE SHALL BE NO CHANGE IN ELEVATION BETWEEN ANY ADA RAMP EDGE, LANDING AND PARKING SURFACE.
- ALL ADA RAMP SLOPES SHALL BE COORDINATED W/ ARCHITECTURAL PLANS. VERIFY RAMP RISE DOES NOT EXCEED 6". IF RAMP RISE EXCEEDS 6", PROVIDE HANDRAILS ON BOTH SIDES OF RAMP AS REQUIRED BY ADA.
- ALL NEW CURBS ADJACENT TO WALKS AROUND BUILDING SHALL NOT EXCEED 5" IN HEIGHT.
- ALL EXTERIOR DOORS SHALL HAVE A 5'x5'(MIN) LEVEL LANDING W/ MAX SLOPE OF 2% IN ANY DIRECTION W/18" CLEAR UNOBSTRUCTED SPACE AT LATCH OF PULL SIDE OF DOOR.
- MAX 1/4" STEP AT DOOR THRESHOLD. LANDING TO BE 1/4" (MAX) BELOW INTERIOR FLOOR FINISH.
- SLOPES ON SIDEWALKS, PARKING STALLS, ACCESS AISLE AND RAMPS SHALL BE AS FOLLOWS:
SIDEWALKS: RUNNING SLOPE: 5% MAX
CROSS SLOPE: 2% MAX
ADA PARKING STALLS AND ACCESS AISLE: 2% MAX ANY DIRECTION

ADA RAMP: RUNNING SLOPE: 1/12 MAX
CROSS-SLOPE: 2% MAX

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Date	To	Remarks
10-13-25	PERMITS	

Revisions

Date	Description
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10-11-25	UPDATED LANDLORD LETTER

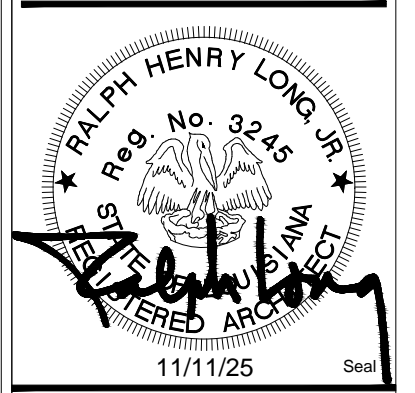
10/13/25	25-1885
Date	Project No.
Drawing No.	

AS1.0

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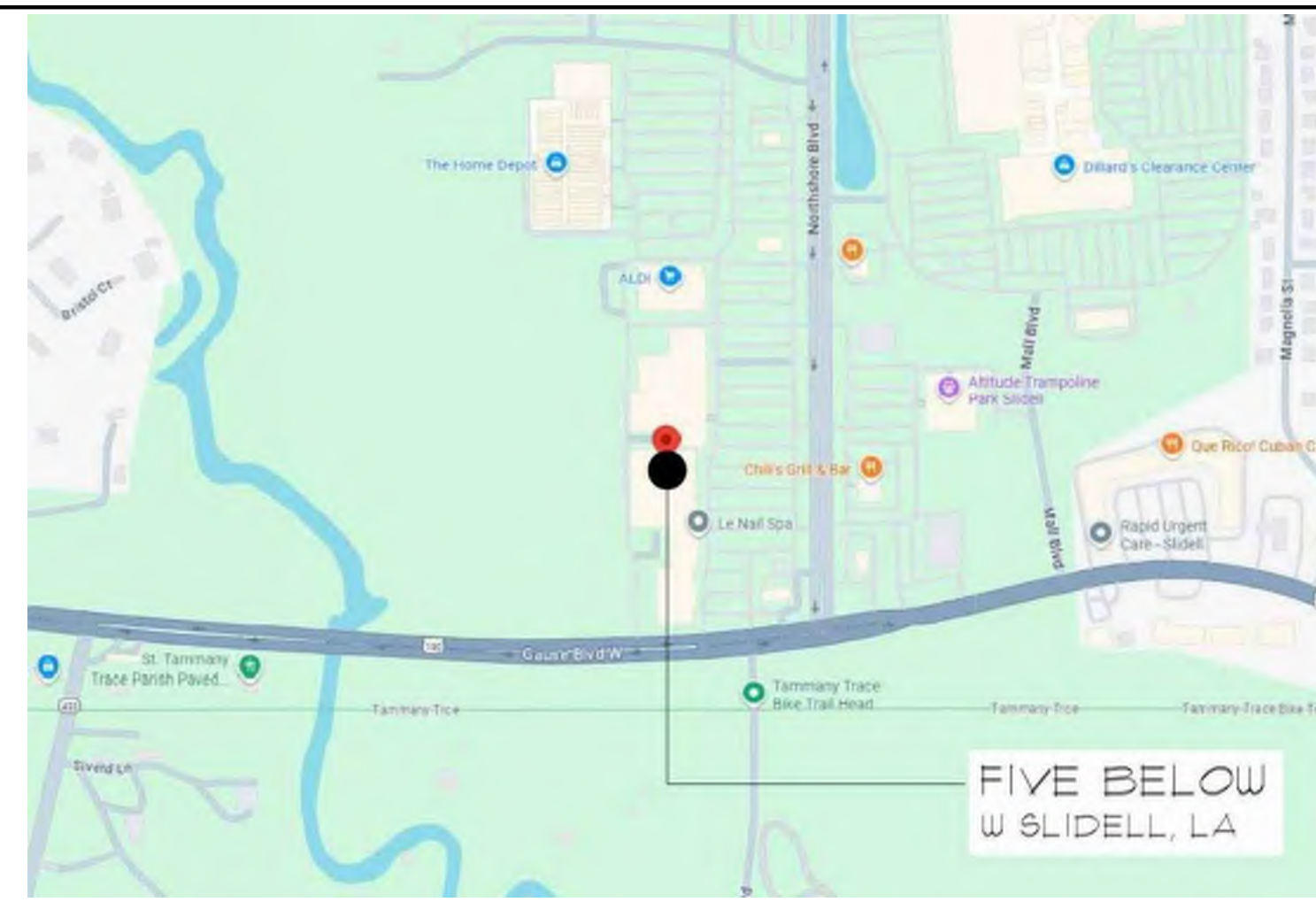
SHEET INDEX:

SHEET	DESCRIPTION	REVISIONS
GENERAL		
CV	COVER SHEET	
GN1	GENERAL NOTES	
GN2	ACCESSIBILITY NOTES	
GN3	LANDLORD SCOPE OF WORK	
GN4	FIRESTOPPING DETAILS	
ARCHITECTURAL		
AS1.0	ARCHITECTURAL SITE PLAN	
D1.0	DEMOLITION FLOOR PLAN	
A1.0	FLOOR PLAN	
A2.0	EXTERIOR ELEVATIONS	
A3.0	REFLECTED CEILING PLAN	
A3.1	ROOF PLAN	
A4.0	DOOR AND WINDOW SCHEDULES	
A5.0	SECTIONS	
SP1.0	ARCHITECTURAL SPECIFICATIONS	
STRUCTURAL		
S1.0A	GENERAL STRUCTURAL NOTES	
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S1.1	FOUNDATION PLAN, SECTIONS, AND DETAILS	
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S2.0	FRAMING PLAN	
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S2.4	FRAMING SECTIONS AND DETAILS	

ELECTRICAL	
E0.0	ELECTRICAL LEGEND AND NOTES
E0.1	ELECTRICAL SPECIFICATIONS
E1.0	ELECTRICAL FLOOR PLAN
E2.0	ELECTRICAL DETAILS
PLUMBING	
P0.0	PLUMBING LEGEND & NOTES
P0.1	PLUMBING SPECIFICATIONS
P1.0	PLUMBING PLAN
P2.0	PLUMBING DETAILS

REFER TO TENTANT BUILDOUT DRAWINGS FOR MECHANICAL DRAWINGS.

VICINITY MAP



KEY PLAN



SPECIAL CONDITIONS:

THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS & SECURE FROM THE ARCHITECT ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE REQUISITE TO A CLEAR AND FULL UNDERSTANDING OF THE WORK.

ANY WORK OR MATERIAL WHICH IS NOT DIRECTLY OR INDIRECTLY NOTED IN THE SPECIFICATIONS AND DRAWINGS, BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR IN HIS PROPOSAL AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE ARCHITECT FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.

DURING THE BIDDING PERIOD, ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION IN THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT PROMPTLY FOR CLARIFICATION. THE ARCHITECT SHALL ISSUE WRITTEN ADDENDA TO BIDDERS CLARIFYING SUCH MATTERS. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS. IT SHALL BE HELD THAT ALL BIDDERS HAVE EXAMINED ALL DOCUMENTS FOR PROPER COMPREHENSION IN THE DIVISION OF THE WORK, AND THEIR RELATIONSHIP TO OTHER CONTRACTORS OR SECTIONS OF THE WORK. NO ALLOWANCE SHALL BE MADE, AFTER THE BID OPENING, FOR MISUNDERSTANDING ON THE PART OF THE CONTRACTOR.

BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS & OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL AND STATE GOVERNING AUTHORITIES.

PREPARATION AND SAFETY:

PERFORM ALL WORK IN A SAFE AND ORDERLY MANNER, AVOIDING HAZARDOUS CONDITIONS WHEREVER POSSIBLE.

PROVIDE ALL NECESSARY TEMPORARY SHORING AND BRACING REQUIRED TO INSURE SAFE AND STRUCTURALLY SOUND EXECUTION OF THE DEMOLITION, AND PROTECTION OF EXISTING CONSTRUCTION TO REMAIN.

ERECT SUITABLE BARRIERS AROUND HAZARDOUS DEMOLITION AREAS TO DETOUR PEDESTRIAN TRAFFIC AND PREVENT NORMAL ACCESS TO SUCH AREAS BY UNAUTHORIZED PERSONS.

PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE SAFETY CODES AND STANDARDS.

THE CONTRACTOR SHALL KEEP PREMISES CLEAN DURING CONSTRUCTION. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE AT ON SITE DURING CONSTRUCTION. FINAL CLEAN UP AND REPAIR IS PART OF THIS WORK.

FIRE ALARM NOTE:

- MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 101, NFPA 72, ADA-ABA, IBC, AND LRS 40:1664.

SPRINKLER NOTES:

- MODIFICATIONS TO AN EXISTING SPRINKLER SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 13, 13R OR 13D AS APPLICABLE
- PROVIDE SPRINKLER SYSTEM AS REQUIRED FOR LAYOUT
- SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED SPRINKLER CONTRACTOR IN COMPLIANCE WITH ALL STATE, LOCAL AND NATIONAL FIRE PROTECTION REQUIREMENTS INCLUDING, BUT NOT EXCLUSIVELY, NFPA # 96
- THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND CALCULATIONS FOR REVIEW AND MAKE ALL SUBMITTALS TO REQUIRED GOVERNING AUTHORITIES AND SECURE ALL REQUIRED APPROVALS.
- SPRINKLER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH NFPA 13 AND SHALL BE WITNESSED BY THE LOCAL FIRE MARSHAL AS REQUIRED.
- UPON COMPLETION OF ALL SPRINKLER INSTALLATION, TESTING, AND APPROVALS, THE CONTRACTOR SHALL SUBMIT A WRITTEN CERTIFICATE STATING THE SPRINKLER SYSTEM HAS BEEN INSPECTED AND APPROVED

AS-BUILT VERIFICATION

THIS PROJECT INVOLVES WORKING WITH PREVIOUSLY CONSTRUCTED BUILDING COMPONENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (LOCATIONS AND CONDITION OF WALLS, COLUMNS, BEAMS, MECHANICAL, ELECTRICAL, PLUMBING, ETC.) AND LAYOUT PLAN PRIOR TO PERFORMING ANY CONSTRUCTION.

IF THERE ARE ANY DISCREPANCIES AS TO ACTUAL CONDITIONS AS TO WHAT IS SHOWN HEREIN OR IF PLAN DOES NOT LAY OUT AS AS INTENDED, CONTACT ARCHITECT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.

SPECIAL SYSTEMS

COORDINATE WITH OWNER FOR ALL SPECIAL SYSTEMS AND SYSTEM REQUIREMENTS. SPECIAL SYSTEMS TO INCLUDE BUT NOT LIMITED TO ALARM SYSTEM, INTERCOM SYSTEM, SPEAKERS, INTERNET CONNECTIONS, ETC. G.C. SHALL COORDINATE WITH ELECTRICAL FOR ALL SPECIAL SYSTEM REQUIREMENTS.

PARKING NOTES

- THIS IS A REMODEL OF A TENANT SPACE.
- THERE SHALL BE NO CHANGE IN OCCUPANCY OR EXPANSION OF THE BUILDING AREA.
- PARKING AND ACCESSIBLE STRIPING, SIGNAGE, AND RAMPS, ARE EXISTING TO REMAIN.

SUBSTITUTIONS:

WHERE SPECIFIC ITEMS ARE SPECIFIED, THERE SHALL BE NO SUBSTITUTIONS BY THE CONTRACTOR UNLESS THE SPECIFIED ITEM IS NO LONGER AVAILABLE OR DOES NOT MEET LOCAL CODES.

THE CONTRACTOR SHALL APPRISE HIM/HER SELF OF LEAD TIMES ON ALL ITEMS, AND ORDER ALL ITEMS IN A TIMELY MANNER.

FAILURE OF THE CONTRACTOR TO ORDER ITEMS IN TIME DOES NOT QUALIFY AS AN ACCEPTABLE REASON FOR SUBSTITUTION OF AN ITEM.

SHOULD THE CONTRACTOR WISH TO SUBMIT A SUBSTITUTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REIMBURSING THE ARCHITECT FOR HIS REVIEW TIME AND WILL BE BILLED HOURLY.

RENOVATION NOTES

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COORDINATING NEW WORK WITH EXISTING AND TO REPAIR ANY PART OF THE BUILDING DAMAGED DUE TO REMODELING WITH MATERIALS AND METHOD TO MATCH EXISTING.

WHERE EXISTING BEARING WALLS, BEAM OR ANY OTHER STRUCTURAL SUPPORT OF THE EXISTING BUILDING IS BEING REMOVED, CONTRACTOR SHALL DO ALL NECESSARY SHORING, NEEDLING, UNDERPINNING, ETC. AS REQUIRED TO MAINTAIN THE SAFETY OF THE STRUCTURE, WORKERS, AND THE GENERAL PUBLIC. NO STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PRIOR APPROVAL.

WHEN ANY PART OF THE STRUCTURE IS OPEN TO THE EXTERIOR, PROTECT INTERIOR FROM WIND, STORM, RAIN, AND VANDALISM.

PROTECT PEDESTRIAN RIGHT OF WAY IN AREA OF WORK

USE ONLY NEW MATERIALS WITH UL LABEL WHERE APPLICABLE. (EXCEPT AS NOTED)

SCOPE OF WORK (SHELL ONLY, NO OCCUPANCY)

(THIS LIST DOES NOT SUPERCEDE ANY INFORMATION IN THE DRAWING SET. SEE MORE DETAILS IN "LANDLORD'S WORK" ON GN 2.0)

SITE/ EXTERIOR:

- DEMO EXISTING CANOPY, REPAIR WALL AND SIDEWALK.
- DEMO EXISTING PLANTER, REPAIR SIDEWALK.
- NEW STOREFRONT GLASS, CANOPY, AND SIGN BAND.
- NEW EXTERIOR LIGHTING AND ELECTRICAL AT CANOPY AND SIGN.

BUILDING:

- NEW ENTRANCE DOORS.
- NEW LOADING/ EXIT DOOR IN SERVICE AREA..
- NEW INTERIOR BUILD-OUT PER PLANS.
- NEW HVAC, ELECTRICAL, AND PLUMBING.
- NEW RESTROOMS.
- REMOVE CEILING IN AREAS INDICATED, AND PAINT STRUCTURAL MEMBERS AND UTILITIES.
- LOCATE NEW EQUIPMENT ON ROOF AND REPAIR ROOF AT PENETRATIONS.
- REWORK SPRINKLER LAYOUT PER NEW FLOOR PLAN
- UPDATE FIRE ALARM, SMOKE DETECTION, ETC. PER CODE.

PROJECT DATA:

SUBMITTOR	MOUTON LONG TURNER ARCHITECTS
SUBMITTOR ADDRESS	601 PAPWORTH AVENUE, SUITE 200 METAIRIE, LA 70005 (504) 838-8091
PROJECT DESCRIPTION	RETAIL SHELL (NO-OCCUPANCY)
OWNER NAME	THE WOODMONT COMPANY 2100 WEST 7TH ST. FORT WORTH, TX 76107
OWNER CONTACT	JENNIFER SCOTT (817) 732-4000 JSCOTT@WOODMONT.COM
GROSS LEASE SQUARE FOOTAGE	8899 S.F.

**WIND AREA IMPACT
GLAZING NOTE:**

*STRUCTURAL IMPACT RESISTANT GLAZING IS REQUIRED FOR ALL EXTERIOR GLAZING PER LOCAL CODE (151 MPH WIND SPEED)

*ALL DOORS AND WINDOWS SHALL CONFORM TO IBC 2015 EXISTING BUILDING SECTIONS 606.4 - 606.5, AND IBC 2015 SECTION 1609.1.2 FOR WIND LOADS AND IMPACT PROTECTION

CODE DATA:

BUILDING CODE	IBC 2021 NFPA 101 (2015) IMC 2021 IFGC 2021 IPC 2021 NEC 2020
CONSTRUCTION TYPE-II-B, SPRINKLERED	
OCCUPANCY	MERCANTILE
HABITABLE AREA	8899 S.F.
BUILDING HEIGHT	1 STORY

PROJECT TEAM:

ARCHITECT:
MOUTON LONG TURNER ARCHITECTS
601 PAPWORTH AVE. SUITE 200
METAIRIE, LA 70005
CONTACT:
504.838.8091

MEP ENGINEERING
LGC ENGINEERING
1305 DISTRIBUTORS ROW, SUITE K
ELMWOOD, LA 70123
CONTACT:
504.481.9035

STRUCTURAL ENGINEER:
AXIS ENGINEERING
3500 N. CAUSEWAY BLVD. STE. 200
METAIRIE, LA 70002
CONTACT:
504-380-0800

RESTROOM REQUIREMENTS:

MERCANTILE (GROUP M)

WATER CLOSETS
1 PER 500 MALES
1 PER 500 FEMALES

LAVATORIES:
1 PER 750 PER SEX

DRINKING FOUNTAINS
1 PER 1000 OCCUPANTS

MOP SINK:
1 PER BUILDING

ACCESSIBILITY:
AT LEAST 1 FIXTURE OF EACH TYPE MUST BE ACCESSIBLE PER ADA

OCCUPANT LOAD AND EGRESS

MERCANTILE
SALES: 7116 SF/ 30 = 237
STOCK : 1352 SF/ 300 = 5
TOTAL: 242

<500 = 2 EXITS MIN.

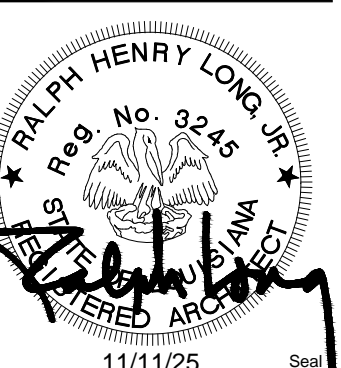
250 MAX TRAVEL DISTANCE (SPRINKLERED)

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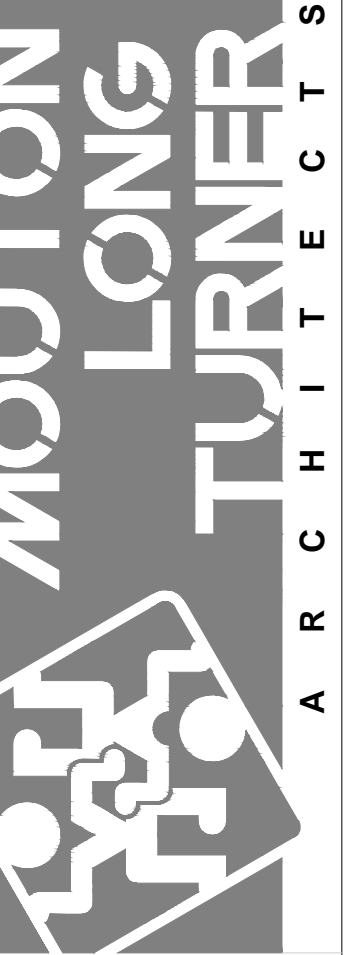
10/13/25 25-1885

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Drawing No.

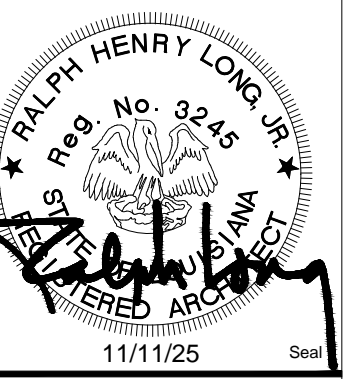
CV

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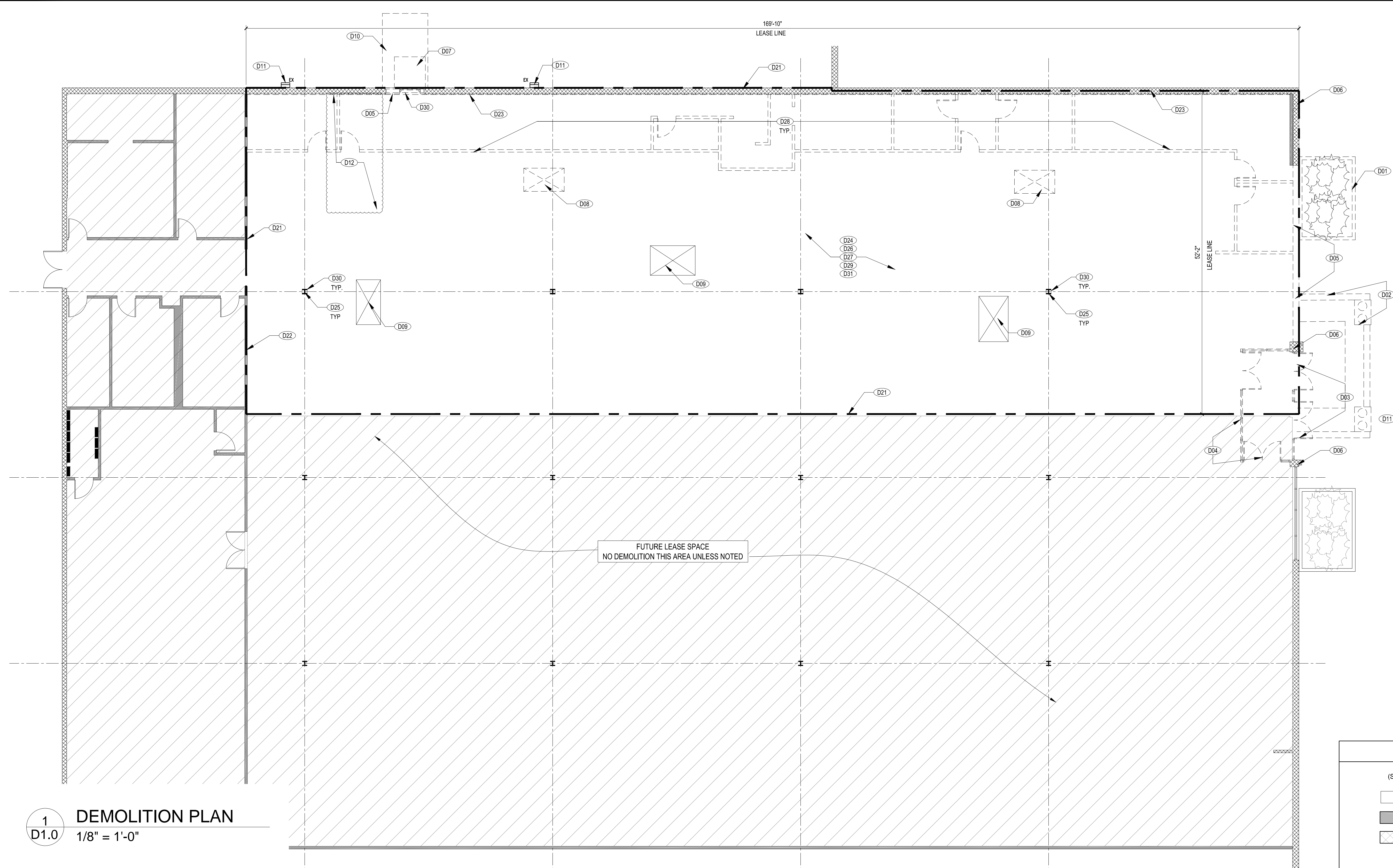


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1
D1.0 DEMOLITION PLAN
1/8" = 1'-0"

LEGEND

(SEE SECTIONS FOR ADDITIONAL DETAIL)

- DEMO WALL OR OTHER ITEM
- EXISTING STUD WALL
- EXISTING MASONRY WALL

- KEYED DEMOLITION NOTES**
- D01 REMOVE EXISTING LANDSCAPE FEATURES & ALL ASSOCIATED IN THE AREA SHOWN DASH. REPAIR ALL DISTURBED SURFACES TO MATCH ADJACENT FINISHES & GRADING.
 - D02 REMOVE CANOPY COLUMNS, COLUMN BASES, OVERHEAD STRUCTURE AND ANY PART OF THE FOUNDATION PROTRUDING ABOVE THE SIDEWALK LEVEL. (A)
 - D03 REMOVE EXISTING STOREFRONT, SIGNAGE, STOREFRONT SYSTEM, GLAZING FRAMES & DOORS AS SHOWN. PATCH & REPAIR SURROUNDING AREA AS REQUIRED & PREP FOR NEW DESIGN. COORDINATE WITH FINISH PLAN.
 - D04 EXISTING VESTIBULE TO BE REMOVED IN ITS ENTIRETY. PATCH & REPAIR SURROUNDING AREAS AS REQUIRED. PREP AREA FOR NEW WORK.
 - D05 REMOVE PORTION OF CMU WALL TO ACCOMMODATE NEW OPENING. PATCH & REPAIR SURROUNDING AREAS AS REQUIRED & PREP AREA PER NEW DESIGN. SEE STRUCTURAL DRAWINGS.
 - D06 EXISTING WALL TO REMAIN.
 - D07 EXISTING CONCRETE PAD TO BE REMOVED & TO PREP AREA FOR NEW WORK.
 - D08 (E) RTU TO BE REMOVED IN ITS ENTIRETY. COORDINATE WITH ROOFING VENDOR FOR ANY MODIFICATIONS OR REPAIRS TO THE ROOF. OPENINGS TO BE IN-FILLED & SEALED WATERTIGHT.
 - D09 (E) RTU TO BE REMOVED IN THEIR ENTIRETY. (E) ROOF OPENINGS TO REMAIN FOR NEW RTU. COORDINATE WITH ROOFING VENDOR FOR ANY MODIFICATIONS OR REPAIRS TO ROOF.
 - D10 PREP SURFACE FOR INSTALLATION FOR NEW RAMP PER FLOOR PLAN.
 - D11 EXISTING EXTERIOR LIGHTING TO REMAIN. CLEAN & RE-LAMP TO "LIKE NEW" WORKING CONDITIONS.
 - D12 DEMO CONCRETE FLOOR AS NECESSARY FOR NEW RESTROOM PLUMBING. SEE GENERAL NOTES.
 - D21 LEASE LINE. FIELD VERIFY WITH LANDLORD REPRESENTATIVE PRIOR TO CONSTRUCTION START.
 - D22 EXISTING DEMISING WALL TO REMAIN. REMOVE EXISTING FINISHES TO FACE OF EXISTING DEMISING WALL GYP. BD.
 - D23 REMOVE EXISTING FURRED OUT WALL - SHOWN DASHED
 - D24 REMOVE ALL EXISTING HVAC GRILLES, DIFFUSERS, & DUCTWORK THROUGH OUT. COORDINATE WITH MECHANICAL DRAWING
 - D25 EXISTING COLUMN TO REMAIN. MAINTAIN REQUIRED RATINGS. CLEAN EXISTING COLUMN OF ALL DEBRIS & PREP COLUMN FOR NEW FINISH, TYP. THROUGHOUT U.O.
 - D26 REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT LEASE SPACE TO CONCRETE SLAB. CLEAN, PATCH & REPAIR TO "LIKE NEW" CONDITIONS AS REQUIRED FOR INSTALLATION FOR NEW FINISHES. COORDINATE FLOOR CONDITIONS WITH FLOORING VENDOR.
 - D27 REMOVE EXISTING GYP. BD. & ACT CEILINGS, SOFFIT, FRAMING, LIGHTING FIXTURES & ANY UNUSED WIRES/CONDUITS THROUGHOUT. PREP FOR NEW FINISHES & COORDINATE WITH RCP.
 - D28 REMOVE ALL EXISTING INTERIOR PARTITION WALLS, DOORS, FIXTURES, ETC. - SHOWN DASHED.
 - D29 EXISTING DOORS & FRAME TO BE REMOVED. PATCH, REPAIR, & PREP AREA FOR NEW WORK.
 - D30 EXISTING COLUMNS BUILD-OUTS TO BE REMOVED IN THEIR ENTIRETY, BY L.L. L.L. TO MAINTAIN REQUIRED RATINGS.
 - D31 RAISE EXISTING SPRINKLER LINES / MAINS TO ABOVE 12'-8" A.F.F.

- GENERAL DEMOLITION NOTES**
1. CONTRACTOR SHALL CONSULT ALL UTILITY COMPANIES AND OWNER AND VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. REMOVAL AND RELOCATION OF ALL UTILITY LINES, METERS VALVES ETC. SHALL BE PERFORMED PER THE REQUIREMENTS OF THE UTILITY COMPANIES. ANY DAMAGE TO PUBLIC UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
 2. ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED. ANY DAMAGE BY THE CONTRACTOR TO ADJOINING PROPERTIES OR ITEMS NOT IN THE DESIGNATED DEMOLITION AREA SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
 3. DEMOLISH AND REMOVE ALL WALLS, CEILING, EQUIPMENT, AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF THE WORK AS INDICATED AND AS PER KEYED DEMOLITION NOTES.
 4. CAP OFF UTILITIES WHERE DISCONNECTED FROM FIXTURES/EQUIPMENT.
 5. REMOVE ALL WASTE MATERIALS AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF IT.
 6. PROTECT ADJACENT STRUCTURES, UTILITIES, AND OTHER FACILITIES TO REMAIN. FROM DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.
 7. BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK.
 8. SECURE AND PAY FOR ALL DEMOLITION PERMITS REQUIRED.
 9. ANY ASBESTOS REMOVAL SHALL NOT BE A PART OF THIS CONTRACT. IF THE CONTRACTOR NOTES ANY ASBESTOS DURING HIS EXECUTION OF THE DEMOLITION IMMEDIATELY NOTIFY THE OWNER.
 10. ANY DISTURBANCES OR DAMAGE TO THE WORK, THE EXISTING BUILDING AND IMPROVEMENTS, OR ANY IMPAIRMENT OF FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTORS OPERATIONS SHALL BE PROMPTLY RESTORED REPLACED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
 11. IN ALL AREAS WHERE DEMOLITION CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH WITH A SUITABLE MATERIAL RE-LEVELING THE SLAB TO RECEIVE THE NEW FINISHED FLOORING.
 12. PROTECT INTERIOR OF BUILDING FROM WEATHER AND VANDALS (HUMAN OR NON-HUMAN) WHERE DEMOLITION RESULTS IN EXPOSURE OF THE BUILDING INTERIOR TO THE ELEMENTS.
 13. CARE SHOULD BE TAKEN TO NOT CUT THROUGH ANY STRUCTURAL COMPONENTS IN THE SLAB.
 14. REMOVE ALL WALLS (CMU & GYP. BD.) DOORS & FRAMES, ENCLOSURES AND ALL OTHERS ITEMS INDICATED TO BE REMOVED ON THIS PLAN. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
 15. REMOVE ALL SHELVING AND STORAGE FIXTURES LEFT FROM PREVIOUS TENANT.
 16. REMOVE ALL EXIST FINISHES, CHAIR RAILS, GRAPHICS, ETC. AND PREP FOR NEW FINISHES.
 17. PATCH AND/ OR REPAIR FLOOR, CEILING, AND/OR WALL SURFACES WHERE EXIST. TO REMAIN. REMOVALS ARE MADE AND PREPARE TO RECEIVE NEW FINISHES.
 18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAY ALL FEES AS PART OF THE SCOPE OF WORK FOR THIS PROJECT.
 19. CONTRACTOR MUST PLAN, SCHEDULE, AND COORDINATE ALL REMOVALS (AND NEW WORK) TO AVOID INTERRUPTION OF SERVICES, ELEC., HVAC, PLUMBING, AND FIRE PROTECTION.
 20. INSTALL TEMPORARY STOREFRONT BARRICADE IF REQ'D. (PER LANDLORDS REQUIREMENTS) PATCH AND REPAIR FASCIA AS REQ'D. TO MATCH ADJ. FINISH.
 21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE SCOPE OF WORK FOR THIS PROJECT. G.C. SHALL REPORT ANY PROBLEMS AND/OR DISCREPANCIES TO ARCHITECT AND TENANT PRIOR TO START OF WORK.
 22. REFER TO ELEC., MECH., AND PLUMBING DRAWINGS FOR ADDITIONAL NOTES ON ELEC. & MECH. REMOVALS, MODIFICATIONS, AND PHASING.
 23. IF DOOR NOT INFILLED REMOVE ALL HARDWARE, TACK WELD SHUT AND SEALED WEATHER TIGHT.

Issued

Date	To	Remarks
10-13-25		PERMITS

Revisions

Rev.	Date	Description
A	10-23-25	SIGN BAND
A	10-11-25	UPDATED LANDLORD LETTER

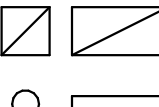

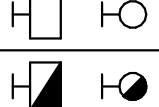
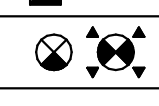
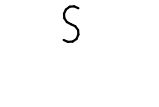

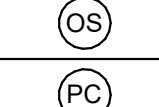

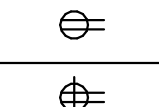
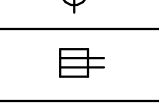
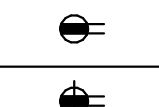
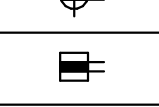
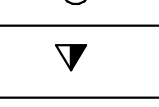
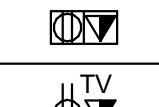
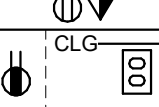
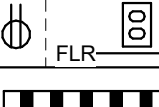
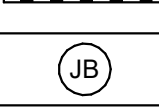
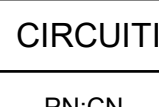
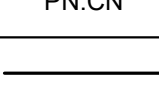
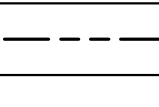
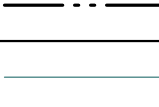
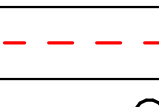
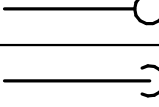
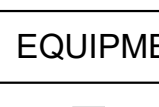
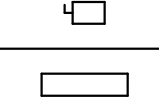

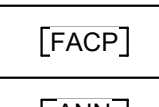
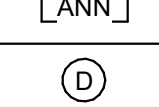
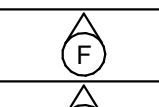
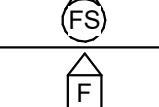

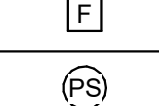
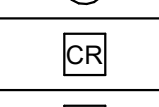
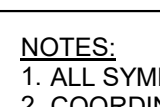
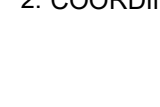
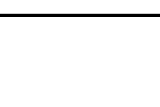
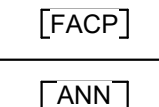
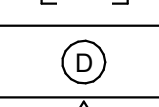
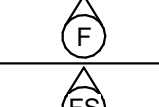
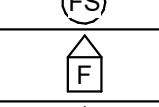
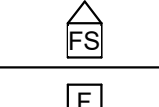
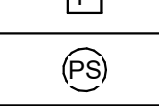
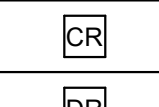
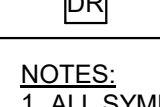
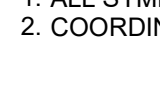
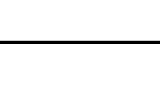

10/13/25 Date
25-1885 Project No.

D1.0

ELECTRICAL GENERAL NOTES

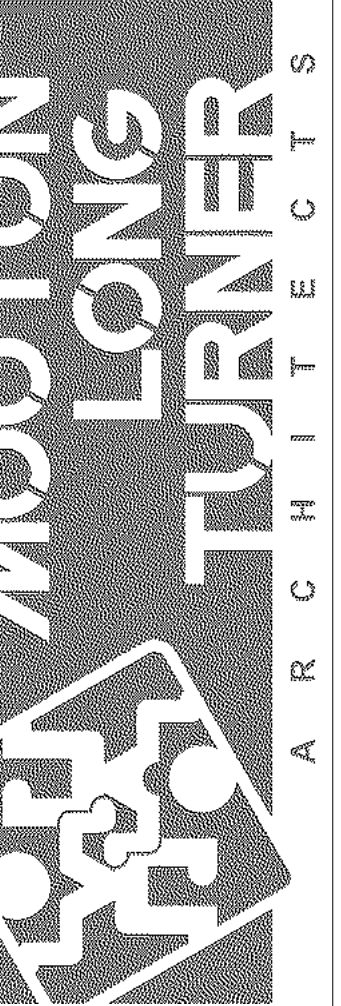
1. BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES INCLUDING NEC 2020 AND 2021 IEC. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS, SPECIFICATIONS, AND GOVERNING CODES, THEN THE MOST STRINGENT REQUIREMENT APPLIES.
2. DRAWINGS ARE SCHEMATIC IN NATURE AND MAY NOT BE DRAWN EXACTLY TO SCALE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRICAL WORK TO PROVIDE PROPER CLEARANCES FOR INSTALLATION OF PLUMBING AND MECHANICAL SYSTEMS.
3. THE CONTRACTOR SHALL CONTACT THE ARCHITECT OR ENGINEER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN THEIR BID ALL COSTS TO MEET THE DESIGN INTENT.
4. ALL ELECTRICAL WIRING AND CABLES TO BE INSTALLED IN A NEAT MANNER PARALLEL/PERPENDICULAR WITH BUILDING LINES. UTILIZING RACEWAYS ON A TRAPEZE SYSTEM. ALL COUPLINGS SHALL LINE UP HORIZONTALLY.
5. ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERATING SYSTEM.
6. CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND DISCIPLINES, INCLUDING CASEWORK CONTRACTOR, PRIOR TO FINAL PLACEMENT OF ANY ELECTRICAL DEVICES.
7. COORDINATE LIGHT FIXTURES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN FOR ALL FIXTURE TRIMS AND MOUNTING HARDWARE BASED ON CEILING TYPES, SUSPENDED FIXTURES MOUNTING HEIGHT, AND ALL FIXTURE FINISHES PRIOR TO PURCHASE.
8. INSTALLATION OF LIGHTING FIXTURES SHALL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CODES REQUIREMENTS.
9. COORDINATE WITH THE ARCHITECT FOR ALL FINAL ELECTRICAL DEVICES MOUNTING HEIGHTS AND LOCATIONS, INCLUDING ALL FURNITURE AND EQUIPMENT CONNECTIONS, PRIOR TO ROUGH-IN.
10. VERIFY ELECTRICAL REQUIREMENTS AND EXACT LOCATIONS OF ALL HVAC AND PLUMBING EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS WITH THE MECHANICAL CONTRACTOR PRIOR TO PURCHASING RELATED ELECTRICAL EQUIPMENT.
11. CONTRACTOR TO PROVIDE ALL REQUIRED RACEWAYS AND BACK BOXES FOR THE SPECIAL SYSTEMS, INCLUDING FIRE ALARM, SECURITY, ACCESS CONTROL, DATA/TELECOM, INTERCOM, ETC. COORDINATE WITH ALL SYSTEM VENDORS AND OTHER TRADES PRIOR TO ROUGH-IN.
12. ALL FIRE ALARM DEVICE AND EQUIPMENT LOCATIONS SHOWN ARE FOR CONVENIENCE ONLY. ADDITIONAL CODE REQUIRED DEVICES SHALL BE INCLUDED IN THE PROJECT BID AS DETERMINED BY THE CERTIFIED FIRE ALARM SUPERINTENDENT.
13. COORDINATE WITH THE MECHANICAL AND PLUMBING CONTRACTORS FOR INTERCONNECTION OF ALL FIRE PROTECTION DEVICES WITH THE FIRE ALARM SYSTEM.

SYMBOL SCHEDULE - ELECTRICAL

SYMBOL	DESCRIPTION
LIGHTING AND SWITCHING	
QTY:# F1' PN:CN a	-DESIGNATES QUANTITY OF MATCHING FIXTURE TYPES LOCATED WITHIN A SPACE -DESIGNATES FIXTURE TYPE. SEE LIGHTING FIXTURE SCHEDULE -DESIGNATES PANEL NAME/CIRCUIT NUMBER -DESIGNATES SWITCH ID
	2'x2', 2'x4', ROUND, LINEAR LIGHT FIXTURE LED, NORMAL BRANCH, CEILING - SURFACE, RECESSED, OR SUSPENDED SEE FIXTURE TYPE AND SCHEDULE FOR MOUNTING; COORDINATE WITH CEILING TYPE
	2'x2', 2'x4', ROUND, LINEAR LIGHT FIXTURE LED, EMERGENCY BRANCH/BATTERY BACK-UP, CEILING - SURFACE, RECESSED, OR SUSPENDED SEE FIXTURE TYPE AND SCHEDULE FOR MOUNTING; COORDINATE WITH CEILING TYPE
	LED, NORMAL BRANCH, SCONCE; SEE FIXTURE TYPE AND SCHEDULE FOR MOUNTING HEIGHTS
	LED, EMERGENCY BRANCH/BATTERY BACK-UP, SCONCE; SEE FIXTURE TYPE AND SCHEDULE FOR MOUNTING HEIGHTS
	LED EXIT FIXTURE; CHEVRONS AS INDICATED
	SINGLE POLE SWITCH; 20A 120/277V AT 46" AFF (ARCHITECT TO SELECT SWITCH TYPE/FINISH)
	3 - THREE WAY SWITCH
	D - DIMMER SWITCH
	OS - OCCUPANCY SENSOR SWITCH
	M - MOTOR RATED SWITCH WITH THERMAL OVERLOAD
	CEILING MOUNTED OCCUPANCY SENSOR
	SURFACE MOUNTED PHOTOCCELL
RECEPTACLES, DATA, AND OUTLETS	
	DUPLEX RECEPTACLE; 20A, 125V NEMA 5-20R AT 18" AFF
	QUADRUPLEX RECEPTACLE; (2) 20A, 125V NEMA 5-20R IN 2-GANG BOX AT 18" AFF
	NON-FEED THROUGH GFCI DUPLEX RECEPTACLE; 20A, 125V NEMA 5-20R AT 18" AFF
	DUPLEX RECEPTACLE; 20A, 125V NEMA 5-20R; MOUNTING HEIGHT AS NOTED
	QUADRUPLEX RECEPTACLE; (2) 20A, 125V NEMA 5-20R IN 2-GANG BOX; MOUNTING HEIGHT AS NOTED
	NON-FEED THROUGH GFCI DUPLEX RECEPTACLE; 20A, 125V NEMA 5-20R; MOUNTING HEIGHT AS NOTED
	SPECIAL RECEPTACLE; NEMA RATING AS NOTED ON DRAWINGS (MOUNTED 18" AFF, UNO)
	STANDARD TWO PORT OR FOUR PORT DATA OUTLET WITH CAT 6 CABLE DROPS STUBBED UP WITH 1" EMT (TYPICAL 2 DATA DROPS UNLESS DENOTED #); MOUNTED AT 18", UNO
	4 GANG FLOOR BOX; PROVIDE DEVICES AS NOTED ON DRAWINGS (ARCHITECT TO SELECT FINISH)
	DOUBLE GANG RECESSED BOX WITH DUPLEX RECEPTACLE, SINGLE DATA PORT, HDMI PORT, AND A COAXIAL PORT. (COORDINATE WITH OWNER/ARCHITECT)
	VERTICALLY STACKED RECEPTACLES; (TYP ALL ELETRICAL DEVICES) -SECOND POSITION; HEIGHT AS NOTED
	-FIRST POSITION; 18" AFF, UNO
	WIREMOLD - LENGTH AS INDICATED (MOUNTED 18" AFF, UNO)
	JUNCTION BOX; SIZED AS REQUIRED (INSTALL IN ACCESSIBLE LOCATION)
CIRCUITING	
PN:CN	DESIGNATES PANEL NAME:CIRCUIT NUMBER
	WIRING IN CONDUIT CONCEALED IN CEILING OR WALL
	WIRING IN CONDUIT EXPOSED
	WIRING IN CONDUIT BELOW FLOOR/GRADE
	WIRING IN CONDUIT EXISTING TO REMAIN
	WIRING IN CONDUIT TO BE REMOVED
	CONDUIT TURNED UP
	CONDUIT TURNED DOWN
EQUIPMENT	
	DISCONNECT SWITCH, SIZE (VIA/POLES) NEMA RATING AND FUSED AS NOTED TOP OF ENCLOSURE TO BE MOUNTED NO HIGHER THEN 78" AFF
	PANELBOARD; SEE PANEL SCHEDULES FOR V/A/Ø/KA/IC, NEMA RATING, MOUNTING, AND MAIN BREAKER TOP OF ENCLOSURE TO BE MOUNTED NO HIGHER THEN 78" AFF
	TRANSFORMER; SEE RISER DIAGRAM FOR V/KVA, NEMA RATING, AND MOUNTING
FIRE ALARM AND SPECIAL SYSTEMS	
	[FACP] FIRE ALARM CONTROL PANEL; TOP OF ENCLOSURE TO BE MOUNTED NO HIGHER THEN 78" AFF
	[ANN] FIRE ALARM ANNUNCIATOR PANEL; TOP OF ENCLOSURE TO BE MOUNTED NO HIGHER THEN 78" AFF
	(D) FIRE ALARM SMOKE DETECTOR; CEILING MOUNTED
	(F) FIRE ALARM STROBE (15CD, UNO); CEILING MOUNTED
	(FS) FIRE ALARM STROBE/SPEAKER COMBINATION (15CD, UNO); CEILING MOUNTED
	(F) FIRE ALARM STROBE (15CD, UNO); WALL MOUNTED AT 96" AFF
	(FS) FIRE ALARM STROBE/SPEAKER COMBINATION (15CD, UNO); WALL MOUNTED AT 96" AFF
	(F) FIRE ALARM MANUAL PULL STATION; WALL MOUNTED 46" AFF
	(PS) PAGIN SPEAKER; RECESSED UNO
	(CR) CARD READER; MOUNTED AT 46" AFF
	(DR) DOOR RELEASE; MOUNTED AT 46" AFF

- NOTES:**
 1. ALL SYMBOLS & MODIFIERS SHOWN MAY NOT APPEAR ON DRAWINGS
 2. COORDINATE ALL MOUNTING HEIGHTS AND FINAL LOCATIONS WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.

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SLIDELL, LA 70460

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DATE	ISSUED TO	DESCRIPTION
10/10/25	RL	PERMIT

REVISIONS

REV. NO.	DATE	DESCRIPTION

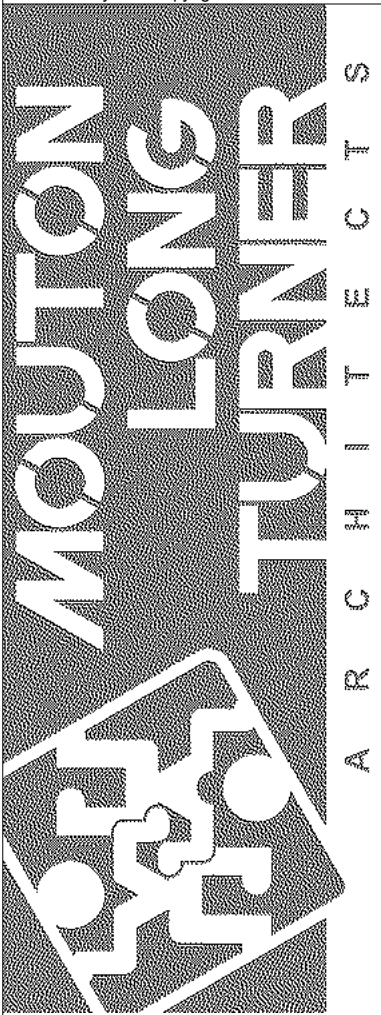
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Date Project No.
Drawing No.

E0.0

ELECTRICAL LEGEND & NOTES





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10/10/2025
Date
25-1874
Project No.
Drawing No.

E0.1

ELECTRICAL SPECIFICATIONS

ELECTRICAL SPECIFICATIONS

1. COMPLY WITH LOCAL AND STATE CODES, AND NATIONAL ELECTRICAL CODE.
2. COMPLETELY GROUND THE ENTIRE ELECTRICAL SYSTEM AS PER THE NATIONAL ELECTRICAL CODE.
3. APPLY FOR ALL PERMIT AND PAY ALL FEES. PROVIDE FINAL INSPECTION CERTIFICATE.

QUALITY ASSURANCE STANDARDS

1. ELECTRICAL INSTALLATION SHALL CONFORM TO NFPA 70, NFPA 70E AND NECA GUIDELINES.
2. ELECTRICAL WORK SHALL BE INSTALLED IN A NEAT AND ORGANIZED MANNER WITH RACEWAYS RUNNING PARALLEL AND/OR PERPENDICULAR WITH PRIMARY LINES OF THE BUILDING CONSTRUCTION.
3. ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE UL LISTED AND TESTED IN ACCORDANCE WITH NEMA/ANSI/ASTM STANDARDS, WHERE APPLICABLE.

COORDINATION

1. ELECTRICAL CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ALL ELECTRICAL EQUIPMENT ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL OTHER DISCIPLINES IN ITS INTERFACE WITH THE INSTALLATION OF ALL ELECTRICAL MATERIALS AND EQUIPMENT.
2. VERIFY FINAL LOCATIONS WITH THE MANUFACTURER'S EQUIPMENT SPECIFICATIONS FOR ROUGH-IN REQUIREMENTS ALONG WITH FIELD MEASUREMENTS. COORDINATE INSTALLATION OF LARGE EQUIPMENT REQUIRING POSITIONING PRIOR TO CLOSE-IN OF THE BUILDING.
3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS PRIOR TO ROUGH-INS. CONTRACTOR SHALL ENSURE PROPER COORDINATION BETWEEN THE ASSOCIATED DEVICES AND EQUIPMENT PRIOR TO PURCHASE.
4. ALL DIMENSIONS TO BE FIELD VERIFIED.
5. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO MAKE REASONABLE CHANGES BEFORE ROUGH-IN WITHOUT ACCRUING ADDITIONAL COST.
6. ALL HANGERS AND SUPPORT SYSTEMS SHALL BE COORDINATED WITH THE OTHER STRUCTURAL COMPONENTS AND STRUCTURAL ENGINEER. CONTRACTOR SHALL FURNISH ALL FITTINGS, COMPONENTS, AND ACCESSORIES NECESSARY TO MEET THE STRUCTURAL CONDITIONS.
7. ALL CUTTING AND PATCHING OF THE BUILDING COMPONENTS SHALL BE COORDINATED WITH THE ARCHITECT AND OTHER DISCIPLINES.
8. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITH CONSIDERATION TO MAINTENANCE AND REPLACEMENT.

MISCELLANEOUS

1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO REVIEW THE SCOPE OF WORK AND OBSERVE THE EXISTING CONDITIONS. CONTRACTOR SHALL BE FAMILIAR WITH THE SCOPE OF WORK PRIOR TO VISITING THE SITE. ADDITIONAL COMPENSATION WILL NOT BE CONSIDERED FOR ADDITIONAL WORK REQUIRED BY THE CONTRACTOR FOR FAILURE TO OBSERVE ALL EXISTING CONDITIONS.
2. PRIOR TO ADDING NEW FEEDERS OR BRANCH CIRCUITS, CONTRACTOR SHALL TAKE LOAD MEASUREMENTS. PRIOR TO ADDING NEW DEVICES TO EXISTING CIRCUITS, CONTRACTOR SHALL MEASURE EXISTING CIRCUIT LOADS TO CONFIRM TOTAL AMPERAGE WILL NOT EXCEED 80% OF THE BREAKER RATING.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO ANY SERVICE DISRUPTIONS OR SHUTTING OFF ANY EQUIPMENT THAT WILL IMPACT AREAS NOT UNDER CONSTRUCTION. CONTRACTOR SHALL BE PREPARED TO WORK IN AN 'AFTER NORMAL HOURS' CAPACITY TO ACCOMMODATE ANY SHUT DOWNS REQUIRED.
4. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AFTER THE COMPLETION OF CONSTRUCTION TO RECORD ANY CHANGES MADE TO THE DOCUMENTS.
5. PROVIDE ANY NECESSARY TEMPORARY POWER DURING CONSTRUCTION. FURNISH AND INSTALL ALL NECESSARY EQUIPMENT, LIGHTING, OR WIRING AS NEEDED.
6. PROVIDE SUBMITTALS ON THE FOLLOWING EQUIPMENT FOR REVIEW PRIOR TO PURCHASE:
 - A. WIRING DEVICES
 - B. PANELS AND CIRCUIT BREAKERS
 - C. SAFETY SWITCHES
 - D. LIGHT FIXTURES
7. MARK RECORD DRAWINGS TO INDICATE REVISIONS OR ADJUSTMENTS TO ALL DEVICES, EQUIPMENT, SYSTEMS, CIRCUITRY, ETC, INCLUDING SUBSTITUTIONS, THAT WAIVER FROM THESE DOCUMENTS.
8. PROVIDE THE OWNER WITH THE OPERATION AND MAINTENANCE DATA FOR EQUIPMENT SUPPLIED.
9. ALL EQUIPMENT/SYSTEMS SHALL HAVE A MINIMUM ONE YEAR WARRANTY FOLLOWING THE DATE OF ACCEPTANCE.

APPROVED MANUFACTURERS

1. WIRING DEVICES:
 - A. LEVITON
 - B. HUBBELL
 - C. COOPER
 - D. LUTRON
2. PANELBOARDS, CIRCUIT BREAKERS, AND SAFETY SWITCHES:
 - A. EATON
 - B. SQUARE D
 - C. SIEMENS
3. LIGHTING:
 - A. AS SCHEDULED

CONDUCTORS AND CABLES

1. ALL CONDUCTORS SHALL BE COPPER THHN/THWN-2. CONDUCTORS SIZED #10 AND SMALLER SHALL BE SOLID AND #6 OR LARGER SHALL BE STRANDED.
2. TYPE MC CABLE IS ALLOWED BUT ALL HOMERUNS TO THE PANEL SHALL BE CONDUCTORS ROUTED IN EMT. UTILIZE ANTI-SHORT BUSHINGS WITH ALL MC CABLE TERMINATIONS. ALL MC CABLE TO BE MOUNTED AS TIGHT TO STRUCTURE AS POSSIBLE. MC CABLE NOT ALLOWED TO BE EXPOSED OR INSTALLED IN AREAS WHERE SUSCEPTIBLE TO DAMAGE.
3. MINIMUM ALLOWABLE CONDUCTOR SIZE IS #12. ALL UNGROUNDED, GROUNDED, AND GROUNDING CONDUCTORS TO BE SIZED PER NEC. RACEWAY SYSTEMS SHALL NOT BE UTILIZED AS THE PRIMARY GROUNDING FOR ANY CIRCUITS.

HANGERS AND SUPPORTS

1. PROVIDE UL LISTED SUPPORTS UTILIZING GALVANIZED CHANNEL, FITTINGS, AND TREADED ROD PENDANTS WITH CONDUIT CLAMPS IN LOCATIONS REQUIRED BY NEC.
2. INSTALL TRAPEZIDE-TYPE SUPPORTS FOR MULTIPLE RACEWAYS WITH 25% FUTURE CAPACITY.
3. ALL CONDUITS SHALL BE MOUNTED AS CLOSE TO BEAMS AND/OR SLAB ABOVE AS POSSIBLE.
3. PROHIBITED INSTALLATION:
 - A. DO NOT SUPPORT CONDUIT WITH WIRE OR PERFORATED PIPE STRAPS.
 - B. DO NOT SUPPORT CONDUIT FROM CONDUIT, CEILING SUPPORT WIRES, OR ROOF DECK.
 - C. DO NOT USE PLASTIC ANCHORS OR LEAD ANCHORS
 - D. DO NOT USE TOGGLE BOLTS "WINGS."

RACEWAYS AND BOXES

1. ELECTRICAL METALLIC TUBING (EMT) - ZINC COATED STEEL FOR INTERIOR INSTALLATION AND TO MEET ANSI C80.3. FITTINGS FOR EMT SHALL BE SET SCREW.
2. RIGID METAL CONDUIT (RMC) - GALVANIZED STEEL FOR INTERIOR INSTALLATION BELOW 18" ABOVE FINISHED FLOOR AND ALUMINUM FOR EXTERIOR INSTALLATION. RMC TO MEET ANSI C80.1. FITTINGS FOR RMC TO BE THREADED.
3. FLEXIBLE METAL CONDUIT (FMC) - ZINC COATED STEEL FOR INTERIOR INSTALLATION AND LIQUID TIGHT PVC JACKET FOR EXTERIOR INSTALLATION. SHALL ONLY BE USED FOR:
 - A. ROOFTOP EQUIPMENT
 - B. ROTATING EQUIPMENT
 - C. TRANSFORMERS
 - D. FOOD PROCESSING/KITCHEN EQUIPMENT
 - E. WHERE REQUIRED FOR OUTDOOR EQUIPMENT
4. POLYVINYL CHLORIDE (PVC) CONDUIT - SCHEDULE 40 FOR EXTERIOR AND BELOW GRADE INSTALLATION. FITTINGS FOR PVC CONDUIT TO BE SOLVENT WELDED. CONDUIT BELOW BUILDING SLAB SHALL BE MINIMUM 18" BELOW FINISHED FLOOR AND IN SELECT FILL.
5. MINIMUM 1/2" CONDUIT SIZE FOR BRANCH CIRCUITS UNLESS OTHERWISE NOTED.
6. MAINTAIN 14" CLEARANCE BETWEEN CONDUIT AND SURFACES WITH TEMPERATURES EXCEEDING 104 DEGREES F.
7. CUT CONDUITS SQUARE AND DE-BURR ALL CUT AND MANUFACTURED ENDS.
8. DO NOT INSTALL CONDUIT HORIZONTALLY IN BUILDING SLAB.
9. ALL CONDUITS 1" OR LARGER EXPOSED OR CONCEALED IN INTERIOR ACCESSIBLE SPACES SHALL BE LABELED TO DISTINGUISH BETWEEN POWER, COMMUNICATIONS, SIGNALS, ETC.
10. INTERIOR OUTLET BOXES SHALL BE GALVANIZED STEEL AND SIZED TO SUIT THE NECESSARY LOCATIONS AND INSTALLATION. MINIMUM 4" SQUARE (2-GANG) 2-1/8" DEEP BOXES. ALL ACCESSORIES TO BE COMPATIBLE WITH OUTLET BOXES USED AND MEET REQUIREMENTS OF INDIVIDUAL WIRING.
11. EXTERIOR OUTLET BOXES SHALL BE HOT-DIP GALVANIZED CAST-IRON WEATHERPROOF AND SIZED TO SUIT THE NECESSARY LOCATIONS AND INSTALLATION. POLYCARBONATE OR FIBERGLASS BOXES ARE ALLOWED BUT SHALL BE LISTED FOR USE IN DIRECT SUN.
12. ALL JUNCTION BOXES CONTAINING CONDUCTORS TO BE IDENTIFIED WITH BRANCH CIRCUIT NUMBERS AND PANEL NAMES.

WIRING DEVICES

1. WALL SWITCHES TO BE COMMERCIAL GRADE, QUIET TYPE, FLUSH TOGGLE, 20A, 120/277V RATED WITH BACK AND SIDE-WIRED SCREW TERMINALS. DIMMERS SHALL BE SIZED IN ACCORDANCE WITH THE LOAD AND SHALL BE SLIDER TYPE.
2. DUPLEX RECEPTACLES SHALL BE TAMPER RESISTANT COMMERCIAL GRADE, 20A, 125V, BACK AND SIDE-WIRED SCREW TERMINALS AND NEMA CONFIGURATION AS INDICATED. GROUND FAULT CIRCUIT INTERRUPTION (GFCI) RECEPTACLE INSTALLED AS INDICATED AND PER NEC REQUIREMENTS.
3. EXTERIOR RECEPTACLES TO BE GFCI WEATHER RESISTANT RATED WITH A CLEAR IN-USE COVER.
4. DEVICES INSTALLED IN A FINISHED SPACES SHALL BE WHITE WITH A WHITE COVER PLATE. DEVICES INSTALLED IN AN UNFINISHED SPACE SHALL BE IVORY WITH A STAINLESS STEEL PLATE. COORDINATE ALL COLORS WITH THE ARCHITECT PRIOR TO PURCHASE. ALL COVERPLATES TO BE LABELED WITH PANEL NAME AND CIRCUIT NUMBER.
5. ALL DEVICES TO BE TESTED FOR PROPER OPERATION AND CORRECT POLARITY, INCLUDING TESTING GFCI RECEPTACLES.

PANELBOARDS

1. PANELBOARDS SHALL BE MANUFACTURED IN ACCORDANCE WITH NEMA AND UL STANDARDS.
2. PANELBOARD SHALL BE DEAD-FRONT TYPE EQUIPPED WITH CIRCUIT BREAKERS AS SCHEDULED. PHASE, NEUTRAL, AND EQUIPMENT GROUND BUSSING SHALL BE COPPER. NEUTRAL BARS TO BE PROVIDED WHEN NEEDED. GROUND BAR SHALL BE PROVIDED. ALL BUSSING TO BE SECURELY FASTENED TO INSULATED BASES.
3. ALL NEMA 1 ENCLOSURES SHALL BE HINGED "DOOR-IN-DOOR" TYPE WITH INTERIOR HINGED DOOR WITH HAND OPERATED LATCH OR LATCHES AND OUTER DOOR SHALL BE SECURED WITH FACTORY FASTENERS.
3. IDENTIFY ALL PANEL BOARDS WITH STENCILED LABELS DENOTING PANEL NAME, VOLTAGE, # OF PHASES, NUMBER OF POLES, AND AMPERAGE. PROVIDE **TYPED** CIRCUIT DIRECTORIES IN ALL PANELBOARDS.

CIRCUIT BREAKERS

1. CIRCUIT BREAKERS SHALL BE BOLT-ON, MOLDED CASE, THERMAL MAGNETIC TYPE EQUIPPED WITH INDIVIDUALLY INSULATED, BRACED, AND PROTECTED CONNECTORS. AUTOMATIC TRIPPING TO BE INDICATED BY HANDLE POSITIONED BETWEEN ON AND OFF.
2. TRIP SETTING TO BE INDICATED ON BREAKER HANDLE.
3. ON MULTIPLE POLE BREAKERS, AN OVERLOAD ON ANY POLE SHALL TRIP ALL POLES SIMULTANEOUSLY. EXTERNAL HAND TIES WILL NOT BE ACCEPTED.
4. QUICK-MAKE, QUICK-BREAK CONTACT MOVEMENT UNDER MANUAL AND AUTOMATIC OPERATION.

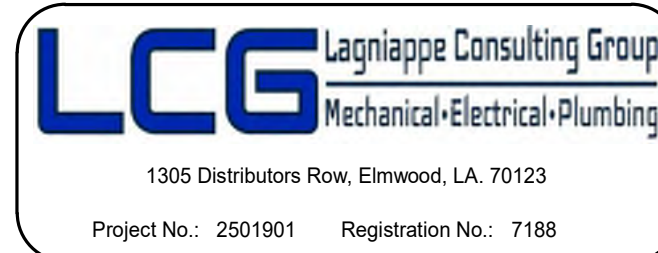
SAFETY SWITCHES

1. ALL SWITCHES SHALL BE QUICK-MAKE, QUICK-BREAK TYPE AND BE HORSEPOWER RATED. SWITCHES TO BE DUAL RATED FOR STANDARD AND TIME-DELAY FUSES.

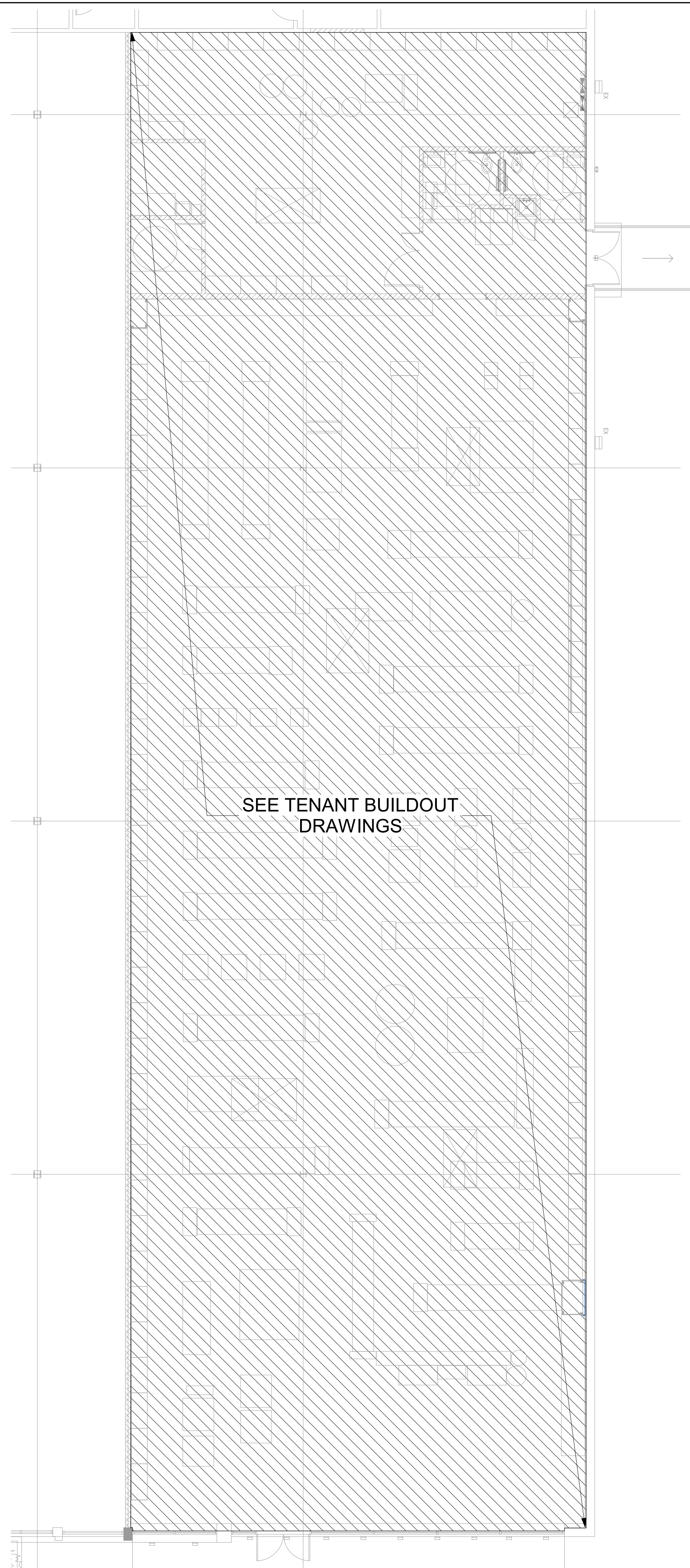
LIGHTING

1. FURNISH ALL FIXTURES AND ACCESSORY EQUIPMENT. FIXTURES SHALL BE LIGHT EMITTING DIODE (LED) TYPE AND CONFORM TO APPLICABLE UL STANDARDS AND BE UL LABELED AND CONFORM TO THE REQUIREMENTS OF NFPA 101 AND NFPA 70 (NEC).
2. VERIFY THE EXACT CEILING CONSTRUCTION TO BE INSTALLED, PER SPACE, AND PROVIDE ALL NECESSARY HOUSINGS, TRIM, ETC. TO PROPERLY INSTALL FIXTURE IN THE CEILING TYPE. COORDINATE WITH THE INSTALLATION OF THE CEILING AND THE ARCHITECTURAL REFLECTED CEILING PLAN PRIOR TO INSTALLATION OF THE FIXTURES.
3. INSTALL RECESSED CEILING MOUNTED LIGHTS FIXTURES WITH TWO (2) SEPARATE SUPPORT WIRES AT DIAGONALLY OPPOSITE CORNERS. PROVIDE T-BAR LOCKING CLIPS ON ALL FOUR SIDES FOR LAY-IN FIXTURES.
4. INSTALL SUSPENDED LUMINARIES USING PENDANTS SUPPORTED FROM SWIVEL HANGERS. COORDINATE WITH THE ARCHITECT FOR PENDANT LENGTH REQUIRED TO SUSPEND FIXTURES AT REQUESTED HEIGHTS.
5. SURFACE MOUNTED FIXTURES TO BE INSTALLED PLUMB AND ALIGNED WITH BUILDING LINES AND WITH OTHER CORRESPONDING FIXTURES. PROPERLY SECURE TO PROHIBIT MOVEMENT. WALL MOUNTED TO BE INSTALLED AT HEIGHTS DIRECTED BY THE ARCHITECT. FIXTURE MUST BE SECURED TO BUILDING STRUCTURE OR SECURELY INSTALLED JUNCTION PER MANUFACTURER'S RECOMMENDATIONS. ANCHORING TO GYPSUM IS PROHIBITED.
6. UPON INSTALLATION OF LIGHT FIXTURES, AND AFTER BUILDING CIRCUITS ARE ENERGIZED, APPLY ELECTRICAL ENERGY TO DEMONSTRATE PROPER OPERATIONS OF LIGHT FIXTURES, EMERGENCY, LIGHTING, AND CONTROLS. WHEN POSSIBLE, CORRECT MALFUNCTIONING UNITS AT THE SITE, THEN RETEST TO DEMONSTRATE PROPER OPERATION. OTHERWISE, REMOVE AND REPLACE WITH NEW UNITS AND PROCEED WITH RETESTING.
7. PROVIDE AN UN-SWITCHED, CONSTANT-HOT CIRCUIT TO ALL BATTERY POWERED EMERGENCY LIGHTING EQUIPMENT AND FIXTURES. THE UN-SWITCHED CIRCUIT AND THE LIGHT FIXTURE'S SWITCHED/CIRCUIT CONTROLLED CIRCUIT MUST BE FEED FROM THE SAME BREAKER.

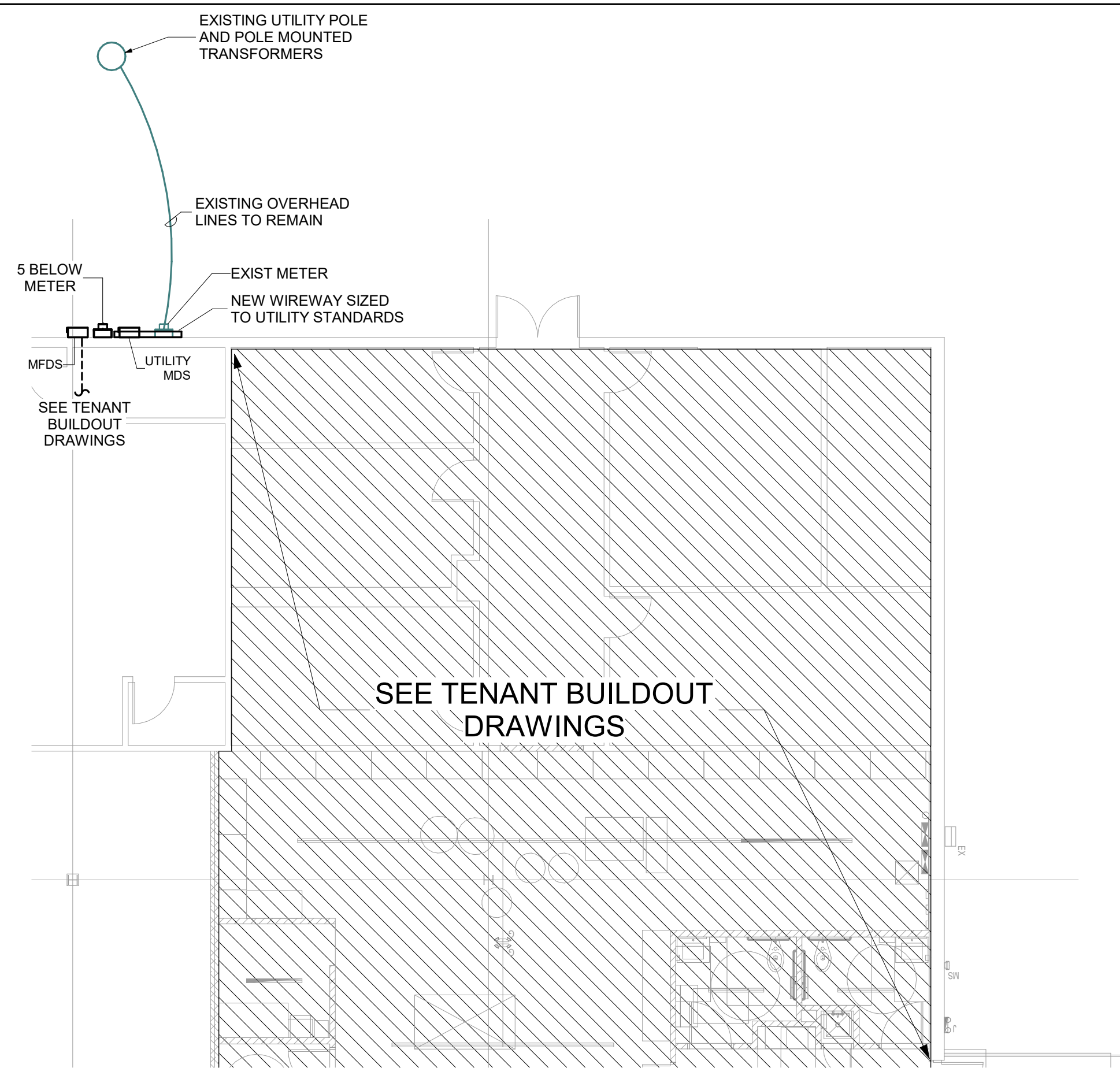
END OF ELETRICAL SPECIFICATIONS



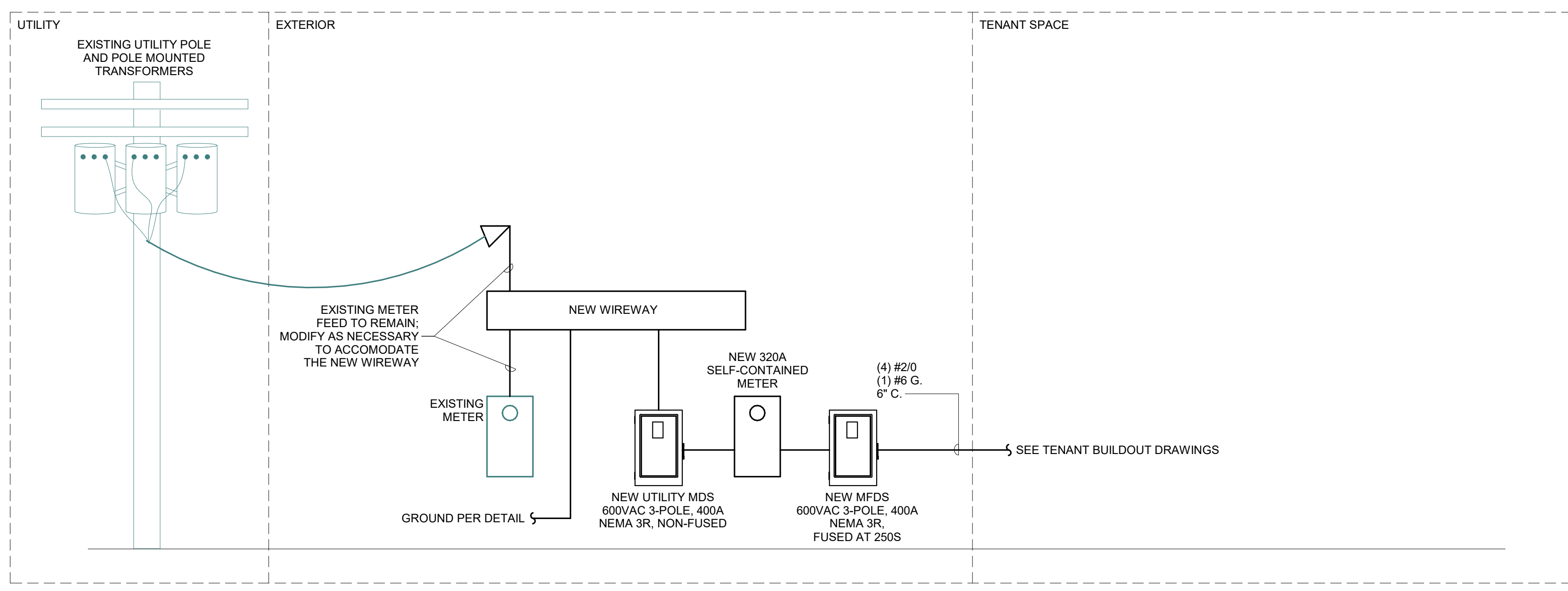
Project No.: 2501901 Registration No.: 7188



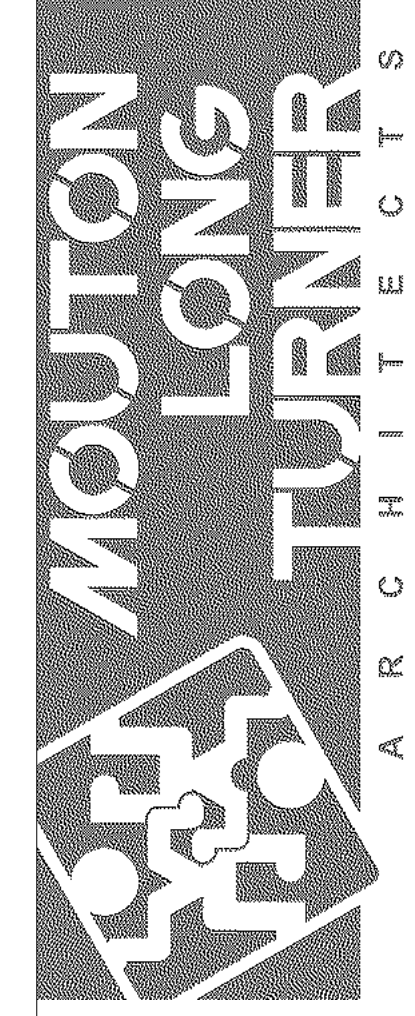
1 ELECTRICAL POWER PLAN
1/8" = 1'-0"



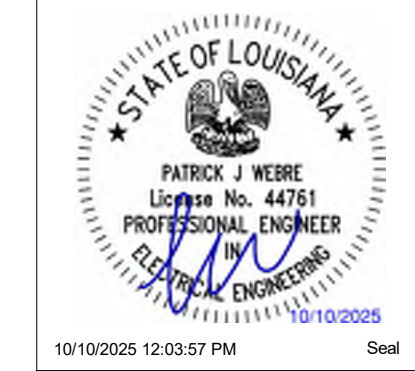
2 ELECTRICAL UTILITY PLAN
1/8" = 1'-0"



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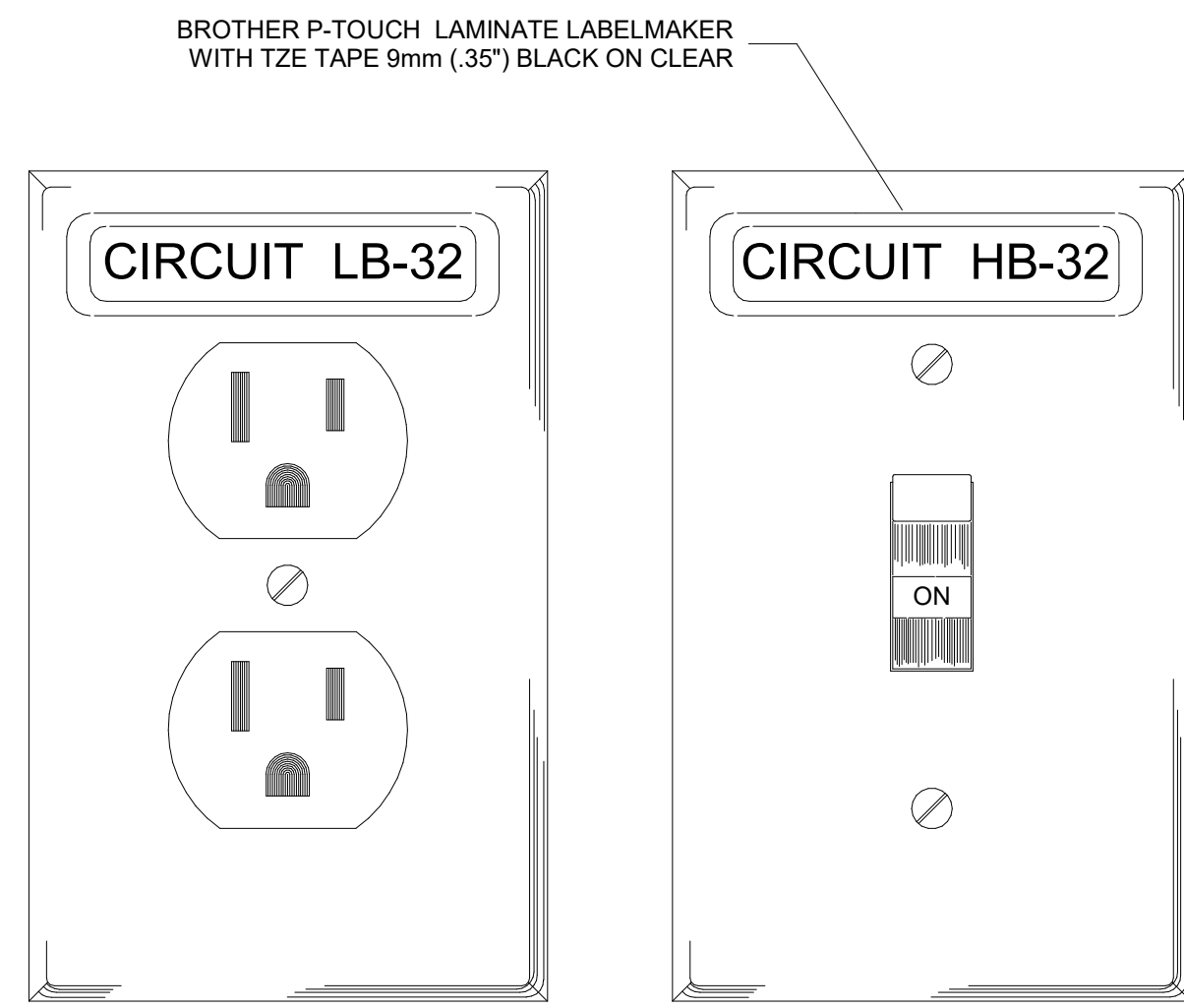
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Project No.: 2501901 Registration No.: 7188

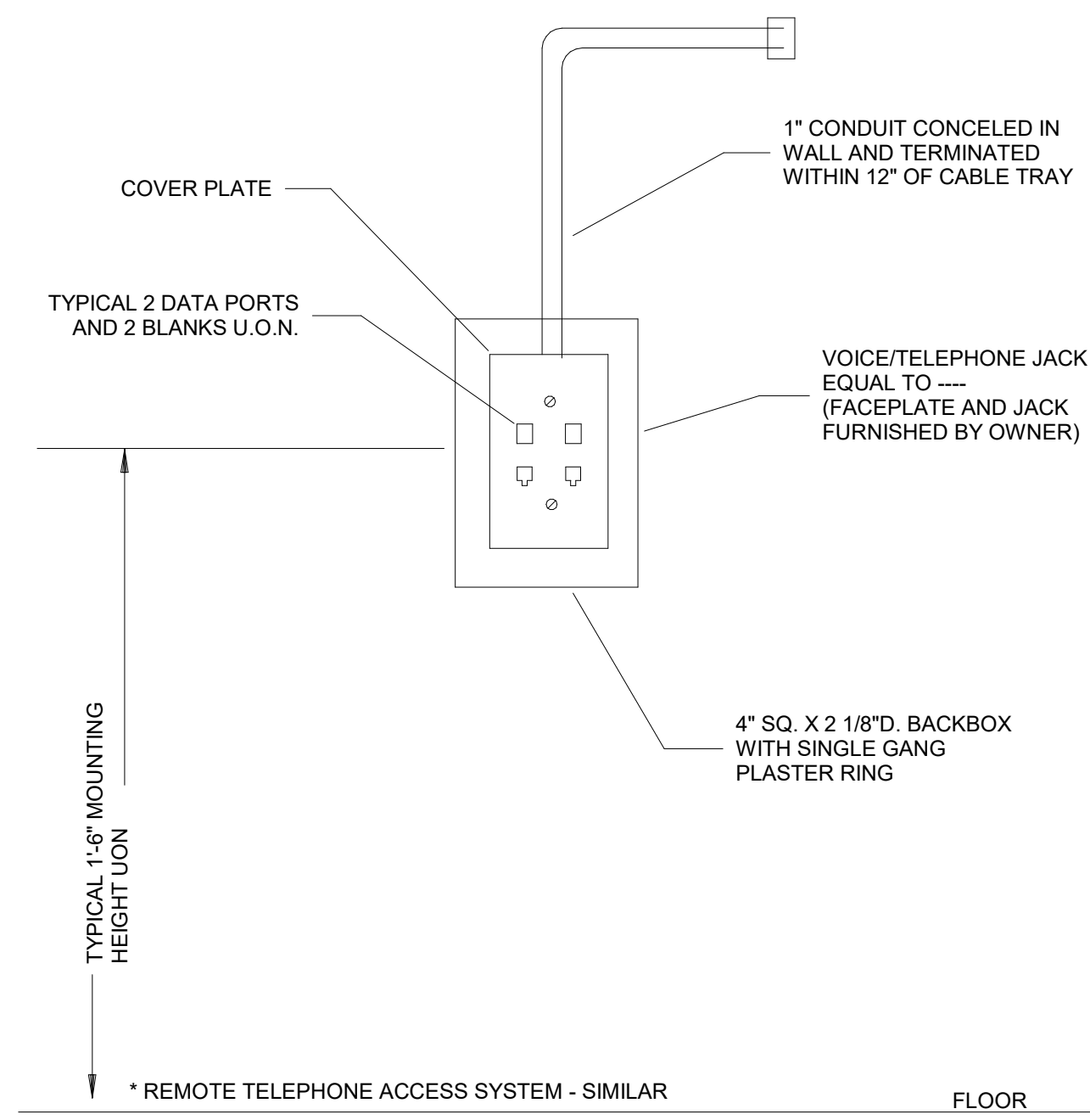
10/10/2025 Date
25-1874 Project No.

E1.0
ELECTRICAL FLOOR PLAN

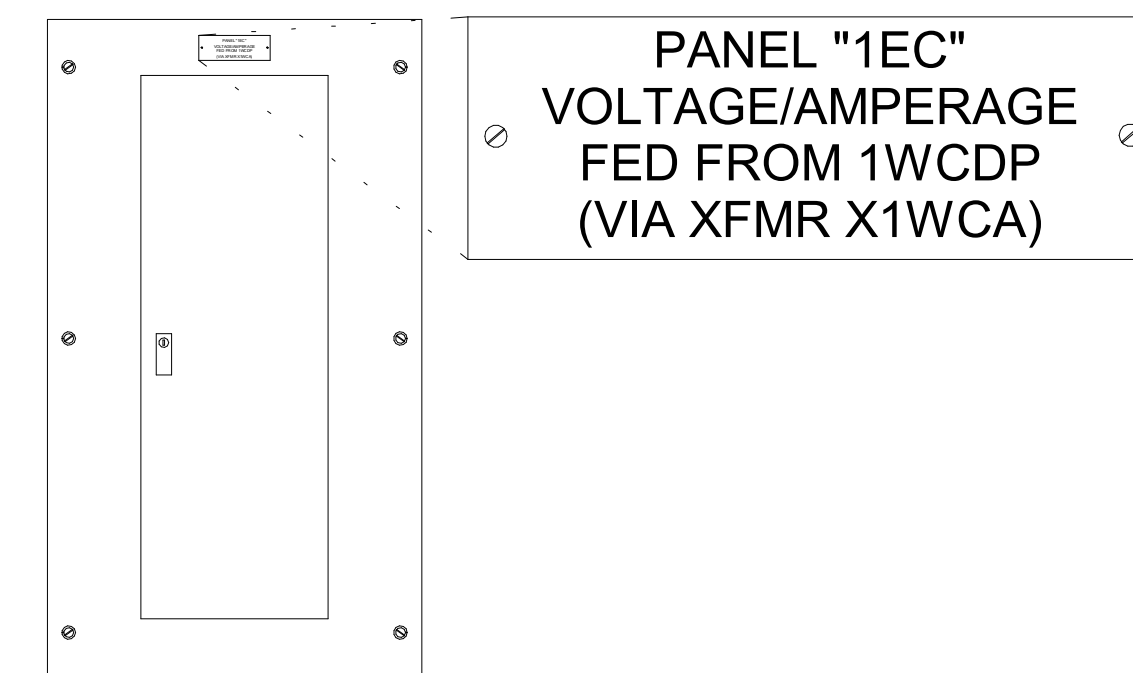


NOTE:
ALL LABELS SHALL BE TYPED. RECEPTACLES SHALL BE INSTALLED WITH GROUND FACING DOWN

RECEPTACLE/SWITCH IDENTIFICATION

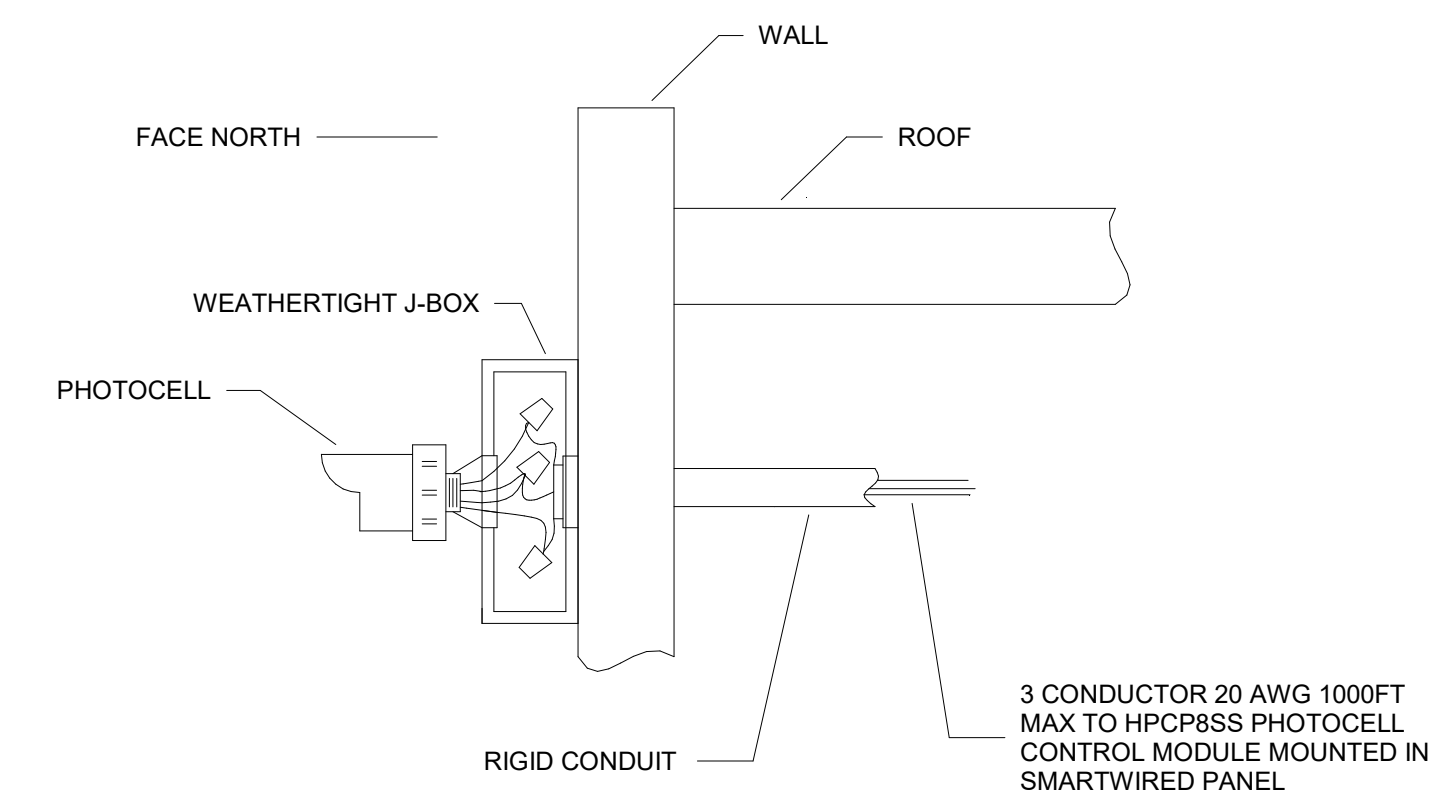


TYPICAL FOUR PORT DATA OUTLET

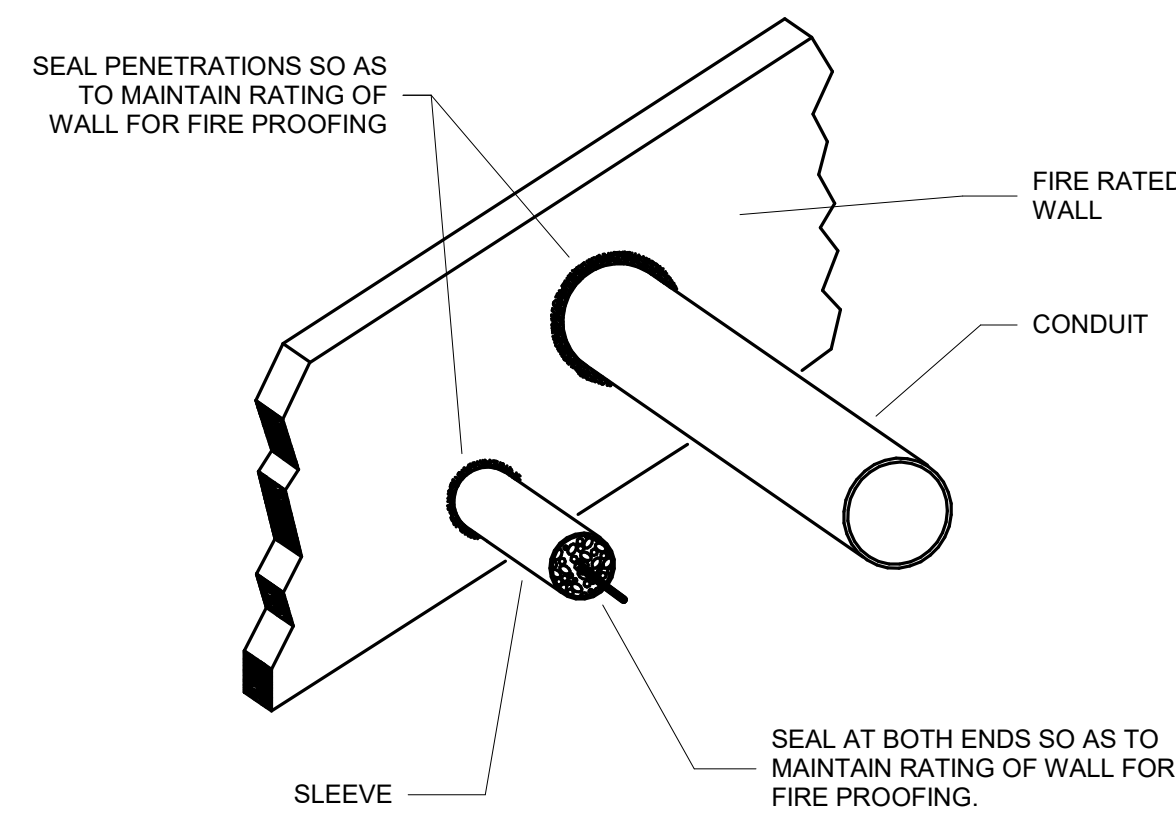


NOTE:
ALL PANELBOARDS INVOLVED IN THIS PROJECT (EXISTING AND NEW) SHALL BE IDENTIFIED BY THE PANEL NAME AND BRANCH OF THE ELECTRICAL SYSTEM. REFER TO THE SPECIFICATIONS FOR COLORS AND ADDITIONAL REQUIREMENTS.

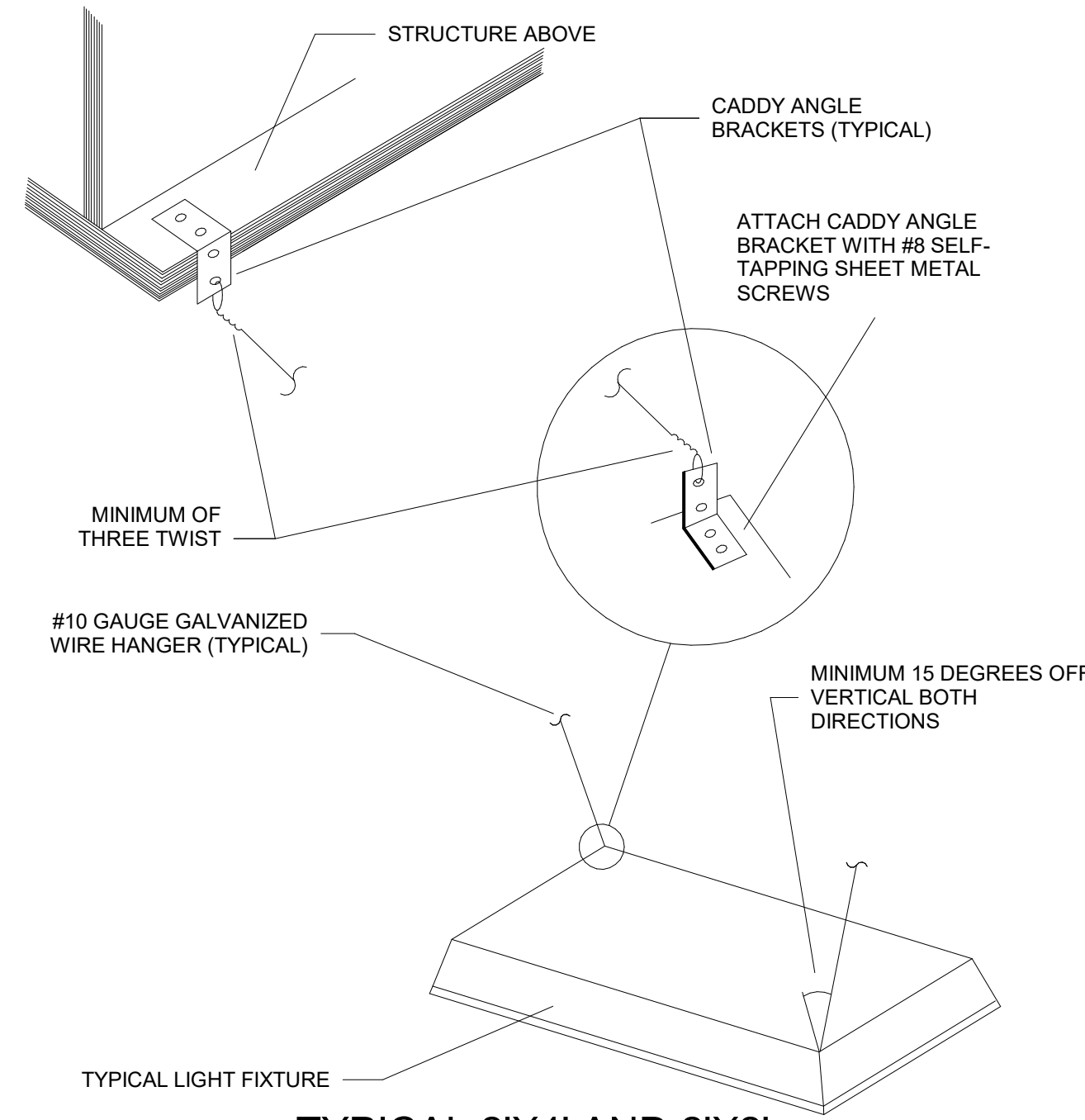
PANELBOARD IDENTIFICATION



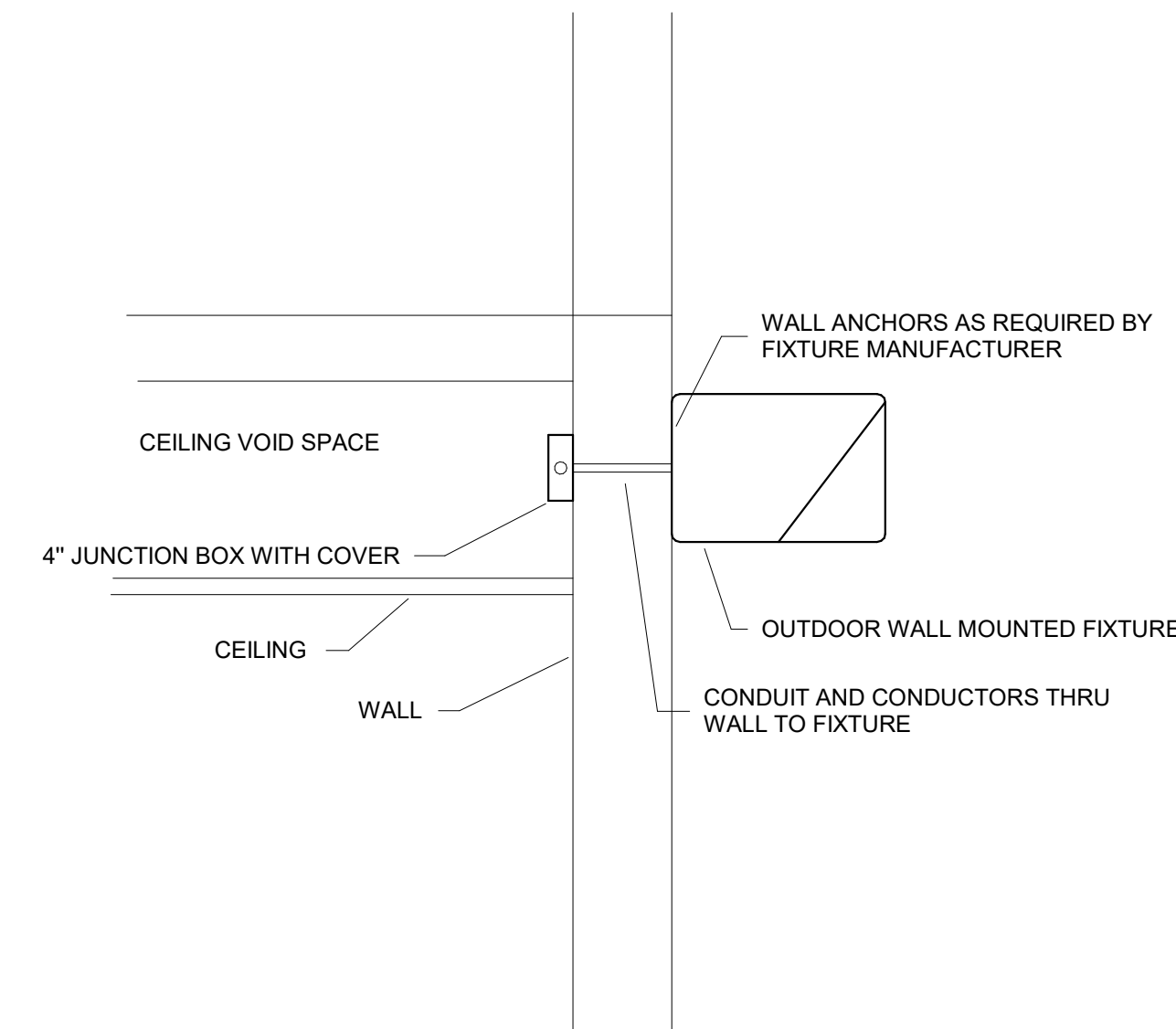
PHOTOCELL INSTALLATION AND WIRING



RATED WALL PENETRATION

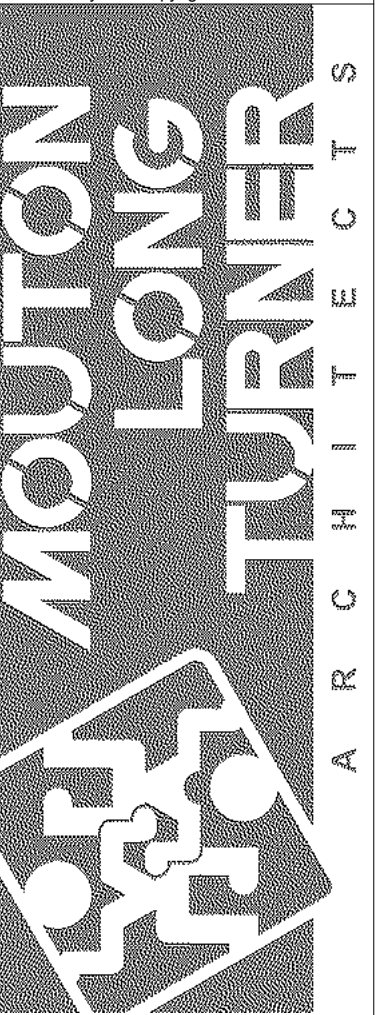


TYPICAL 2'X4' AND 2'X2' LIGHT FIXTURE DETAIL



WALL MOUNT EXTERIOR LIGHT

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LCG Lagniappe Consulting Group
Mechanical-Electrical-Plumbing
1305 Distributors Row, Elmwood, LA. 70123
Project No.: 2501901 Registration No.: 7188

10/10/2025 Date
25-1874 Project No.
E2.0
ELECTRICAL DETAILS

GENERAL NOTES:

A. FIRE CODE

ALL SUSPENDED CEILINGS SHALL BE CLASS "A". ALL OTHER INTERIOR FINISHES SHALL BE CLASS "A" OR "B".

PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE W/ NFPA 10. SEE APPENDIX "E" OF NFPA 10 FOR DISTRIBUTION OF EXTINGUISHERS.

101:10.2.4 AND IBC 803.5 AND 803.6 TEXTILE MATERIALS USED ON CEILINGS AND/OR WALLS ARE PERMITTED ONLY IN ACCORDANCE WITH THE LIMITATIONS OF THESE SECTIONS

LAC 55:305 INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 720, INTERNATIONAL BUILDING CODE, 2021 EDITION.

- CONCEALED AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450 IN ACCORDANCE WITH IBC 720.
- CELLULOSE FIBER THERMAL INSULATION SHALL MEET THE REQUIREMENTS OF PARAGRAPH IBC 720.

FOAM PLASTIC INSULATION SHALL MEET THE REQUIREMENTS OF IBC 2603, AND NFPA 101:10.2.4.3.

- FOAM PLASTIC SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450 WHERE TESTED IN ACCORDANCE WITH THE PROVISIONS OF IBC 2603.3 AND NFPA 101:10.2.4.3.

THERMAL BARRIERS SHALL PROTECT FOAM PLASTIC INSULATION IN ACCORDANCE WITH IBC 2603.4.

- INTUMESCENT COATINGS USED AS AN ALTERNATIVE TO THE THERMAL BARRIER REQUIRED OVER FOAM PLASTIC INSULATION SHALL BE APPROVED BY THIS OFFICE PRIOR TO INSTALLATION. PROVIDE EVALUATION REPORT(S) FOR REVIEW THAT DOCUMENT TEST RESULTS IN ACCORDANCE WITH THE PROVISIONS OF IBC 2603.9 AND NFPA 101:10.2.4.3 AS A COMPLETE ASSEMBLY.
- APPROVED ALTERNATIVE THERMAL BARRIER COATINGS SHALL BE TESTED ON THE FOAM PLASTIC INSULATION PRODUCT PROPOSED AND LISTED AS A COMPLETE ASSEMBLY RELATED TO ACTUAL END-USE CONFIGURATION. SUCH COATINGS SHALL BE APPLIED TO THE THICKNESS INDICATED BY THE EVALUATION REPORT.

IGNITION BARRIER ASSEMBLIES OR OTHER INTUMESCENT COATINGS TESTED IN ACCORDANCE WITH PROVISIONS OTHER THAN THOSE REFERENCED BY IBC 2603.9 ARE NOT AN ACCEPTABLE ALTERNATIVE TO THE THERMAL BARRIER.

- ALTERNATIVE IGNITION BARRIERS COMPLYING WITH IBC 2603.4.1.6 MAY PROTECT FOAM PLASTIC INSULATION USED IN ATTICS OR CRAWL SPACES, WHERE ENTRY IS MADE ONLY FOR SERVICE OF UTILITIES, IN LIEU OF THE THERMAL BARRIER.

FIRE STOP STUD WALLS AT CEILING LINE SO THAT THE MAX. CONCEALED SPACE DOES NOT EXCEED 10' EITHER HORIZONTAL OR VERTICAL. (WOOD STUDS ONLY)

INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD OF 0-75 & A SMOKE DEVELOPMENT RATING OF 0-450.

B. EXITS

LANDINGS OUTSIDE EXTERIOR DOORS SHALL BE LEVEL WITH THE FLOOR WITH A LEVEL CHANGE OF 1/2" MAX, 1:50 MAX SLOPE.

THRESHOLDS SHALL NOT BE MORE THAN 1/2" HEIGHT AND BEVELED IF OVER 1/4".

LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY, SPECIAL DEVICE, OR SPECIAL KNOWLEDGE TO OPEN IN THE DIRECTION OF EGRESS.

EXIT SIGNS SHALL COMPLY W/ NFPA 101.5-10 AND SHALL DEFINE EXITS & ACCESS TO EXITS WHERE THE EXIT IS NOT IMMEDIATELY APPARENT.

MEANS OF EGRESS SHALL BE ADEQUATELY ILLUMINATED AS PER NFPA 101: 7.8

EMERGENCY LIGHTING SHALL BE PROVIDED FOR A PERIOD OF TIME AND AT MINIMUM LEVELS AS PER IBC 1016.2 AND NFPA 101:7.9

STAIRS AND RAMP SHALL HAVE HANDRAILS ON BOTH SIDES & SHALL BE PROVIDED WITHIN 30" REACH OF ALL PORTIONS OF THE REQUIRED EGRESS WIDTH OF STAIR. (WHERE REQUIRED)

HANDRAILS SHALL BE BETWEEN 34" AND 38" ABOVE THE LEADING EDGE OF THE TREAD SURFACE.

GUARD RAILS SHALL BE AT LEAST 42" HIGH AND ARE REQUIRED WHEN A CHANGE IN ELEVATION EXCEEDS 30". PROVIDE AT THE OPEN SIDE(S) OF STAIRS AND BALCONIES. (WHERE REQUIRED)

HEADROOM SHALL BE NOT LESS THAN 7'-6" IN A MEANS OF EGRESS WITH NO PROJECTION LESS THAN 6'-8" NOMINAL HEIGHT FROM THE FLOOR.

C. ADA

PROVIDE ACCESS FOR PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE ADA-ABA ACCESSIBILITY GUIDELINES, JULY 23, 2004 (ALSO KNOWN AS THE 2010 STANDARDS).

ADA-ABA:216.2 WHERE SIGNAGE IDENTIFIES PERMANENT ROOMS OR SPACES OR EXITS, THE SIGNAGE SHALL COMPLY WITH SECTIONS 703.1 - 703.5 (RAISED CHARACTERS, BRAILLE, VISUAL CHARACTERISTICS, HEIGHT).

ADA-ABA:226.1 WHERE DINING SURFACES ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5% (AND NO LESS THAN 1) OF THE SEATING SPACES SHALL COMPLY WITH SECTION 902. ACCESSIBLE DINING SHALL BE DISPERSED.

ADA-ABA-902.1 DINING SURFACES AND WORK SURFACES SHALL COMPLY WITH THE FOLLOWING:

- 902.2 PROVIDE A 30" X 48" CLEAR FLOOR SPACE POSITIONED FOR A FORWARD APPROACH.
- 902.3 THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28" MINIMUM AND 34" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND

ADA-ABA:303 THRESHOLDS SHALL COMPLY WITH REQUIREMENTS OF THIS SECTION REGARDING CHANGES IN LEVEL. (NOT MORE THAN 1/2" HEIGHT AND BEVELED IF OVER 1/4")

ADA-ABA:404.2.7 HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 309.4. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

PROVIDE ACCESSIBLE SERVICE/TELLER/INFORMATION COUNTER(S). A PORTION OF THE MAIN COUNTER WHICH IS A MINIMUM OF 36" IN LENGTH SHALL BE PROVIDED WITH A MAXIMUM HEIGHT OF 34".

PROVIDE FOR WHEEL CHAIR TURNING BY A CLEAR SPACE OF 60" DIAMETER OR A "T" SHAPED SPACE IN ACCORDANCE WITH ADA.G.

LAVATORIES SHALL COMPLY WITH THE FOLLOWING:

1. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON.
2. HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR COVERED.
3. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGES NOT MORE THAN 40" FROM THE FLOOR.

D. MEP

101:9.2.1 SPACE ABOVE A CEILING USED FOR RETURN OR SUPPLY AIR SHALL COMPLY WITH NFPA 90A:4.3.11.

101:9.2.1 AND IMC 606.2.1 INSTALL SMOKE DETECTORS TO AUTOMATICALLY STOP THE FAN IN SUPPLY AND RETURN HVAC DUCT SYSTEMS OVER 2000 CFM IN ACCORDANCE WITH NFPA 90A:6.4.2(1) AND IMC 606.2.1.

- WHERE FIRE ALARM SYSTEM IS REQUIRED, DUCT DETECTORS SHALL BE CONNECTED TO BUILDING ALARM SYSTEM.

- NFPA 90A:6.4.4.3 WHERE SMOKE DETECTORS REQUIRED BY SECTION 6.4 ARE INSTALLED IN A BUILDING NOT EQUIPPED WITH AN APPROVED PROTECTIVE SIGNALING SYSTEM, PROVIDE THE FOLLOWING:
- THE SMOKE DETECTOR ACTIVATION REQUIRED BY SECTION 6.4 SHALL CAUSE A VISUAL AND AN AUDIBLE SIGNAL IN A NORMALLY OCCUPIED AREA, AND;
- SMOKE DETECTOR TROUBLE CONDITIONS SHALL BE INDICATED VISUALLY OR AUDIBLY IN A NORMALLY OCCUPIED AREA AND SHALL BE IDENTIFIED AS AIR DUCT DETECTOR TROUBLE.

PROVIDE A REMOTE ALARM INDICATOR/ANNUNCIATOR IN ACCORDANCE WITH NFPA 72:17.4.8 FOR THESE CONDITIONS.

101:9.2.2 GAS-FIRED EQUIPMENT (APPLIANCES, FURNACES, SPACE HEATERS, WATER HEATERS, ETC.) SHALL BE U.L. LISTED FOR ITS INTENDED USE AND SHALL BE INSTALLED AND VENTED IN ACCORDANCE WITH NFPA 54.

RS 23:536 BOILERS, PRESSURE VESSELS, AND WATER HEATERS OF 120 GALLON CAPACITY OR LARGER, AND BOILERS OF 200,000 BTU/HR OR MORE HEAT INPUT SHALL CONFORM WITH THE PROVISIONS OF THE LOUISIANA BOILER INSPECTION LAW IN ACCORDANCE WITH ADOPTED RULES AND REGULATIONS. (SEE RS 23:540 FOR EXEMPTIONS. CONTACT OUR BOILER SECTION AT 800-256-5452 WITH ANY QUESTIONS CONCERNING THIS REQUIREMENT).

E. GENERAL

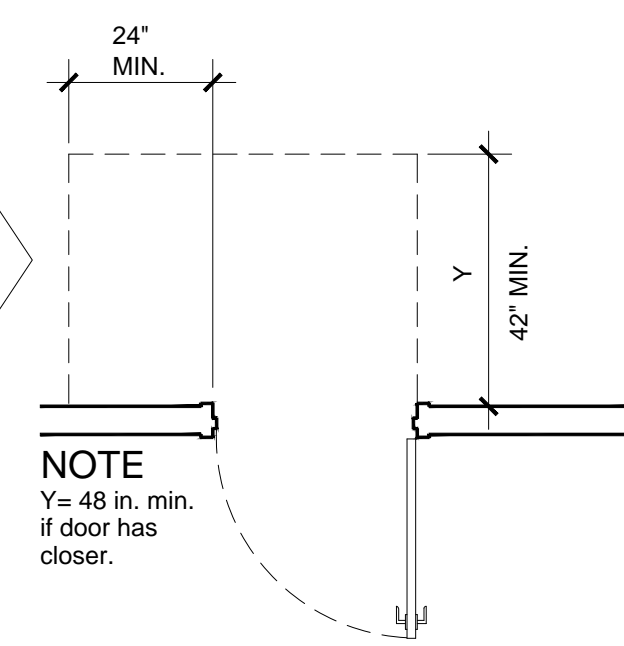
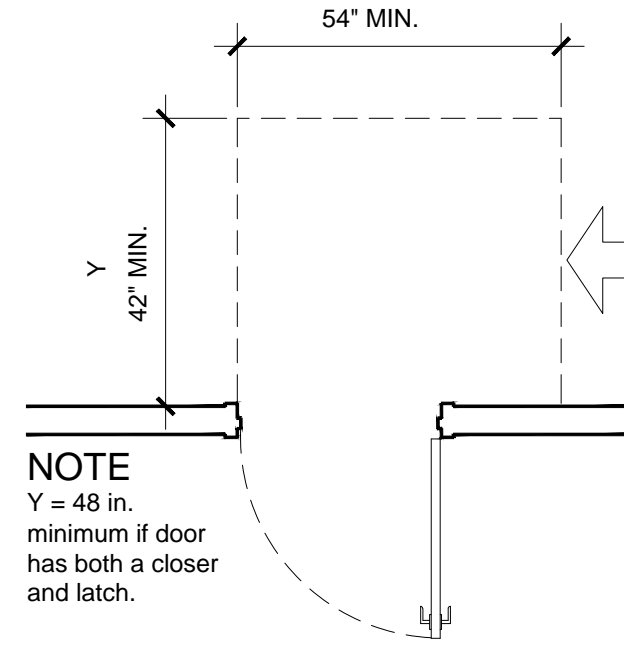
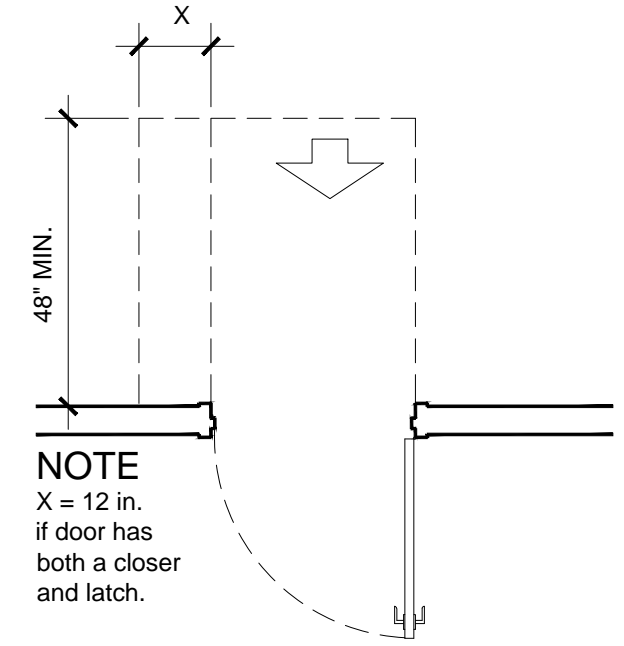
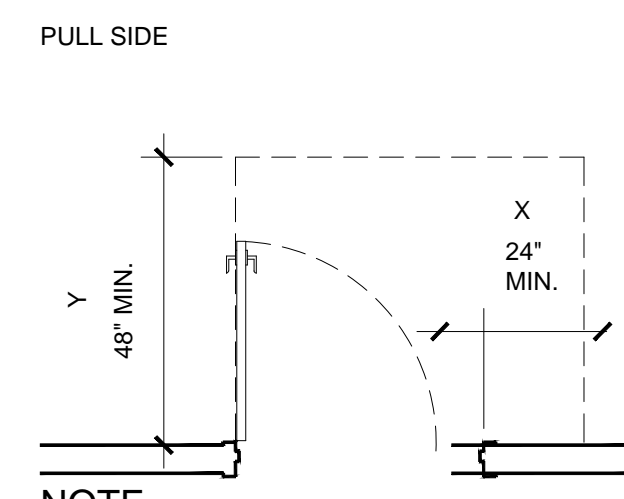
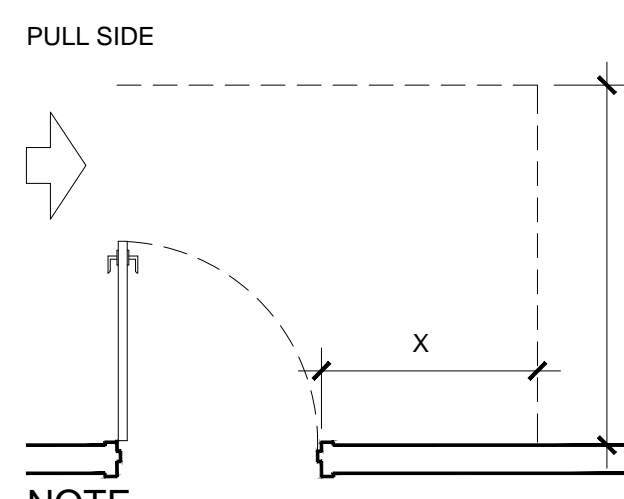
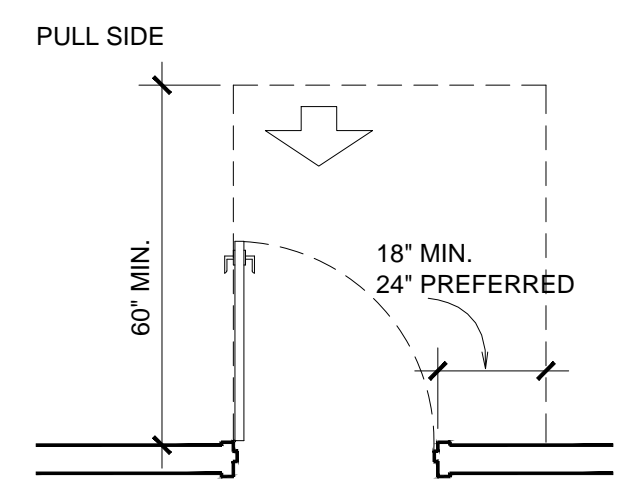
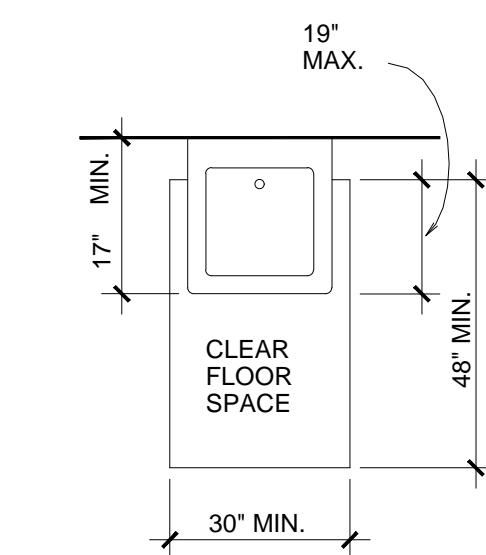
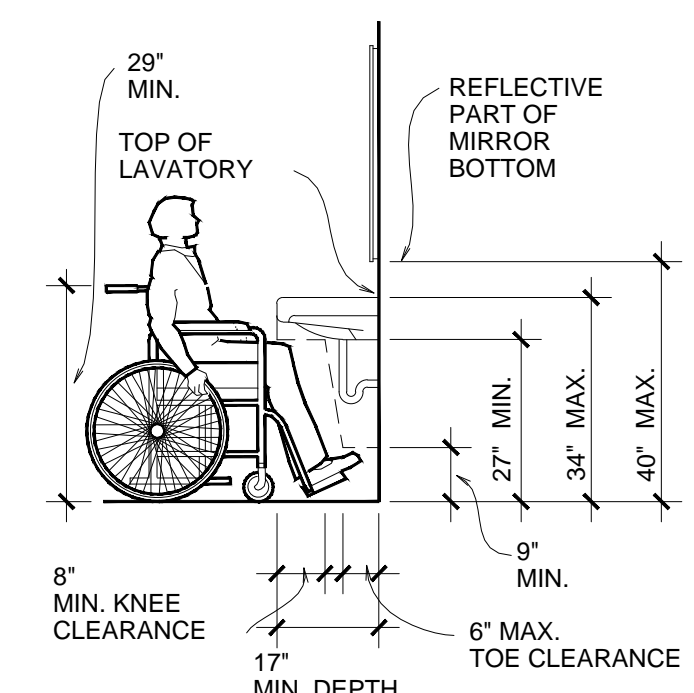
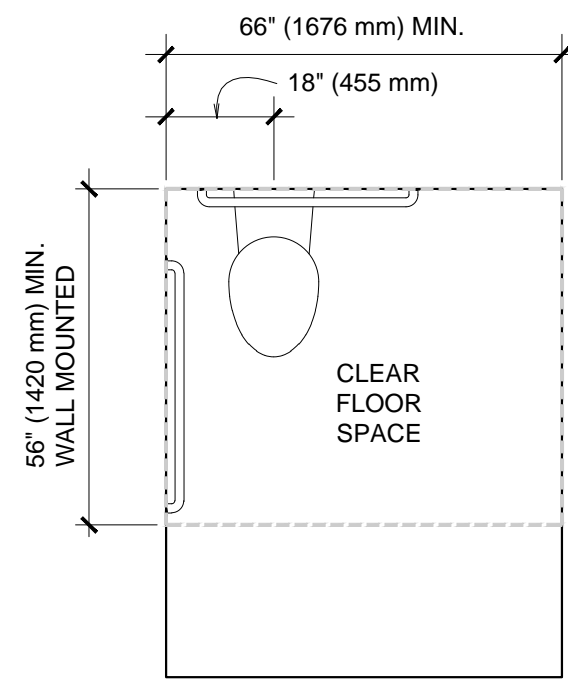
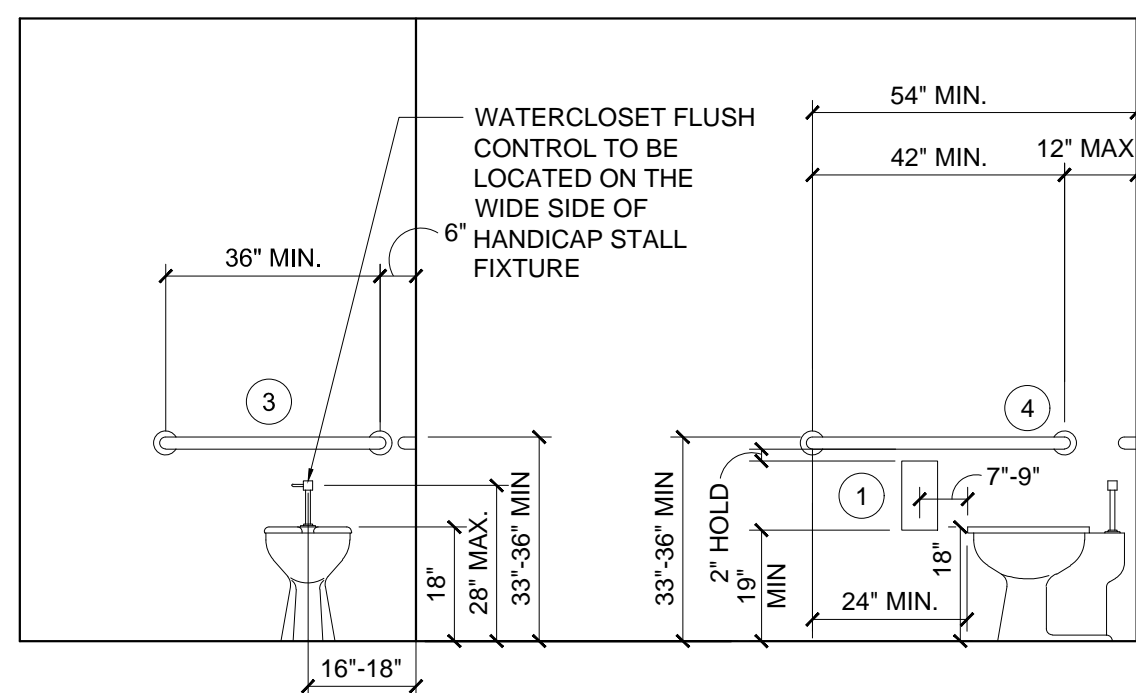
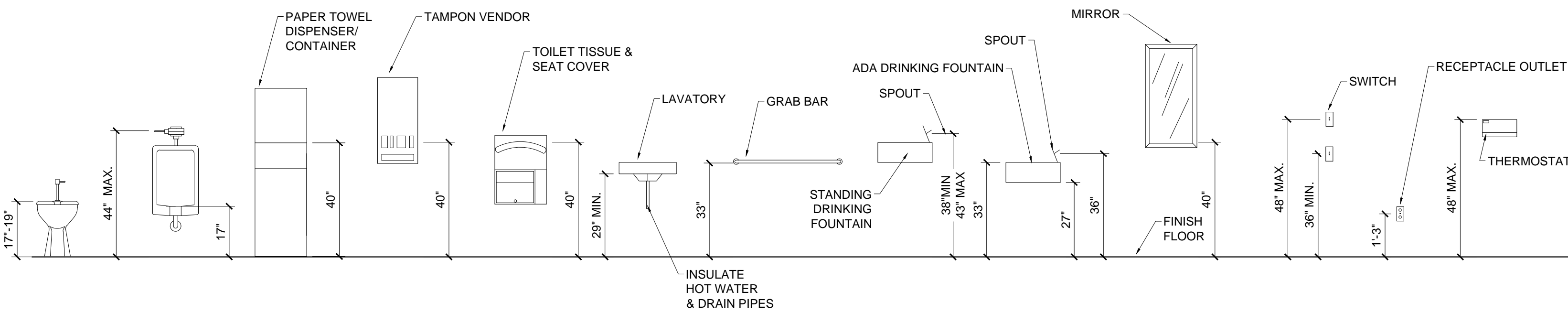
ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY LOCAL BUILDING CODE.

HVAC SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH 101:7-2.

ELECTRICAL WORK SHALL COMPLY WITH NFPA 70, NATIONAL ELECTRICAL CODE. (CURRENT EDITION)

GROUND AND FLOOR SURFACES (SLIP RESISTANT UNDER ALL WEATHER CONDITIONS).

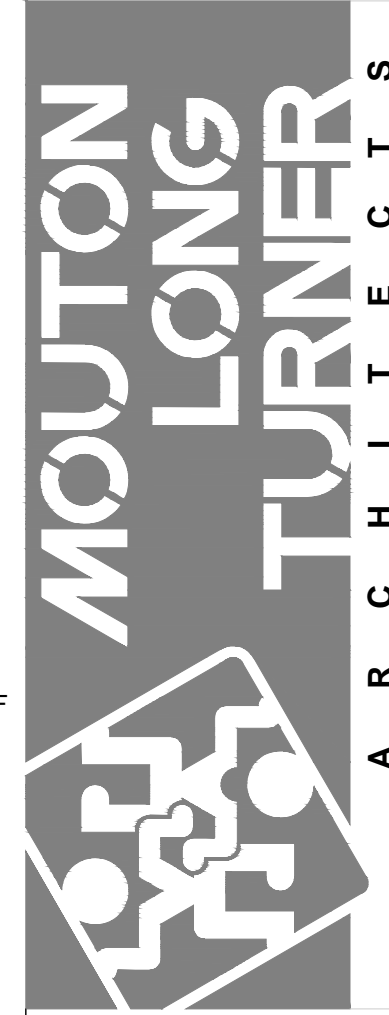


FRONT APPROACHES - SWINGING DOORS

HINGE SIDE APPROACHES - SWINGING DOORS

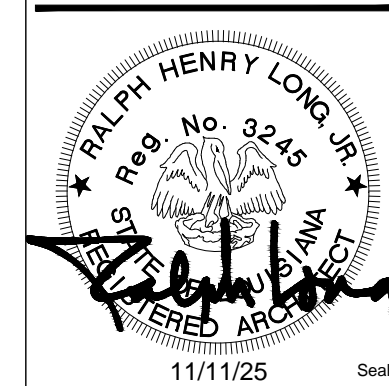
LATCH SIDE APPROACHES - SWINGING DOORS

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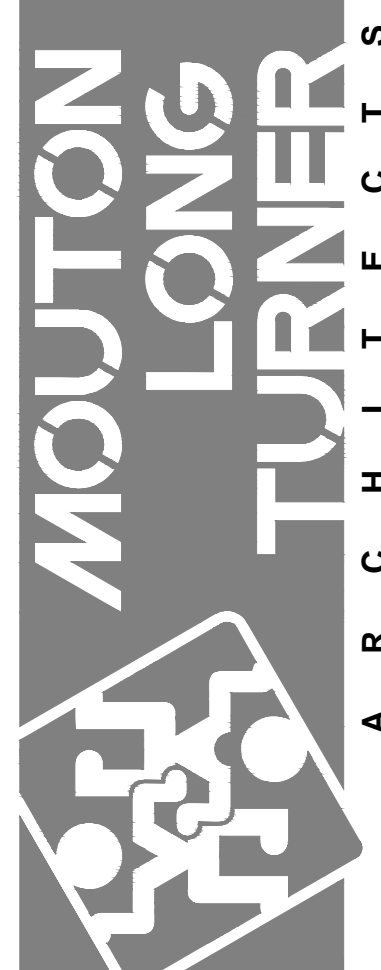
Revisions

10-23-25	SIGN BAND	
10-11-25	UPDATED LANDLORD LETTER	

10/13/25
Date: 25-1885
Project No.
Drawing No.

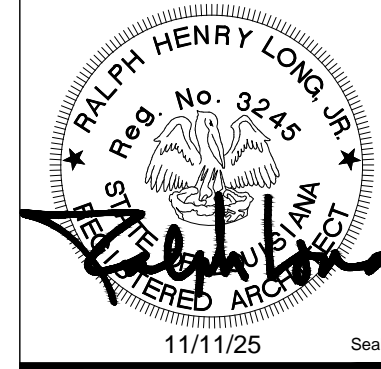
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10-13-25		PERMITS

Revisions	10-23-25 SIGN BAND	10-11-25 UPDATED LANDLORD LETTER
1		
2		

10/13/25 Date: 25-1885 Project No.

GN2.0

ACCESSIBILITY NOTES:

CLEAR FLOOR OR GROUND SPACE FOR WHEEL CHAIRS

1. THE MINIMUM, CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES X 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS.

2. PROVIDE AN ADDITIONAL 12 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 15 INCHES DEEP AND DESIGNED FOR SIDE APPROACH.

3. PROVIDE AN ADDITIONAL 6 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 24 INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH.

HAZARDS AND PROTRUDING OBJECTS

1. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.

2. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.

3. FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR.

4. PROTRUDING OBJECTS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.

5. ANY OBSTRUCTION OVERHANGING A PEDESTRAIN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.

PARKING

1. SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY DISABLED SHALL NOT EXCEED 1/4 INCH PER FOOT (2% GRADIENT) IN ANY DIRECTION.

2. A DISABLED PARKING SPACE SHALL BE LOCATED SO AS NOT TO REQUIRED ITS USER TO WHEEL OR WALK BEHIND ANY OTHER DISABLED OR NON-DISABLED PARKING SPACE.

3. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF CARS OVER THE REQUIRED WIDTH OD WALKWAYS.

4. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT, IN WHITE ON DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN THE PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISHED GRADE, GROUND, OR SIDEWALK.

WALKS AND SIDEWALKS

1. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCHES, AND SHALL BE A MINIMUM OF 48 INCHES WIDTH.

2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.

3. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. GRID OPENINGS WITHIN GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS SHALL BE LIMITED TO 1/2 INCH IN THE DIRECTION OF TRAFFIC FLOW.

4. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OR PEDESTRIAN RAMPS.

ENTRANCES/DOORS

1. ALL PRIMARY ENTRANCES AND EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED.

2. ALL ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.

3. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36 INCHES IN WIDTH, AND NOT LESS THAN 80 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES.

4. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.

5. LEVER HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES MAXIMUM ABOVE THE FLOOR.

6. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN ENTRANCE OR A PASSAGE DOOR SHALL BE LEVEL AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING AND AT LEAST 48 INCHES OPPOSITE THE DIRECTION OF THE DOOR AS MEASURED AT RIGHT ANGLES TO THE FACE OF THE DOOR IN ITS CLOSED POSITION. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS, AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS. REFER TO DETAIL NO. 2 ON THIS DRAWING FOR ADDITIONAL CLEARANCE REQUIREMENTS.

7. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE LEVELED WITH A LOPE NO GREATER THAN 1:2.

8. THE BOTTOM 10 INCHES OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE MARROW FRAME DOORS ARE USED, A 1 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST.

9. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY NOT EXCEED 15 LBS.

STAIRWAYS

1. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND EVERY STAIRWAY REQUIRED TO BE MORE THAN 88 INCHES IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88 INCHES OF REQUIRED WIDTH. INTERMEDIATE HANDRAILS SHALL BE SPACED APPROXIMATELY EQUALLY WITHIN THE ENTIRE WIDTH OF THE STAIRWAY.

2. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP-RESISTANT AS THE TREADS OF THE STAIR.

3. WHERE STAIRWAYS OCCUR OUTSIDE A BUILDING, THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE AND PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OF LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP-RESISTANT AS THE TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.

4. ALL STAIR TREAD SURFACES SHALL BE SLIP-RESISTANT.

HANDRAILS

1. HANDRAILS AT STAIRWAYS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING OF THE TREADS.

2. HANDRAILS AT STAIRWAYS SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE TOP NOSING AND 12 INCHES PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING.

3. WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE EXTENSION SHALL BE MADE AT RIGHT ANGLES, ON THE FACE OF THE RETURNING WALL. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDING.

4. HANDRAILS ARE REQUIRED ON RAMPS WHEN THE SLOPE EXCEEDS 1:20.

5. HANDRAILS AT RAMPS SHALL RUN ALONG BOTH SIDES OF A RAMP, BE CONTINUOUS THE FULL LENGTH, EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF THE RAMP, AND THE ENDS SHALL BE RETURNED.

6. THE HANDRAIL GRIP SURFACE AT RAMPS SHALL BE MOUNTED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE RAMP SURFACE.

7. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

8. HANDRAILS PROJECTED FROM A WALL SHALL HAVE AN ABSOLUTE CLEARANCE 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

9. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4 INCH NOR MORE THAN 1-1/2 INCH IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT SMOOTH GRIPPING SURFACE WITH NO SHARP CORNERS.

RAMPS

1. ALL RAMPS USED AS EXITS AND ANY PATH OF TRAVEL HAVING A SLOPE GREATER THAN 1:20 SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION. RAMPS SHALL HAVE THE LEAST POSSIBLE SLOPE. (ADA: C-2.1.2, C-5.6 CA: D-4.3)

2. PEDESTRIAN RAMPS SERVING PRIMARY ENTRANCES TO A BUILDING SHALL HAVE A MINIMUM WIDTH OF 48 INCHES. RAMPS SERVING AN OCCUPANCY LOAD GREATER THAN 300 SHALL HAVE A MINIMUM WIDTH OF 60 INCHES.

3. ALL RAMPS IN AREAS ACCESSIBLE TO PERSONS WITH DISABILITIES ON A PATH OF TRAVEL OR SERVING EXITS SHALL HAVE A 1:12 MAXIMUM SLOPE WITH CROSS SLOPES NO GREATER THAN 1:50.

4. THE LANDING WIDTH SHALL EXTEND PAST THE STRIKE EDGE OF ANY DOOR OR GATE AS SHOWN ON THE DETAIL NO. 2 ON THIS DRAWING.

5. DOORS STANDING IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP TO LESS THAN 42 INCHES OR THE REQUIRED WIDTH BY MORE THAN 3 INCHES.

SANITARY FACILITIES (GENERAL)

1. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32 INCH CLEAR, UNOBSTRUCTED OPENINGS.

2. ALL SINKS, FAUCET CONTROLS, AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

3. LAVATORIES SHALL BE MOUNTED WITH A MINIMUM DISTANCE OF 18 INCHES FROM A WALL OR PARTITION TO THE CENTER LINE OF THE FIXTURE, ACCESSIBLE LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE OF NO HIGHER THAN 34 INCHES ABOVE THE FINISHED FLOOR.

TOILET ROOM FIXTURES AND ACCESSORIES

1. THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF THE TOILET SEAT.

2. PROVIDE 18 INCHES FROM THE CENTERLINE OF THE WATER CLOSET TO THE ADJACENT WALL.

3. TOILET AND URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE OPEN (WIDE) SIDE OF THE TOILET STALL, NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

4. WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE 30 INCHES WIDE X 48 INCHES LONG IN FRONT OF THE URINAL. AT LEAST ONE URINAL WITH A RIM PROJECTING A MINIMUM OF 14 INCHES FROM THE WALL AND A MAXIMUM OF 17 INCHES ABOVE THE FLOOR SHALL BE INSTALLED.

5. A CLEAR FLOOR SPACE 30 INCHES WIDE X 48 INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

6. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30 INCHES IN WIDTH WITH 8 INCHES MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9 INCHES HIGH FROM THE FLOOR AND A MINIMUM OF 17 INCHES DEEP FROM THE FRONT OF THE LAVATORY.

7. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

8. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTIVE SURFACE NOT MORE THAN 40 INCHES FROM THE FLOOR.

9. LOCATE PAPER TOWEL DISPENSERS, SANITARY NAPKIN DISPENSERS, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MRE THAN 40 INCHES FROM THE FLOOR.

10. LOCATE TOILET TISSUE DISPENSERS ON THE WALL WITHIN 12 INCHES OF THE FRONT EDGE OF THE TOILET SEAT.

MULTIPLE ACCOMODATION TOILET FACILITIES

1. A CLEAR SPACE MEASURED FROM THE FLOOR TO A HEIGHT OF 27 INCHES ABOVE THE FLOOR, WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60 INCHES, OR A CLEAR SPACE NOT LESS THAN 56 INCHES X 63 INCHES IN SIZE SHALL BE PROVIDED. DOORS OTHER THAN THE DOOR TO THE DISABLED TOILET COMPARTMENT, IN ANY POSITION, MAY ENCRoACH INTO THIS SPACE BY NOT MORE THAN 12 INCHES.

2. AN ACCESSIBLE INDIVIDUAL TOILET STALL SHALL PROVIDE AT LEAST 28 INCHES CLEAR SPACE FROM A FIXTURE OR 32 INCHES CLEAR SPACE FROM A WALL AT ONE SIDE OF THE WATER CLOSET. A 48 INCH LONG CLEAR SACE IN FRONT OF THE WATER CLOSET SHALL BE PROVIDED IF THE COMPARTMENT HAS AN END OPENING DOOR (FACING THE WATER CLOSET). A 60 INCH LONG CLEAR SPACE SHALL BE PROVIDED IN A COMPARTMENT WHEN THE DOOR IS LOCATED AT THE SIDE. GRAB BARS SHALL NOT PROJECT MORE THAN 3 INCHES INTO THE CLEAR SPACES AS SPECIFIED ABOVE.

3. WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WHEN LOCATED AT THE END AND 34 INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

4. EXCEPT FOR DOOR OPENING WIDTHS AND DOOR SWINGS, A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN 44 INCHES SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE DISABLED. THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL NOT BE LESS THAN 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN ITS CLOSED POSITION.

GRAB BARS

1. GRAB BARS SHALL BE LOCATED ON ONE SIDE AND THE BACK OF THE PHYSICALLY DISABLED TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED 33 INCHES ABOVE AND PARALLEL TO THE FLOOR.

2. GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 54 INCHES FROM THE BACK OF THE STALL. GRAB BARS AT THE BACK SHALL NOT BE LESS THAN 36 INCHES LONG.

3. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL AND THE GRAB BARS SHALL BE 1-1/2 INCHES.

4. A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. GRAB BAR EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.

5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

6. GRAB BARS SHALL BE DESIGNED TO SUPPORT A 250 POUND FORCE.

TELEPHONES

1. PROVIDE A 30 INCH X 48 INCH CLEAR SPACE AT TELEPHONE. THE CLEAR SPACE MAY INCLUDE KNEE SPACE UNDER THE TELEPHONE.

2. THE HIGHEST OPERABLE PART OF THE TELEPHONE SHALL BE WITHIN 48 INCHES OF THE FLOOR IF FORWARD APPROACHED AND 54 INCHES IF SIDE APPROACHED.

3. TELEPHONES MOUNTED DIAGONALLY IN A CORNER THAT REQUIRE WHEELCHAIR USERS TO REACH DIAGONALLY SHALL HAVE THE HIGHEST OPERABLE PART NO HIGHER THAN 54 INCHES ABOVE THE FLOOR.

4. THE CORD FROM THE TELEPHONE TO THE HANDSET SHALL BE AT LEAST 29 INCHES LONG.

5. IF BANKS OF PUBLIC TELEPHONES ARE PROVIDED, THEN A REASONABLE NUMBER, BUT ALWAYS AT LEAST ONE, IN A BUILDING OR FACILITY SHALL BE EQUIPPED WITH A VOLUME CONTROL.

6. TELEPHONES SHALL HAVE PUSH-BUTTON CONTROLS WHERE SERVICE FOR SUCH EQUIPMENT IS AVAILABLE.

ADDITIONAL REQUIREMENTS

1. THE CENTER OF RECEPTACLE OULETS SHALL BE NOT LESS THAN 15 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.

2. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT, SHALL NOT BE LESS THAN 36 INCHES NOR MORE THAN 48 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.

3. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48 INCHES ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE, OR SIDEWALK.

4. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY THE PHYSICALLY DISABLED PERSONS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595A.

LANDLORD'S WORK - FIVE BELOW - WHITE BOX SPECIFICATIONS

LANDLORD'S WORK (GENERAL CONDITIONS):

- 1.) ALL WORK TO BE DONE BY LANDLORD ("LANDLORD'S WORK") SHALL BE AT LANDLORD'S EXPENSE AND WILL BE AS DESCRIBED IN THE FOLLOWING AND SET FORTH BELOW.
- 2.) LANDLORD WILL BE RESPONSIBLE FOR ALL FEES AND COSTS, INCLUDING ALL CIVIL, ARCHITECTURAL, ENGINEERING, LEGAL FEES, PERMITTING, UTILITIES, AND ANY DEMOLITION COSTS ASSOCIATED WITH PREPARATION AND DELIVERY OF TENANT'S WHITE BOX.
- 3.) TENANT SHALL PREPARE ALL PLANS AND SPECIFICATIONS FOR TENANT'S WORK AND LANDLORD'S WORK, INCLUDING ALL MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. TENANT WILL SUBMIT SUCH PLANS AND SPECIFICATION ("TENANT'S PLANS") INDICATING LANDLORD'S WORK AND TENANT'S WORK TO LANDLORD WITHIN SIXTY (60) DAYS FOLLOWING THE LATER OF (i) LEASE EXECUTION OR (ii) TENANT'S RECEIPT OF AN LOD OR (iii) TENANT'S RECEIPT OF AS BUILT PLANS (OR BASE SHELL DRAWINGS IF NEW CONSTRUCTION) FOR THE PREMISES FROM LANDLORD (NOTE: IF PROJECTED DELIVERY IS MORE THAN TWELVE (12) MONTHS OUT FROM LEASE EXECUTION THEN PLANS & SPECS DUE WITHIN ONE HUNDRED EIGHTY (180) DAYS FOLLOWING THE LATER OF (i) OR (ii)). TENANT'S PLANS SHALL BE PREPARED TO SUBSTANTIAL CONFORMITY OF THIS WORK LETTER AND SHALL SUBSTANTIALLY CONFORM TO TENANT'S PROTOTYPICAL STORE. TENANT'S PLANS SHALL BE DEEMED APPROVED BY LANDLORD AS LONG AS TENANT'S PLANS CONFORM TO THIS WORK LETTER. THE COST FOR PREPARATION OF TENANT'S PLANS AND THE OBTAINING OF PERMITS FOR THAT PORTION OF THE WORK REFLECTED ON TENANT'S PLANS TO BE CONSTRUCTED BY TENANT SHALL BE SPLIT EQUALLY BETWEEN LANDLORD AND TENANT, BUT LANDLORD'S SHARE SHALL NOT EXCEED \$13000.

4.) NOTWITHSTANDING THE FOREGOING, IF A BUILT-UP ANCHOR FACADE ELEMENT IS PART OF THE LANDLORD'S WORK, AND THE LANDLORD WILL BE RESPONSIBLE, AT LANDLORD'S SOLE COST AND EXPENSE, FOR THE DESIGN DRAWINGS, PERMITTING, ANY ADDITIONAL GOVERNMENTAL APPROVALS REQUIRED (INCLUDING ANY APPLICABLE VARIANCE PROCESS), AND ASSOCIATED COSTS IN ACCORDANCE WITH THE AGREED UPON ELEVATION BETWEEN THE LANDLORD AND TENANT.

5.) LANDLORD WILL PAY ANY AND ALL TAP OR METER FEES REQUIRED SO AS TO PROVIDE SEPARATELY METERED UTILITIES FOR THE PREMISES. IN ADDITION, LANDLORD SHALL BE RESPONSIBLE FOR PAYMENT OF ANY AVAILABILITY, TAP, IMPACT OR SIMILAR DEVELOPMENT FEES.

6.) ALL CONSTRUCTION, ALL MATERIALS, ALL INSTALLATIONS AND ALL FIXTURES SHALL MEET ADA LAW, HANDICAP CODE, ENERGY COMPLIANCE, EPA RULES AND REGULATIONS, OSHA RULES AND REGULATIONS, HEALTH DEPARTMENT RULES AND REGULATIONS, STATE CODES, LOCAL CODES, AND ANY NATIONAL CODES IN EFFECT PERTAINING TO TENANT'S SPECIFIC RETAIL USE.

7.) LANDLORD TO PROVIDE ANY AND ALL REQUIRED CERTIFICATIONS THAT ALL ENVIRONMENTAL INVESTIGATIONS HAVE BEEN DONE ON AND OFF SITE AS REQUIRED (PHASE 1 ENVIRONMENTAL AND PHASE 2 ENVIRONMENTAL IF APPLICABLE) AND THE BUILDING IN WHICH THE PREMISES IS LOCATED HAS BEEN INSPECTED AND CERTIFIED FREE OF ANY HAZARDOUS MATERIALS OR CONDITIONS AS DEFINED AND REGULATED BY THE EPA OR ANY OTHER GOVERNING JURISDICTION. ALL OF LANDLORD'S WORK SHALL BE PERFORMED IN ACCORDANCE WITH LAWS, INCLUDING ENVIRONMENTAL LAWS

8.) LANDLORD WORK SHALL INCLUDE DELIVERY OF THE PREMISES WITH THE STOREFRONT ELEVATION AND SURROUNDING STOREFRONT ELEVATIONS AS DEPICTED ON EXHIBIT "D" ("STOREFRONT ELEVATION") OF THIS LEASE.

9.) ANY CONTRACTOR REQUIRED BY LANDLORD MUST PROVIDE COMPETITIVE PRICING IN LINE WITH PRICING TENANT WOULD RECEIVE IF THE WORK WAS BID OUT TO EQUALLY QUALIFIED ALTERNATIVE CONTRACTORS.

SITE WORK:

- 1.) ALL SIGNAGE DESIGN, ENGINEERING, AND PERMITS SHALL BE BY OTHERS.
- 2.) LANDLORD TO PROVIDE SPECIFICATIONS FOR ALL EXISTING PYLON/MONUMENT SIGNS SO THAT TENANT CAN DESIGN AND PROVIDE APPROPRIATE SIGNAGE. IF APPLICABLE, IF LANDLORD IS TO CONSTRUCT NEW SHOPPING CENTER PYLONS OR MONUMENT SIGNAGE, THEN LANDLORD IS TO PROVIDE TENANT WITH DRAWINGS DEPICTING THE DETAILED LOCATION, DESIGN AND SPECIFICATIONS FOR ALL PYLON/MONUMENT PANELS SO THAT TENANT CAN DESIGN SIGNAGE, IF APPLICABLE.
- 3.) LANDLORD TO PROVIDE DIRECT REAR LOADING AND RECEIVING ACCESS TO THE PREMISES. DESIGN AND EQUIPMENT FOR THIS AREA ARE TO BE PROVIDED TO AND APPROVED BY TENANT. TENANT WILL USE 54' TRACTOR TRAILER FOR DELIVERIES AND UNLOADING. ACCESS FOR SUCH MUST BE PROVIDED ON A TWENTY-FOUR (24) HOUR BASIS. IF REAR ACCESS IS DEEMED NOT TO BE ON GRADE LANDLORD WILL PROVIDE ANY NECESSARY RAMPING TO ACCOMMODATE UNENUMBERED USE OF A PALLET JACK.
- 4.) LANDLORD SHALL PROVIDE ALL PROPERLY SIZED UTILITIES SERVING THE PREMISES, SEPARATELY METERED (ONE METER PER UTILITY SERVICE). INCLUDES STORM DRAINAGE, SEWAGE, WATER, ELECTRIC, AND GAS. ALL UTILITIES TO BE IN FULL OPERATION AND COMPLETED UPON DELIVERY TO TENANT. ANY ADDITIONAL SERVICES REQUIRED (FOR EXAMPLE FIRE PUMPS, OR SEWAGE PUMPING STATIONS, ETC.) WILL BE THE RESPONSIBILITY AND COST OF THE LANDLORD.
- 5.) LANDLORD SHALL PROVIDE A COMMON AREA CUSTOMER TRASH RECEPTACLE WITHIN 15' OF THE PREMISES FRONT ENTRANCE.
- 6.) LANDLORD SHALL PROVIDE AN ADA ACCESSIBLE RAMP FOR SHOPPING CART PURPOSES LEADING TO THE PARKING LOT, DIRECTLY IN FRONT OF THE PREMISES FRONT ENTRANCE.
- 7.) ALL SIDEWALKS IN FRONT OF THE PREMISES SHALL BE LEVEL AND FREE OF CRACKS AND SPALLING.
- 8.) LANDLORD SHALL PROVIDE A REAR DUMPSTER AREA OR DUMPSTER ENCLOSURE (IF ENCLOSURE IS REQUIRED BY CODE), THE SIZE OF WHICH WILL ACCOMMODATE, AT A MINIMUM, TWO (2) TEN (10) YARD DUMPSTERS. THE DUMPSTER AREA SHALL BE LOCATED WITHIN THIRTY FEET (30') OF THE PREMISES' REAR EGRESS DOOR.
- 9.) ALL LANDSCAPING TO BE INSTALLED AT THE MINIMUM REQUIREMENTS BY CODE AND AS LOW TO THE GROUND AS POSSIBLE TO AVOID BLOCKING THE PRERISES AND SIGNAGE. EXISTING LANDSCAPING, INCLUDING TREES, SHRUBBERY AND FLOWER BEDS ARE TO BE REFURBISHED AND/OR TRIMMED PRIOR TO DELIVERY TO TENANT.
- 10.) PARKING LOT LIGHTING ILLUMINATION TO BE PER CODE AND IN STRICT ADHERENCE TO PUBLIC SAFETY AT ALL TIMES. PHOTOMETRIC DESIGNS TO BE SUBMITTED TO TENANT FOR RECORD AND SHOULD REFLECT AVERAGES OF 4 FOOT CANDLES UNLESS DIFFERENT REQUIRED PER CODE.
- 11.) THE SITE AND RELATED BUILDINGS AS REPRESENTED ON THE SITE PLAN MUST BE COMPLETED UPON DELIVERY TO TENANT FOR TENANT'S WORK.

SHELL CONSTRUCTION:

- 1.) BUILDING SHELL AND COMPONENT CONSTRUCTION SHALL MEET THE CURRENT LOCAL ENERGY CONSERVATION CODE FOR AN ENERGY EFFICIENT BUILDING ENVELOPE FOR CONDITIONED MERCANTILE SPACE.
- 2.) LANDLORD TO PROVIDE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DETAILING THE EXISTING AND NEW CONSTRUCTION, WHICH SHALL INCLUDE EXTERIOR WALL MATERIALS AND DETAILS, ROOF SUPPORT STRUCTURE TYPE INCLUDING AC ROOF TOP STRUCTURAL SUPPORT DETAILS AND CLEARANCE FROM FINISHED FLOOR TO UNDERSIDE OF STRUCTURE, ROOF SYSTEM AND DETAIL, FOOTINGS, SLABS, ENTRY FACADE DESIGNS, RECEIVING DESIGN/DETAILS, AND ALL EMERGENCY AND SERVICE ENTRANCES OR EXITS.
- 3.) ROOF SYSTEM TO BE INSULATED AS REQUIRED BY CODE, INSPECTED AND CERTIFIED IN GOOD CONDITION AND WARRANTABLE FOR TEN (10) YEARS FROM DELIVERY OF THE PREMISES TO TENANT. LANDLORD TO MAINTAIN THE ROOF IN ACCORDANCE WITH THE LEASE.
- 4.) PROVIDE REAR EGRESS DOOR(S), DOUBLE RECEIVING DOORS, AND HARDWARE PER TENANT'S PLANS. IF A LOADING DOCK IS BEING PROVIDED THE RECEIVING DOORS SHALL BE AT THE LOADING DOCK.
- 5.) ALL DOORS TO BE LOCATED PER TENANT'S PLANS.
- 6.) ANY EMERGENCY OR STOCKROOM EGRESS CORRIDORS, EXIT DOORS, EMERGENCY/EXIT LIGHTING AND ALARM DEVICES REQUIRED TO FACILITATE THE FIT OUT, ARE THE LANDLORD'S SOLE COST AND RESPONSIBILITY.

DEMISING WALLS:

- 1.) THE DEMISING WALLS AT A MINIMUM SHALL BE CONSTRUCTED OF METAL STUDS 16" OC TO THE UNDERSIDE OF THE ROOF DECK AS SPECIFIED BY TENANT'S ARCHITECT.
- 2.) INSULATION TO BE MINIMUM OF R18 AND SOUND TRANSMISSION COEFFICIENT NOT LESS THAN STC40.
- 3.) WALLS TO BE FINISHED BOTH SIDES WITH 5/8" SHEETROCK, TAPED, FINISHED AND PAINTED WITH SHERWIN WILLIAMS 1004 PURE WHITE. FIRE RATING AND CAULKING TO BE ADHERED TO AND INSTALLED IF REQUIRED.

4.) ANY PROTRUSIONS OR COLUMNS IN THE DEMISING WALLS MUST BE FRAMED AROUND AND FINISHED TO PROVIDE STRAIGHT WALLS FOR THE PREMISES.

STANDARD STOREFRONT (FACADE):

- 1.) LANDLORD TO PROVIDE DETAILED ELEVATIONS AND SECTIONS OF THE FRONT FACADE AND SIGN STRUCTURE FOR TENANT'S COORDINATION AND APPROVAL.
- 2.) THE CANOPY SHALL PROVIDE A MINIMUM OF TWO (2) 20-AMP CIRCUITS FOR EACH SIGN.
- 3.) THE SOFFITS AT THE ENTRANCE TO THE PREMISES MUST HAVE ACCESS PANELS FOR SERVICE TO LIGHTING AND SIGNAGE AS NEEDED. LIGHTING TO BE PROVIDED UNDER ALL AWINGS AND CANOPIES. CONSISTENT ILLUMINATION ALONG THE ENTIRE SIDEWALK AREA IN FRONT OF THE PREMISES TO BE AS MUTUALLY AGREED UPON. THIS IS A STRICT DESIGN AND SAFETY CONCERN FOR THE TENANT.

4.) THE TEMPERED GLAZING AND ALUMINUM STOREFRONT FRAMING SYSTEM TO BE INSTALLED BY LANDLORD MUST BE CONSISTENT WITH THE SHOPPING CENTER. PROVIDE TWO NARROW STILE ALUMINUM GLAZED DOORS AND HARDWARE MEETING ADA REQUIREMENTS PER TENANT'S PLAN.

5.) IF REQUIRED BY CODE LANDLORD WILL BE RESPONSIBLE TO PROVIDE AN AIR CURTAIN. A VESTIBULE THAT MATCHES ADJACENT STOREFRONT FINISHES AND SPECIFICATIONS TO BE PROVIDED IF AIR CURTAIN DOESNT MEET CODE REQUIREMENTS.

FLOORING:

L) THE EXISTING SLAB (OR NEW SLABS) TO BE A MINIMUM 4" THICK REINFORCED SLAB. THE FINISH SHALL BE TROWEL FINISH AND THE SLAB IS ON GRADE OR STRUCTURAL DECK.

2.) LANDLORD SHALL PROVIDE THE SPECIFIED NEW FINISH ON THE SALES/CORRIDOR/STOCKROOM/MANAGERS OFFICE FLOOR THROUGH QUESTMARK FLOORING. CONTACT RON PRITT (484) 488-3048, RONALD.PRITT@CENTIMARK.COM. QUESTMARK MUST BE CONTACTED TO FULLY ESTABLISH THE SCOPE OF WORK REQUIRED. ITS REPRESENTATIVE MAY NEED TO VISIT THE PREMISES TO DETERMINE IF THE CONCRETE IS ACCEPTABLE FOR THE SPECIFIED DIAMOND QUEST POLISHING SYSTEM.

3.) DURING DEMOLITION, SPECIAL CARE MUST BE GIVEN WHEN REMOVING EXISTING FLOOR FINISH. ANY FLOOR REPAIRS TO BE COMPLETED WITH TRU-PC FLOOR REPAIR PRODUCT AT LANDLORD'S COST... ALL FLOORS MUST BE FREE OF ANY GLUES, MASTICS, AND PENETRATIONS SUCH AS BOLTS, STEEL, METALS, ETC. ALL PENETRATIONS MUST BE REMOVED OR RECESSED AT LEAST 1/8" BELOW THE CONCRETE SURFACE. ALL CONCRETE MUST BE IN GOOD CONDITION. IF THE CONCRETE LACKS INTEGRITY OR IS TOO FAR DAMAGED FOR PROPER FLOOR POLISHING BY QUESTMARK THEN, IT MUST BE CUT OUT AND REPLACED AT LANDLORD'S SOLE COST. THIS WILL BE DETERMINED BY THE FLOORING CONTRACTOR FOR ACCEPTANCE. ALL DAMAGE INCLUDING BLEMISHES, CRACKS, STAINS, CHIPS, OR OTHER IMPERFECTIONS SHALL BE REPAIRED PER TENANT'S SATISFACTION. CONCRETE REPAIRS/TRU-PC OVERLAYS ARE NOT PART OF THE QUESTMARK POLISHING SYSTEM BUT ARE STILL PART OF LANDLORD'S WORK. ALL PATCHED AREAS MUST MEET WITHIN 1/16" OF THE OVERALL FLOOR GRADE.

4.) ALL VOIDS NOT LARGE ENOUGH TO SECURELY ACCEPT A MATCHING CONCRETE PATCH SHALL BE FILLED WITH EPOXY TO ENSURE AN EVEN AND LEVEL FINISH.

5.) LANDLORD SHALL GRIND AND POLISH THE CONCRETE FLOOR TO TENANT'S SPECIFICATIONS BY CONTRACTING WITH QUESTMARK AS REFERENCED IN ITEM #2 ABOVE. THE COST TO APPLY THE QUESTMARK POLISHING SYSTEM SHALL BE CAPPED PER THE BELOW CHART BASED ON TOTAL SQUARE FOOTAGE.

TOTAL SQUARE FEET	PRICE FOR POLISH
0-8,500	\$ 30,000.00
8,505-10,500	\$ 36,000.00
10,501-12,500	\$ 42,000.00
12,501-14,500	\$ 48,000.00
14,501-16,500	\$ 54,000.00
16,501-18,500	\$ 60,000.00

6.) ANY CONCRETE AREAS OR SECTIONS THAT ARE DETERMINED TO BE UNACCEPTABLE AND WILL NOT PROVIDE THE SMOOTH TRANSITIONS REQUIRED (1/16" OVERALL TOLERANCE) SHALL BE CUT OUT, DOWELED BACK INTO THE EXISTING SLABS, AND RE-POURED.

7.) LANDLORD TO PROVIDE RESTROOM FINISHES PER TENANT'S PLANS.

STOCKROOM/EGRESS CORRIDOR:

- 1.) ALL INTERIOR WALLS TO BE CONSTRUCTED PER ALL APPLICABLE CODES AND SHALL BE LOCATED PER TENANT'S PLANS.
- 2.) LANDLORD TO PROVIDE A WALL SEPARATING THE SALES FLOOR FROM THE STOCKROOM/CORRIDOR PER TENANT'S PLANS. SEPARATION WALL WILL BE FROM THE FINISHED FLOOR TO THE ROOF DECK. FIRE RATING AND CAULKING TO BE ADHERED TO AND INSTALLED IF REQUIRED BY CODE.
- 3.) WALLS SHALL BE CONSTRUCTED OF METAL STUD FRAMING (AS SPECIFIED BY THE TENANT'S ARCHITECT). WALLS TO BE FINISHED BOTH SIDES WITH 5/8" SHEETROCK, TAPED, FINISHED AND PAINTED WITH SHERWIN WILLIAMS 1004 PURE WHITE.
- 4.) ALL WALLS TO BE PROPERLY PRIMED AND PAINTED WITH COVERAGE TO BE INCLUSIVE TO AVOID ANY BLEED THROUGH AND PROVIDE A CONSISTENT COVERAGE THROUGHOUT.
- 5.) ALL WALLS TO RECEIVE 6" BLACK VINYL BASE IN ALL AREAS.
- 6.) ALL BLOCKING IN THE WALLS TO BE FIRE TREATED BLOCKING.
- 7.) ANY PENETRATIONS THROUGH THE STOCKROOM/CORRIDOR WALL SHALL BE SEALED AND TREATED AS REQUIRED BY FOR EXAMPLE, IF AN HVAC DUCT PENETRATES THE WALL AND REQUIRES A FIRE DAMPER, THE LANDLORD WILL BE RESPONSIBLE TO PAY FOR AND INSTALL THE DAMPER.
- 8.) LL TO PROVIDE STOCKROOM AND CORRIDOR DOORS AND HARDWARE PER TENANT'S PLANS.

CEILINGS:

- 1.) THE SALES FLOOR AND STOCKROOM CEILINGS ARE TO BE OPEN TO THE STRUCTURE AND ROOF DECK AND PAINTED PER TENANT'S PLANS, INCLUDING ALL PIPING, DUCTWORK, FRAMING, ETC..
- 2.) MINIMUM CLEAR HEIGHT TO ALL STRUCTURE ABOVE ON THE SALES FLOOR FROM FINISHED FLOOR IS 12'-6" AFF.
- 3.) IF FIREPROOFING IS REQUIRED, LANDLORD MUST NOTIFY TENANT PRIOR TO LEASE EXECUTION TO DETERMINE IF THIS IS ACCEPTABLE.
- 4.) RESTROOMS/CORRIDOR CEILINGS, AND MANAGER'S OFFICE CEILING TO BE SHEETROCK FINISHED AND PAINTED AND FRAMED TO SUPPORT 50 PSF ON A PLYWOOD DECK ABOVE THEM.

TOILET ROOMS:

- 1.) LANDLORD SHALL PROVIDE ALL ADA COMPLIANT RESTROOM(S) FACILITIES AS REQUIRED BY ALL LOCAL, STATE, OR FEDERAL REGULATIONS APPLICABLE TO THIS SPECIFIC SITE.
- 2.) TOILET ROOM WALLS TO BE CONSTRUCTED AND LOCATED PER TENANT'S PLANS AND PER ALL APPLICABLE CODES.
- 3.) WALLS SHALL BE CONSTRUCTED OF METAL STUD FRAMING (AS SPECIFIED BY THE TENANT'S ARCHITECT). WALLS TO BE FINISHED BOTH SIDES WITH 5/8" SHEETROCK, TAPED, FINISHED AND PAINTED PER TENANT'S PLANS
- 4.) RESTROOM WALLS TO RECEIVE MOISTURE RESISTANT DRYWALL
- 5.) ALL WALLS TO BE PROPERLY PRIMED AND PAINTED WITH COVERAGE TO BE INCLUSIVE TO AVOID ANY BLEED THROUGH AND PROVIDE A CONSISTENT COVERAGE THROUGHOUT.
- 6.) WALLS TO HAVE FRP FROM FINISHED FLOOR TO 4'-6" AFF.

7.) ALL WALLS TO RECEIVE 6" BLACK VINYL BASE IN ALL AREAS.

8.) ALL BLOCKING IN THE WALLS TO BE FIRE TREATED BLOCKING.

9.) PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO BE INSTALLED PER TENANT'S PLANS

10.) LANDLORD TO PROVIDE VENTILATION FANS FOR EACH RESTROOM THAT IS EXHAUSTED OUTSIDE OF THE BUILDING PER TENANT'S PLANS.

11.) RESTROOMS TO HAVE SURFACE MOUNTED LIGHTS PER TENANT'S PLANS.

12.) LL TO PROVIDE TOILET ROOM DOORS AND HARDWARE PER TENANT'S PLANS.

MANAGER'S OFFICE:

1.) OFFICE WALLS TO BE CONSTRUCTED AND LOCATED PER TENANT'S PLANS AND PER ALL APPLICABLE CODES.

2.) LANDLORD TO PROVIDE WALLS WHICH SHALL BE CONSTRUCTED OF METAL STUD FRAMING (AS SPECIFIED BY THE ARCHITECT). WALLS TO BE FINISHED BOTH SIDES WITH 5/8" SHEETROCK, TAPED, FINISHED AND PAINTED WITH SHERWIN WILLIAMS 1004 PURE WHITE.

3.) ALL WALLS TO BE PROPERLY PRIMED AND PAINTED WITH COVERAGE TO BE INCLUSIVE TO AVOID ANY BLEED THROUGH AND PROVIDE A CONSISTENT COVERAGE THROUGHOUT.

4.) ALL WALLS TO RECEIVE 6" BLACK VINYL BASE IN ALL AREAS.

5.) ALL BLOCKING IN THE WALLS TO BE FIRE TREATED BLOCKING.

6.) LIGHTING TO BE SURFACE MOUNTED LIGHTS PER TENANT'S PLANS.

7.) LANDLORD TO PROVIDE AND INSTALL ALL ELECTRICAL OUTLETS AS PER TENANT'S PLANS. LANDLORD IS RESPONSIBLE TO PROVIDE ALL OTHER OUTLETS AS REQUIRED PER CODE.

8.) LL TO PROVIDE MANAGER'S OFFICE DOORS AND HARDWARE PER TENANT'S PLANS.

PLUMBING:

1.) LANDLORD TO PROVIDE A BELOW SLAB SANITARY LINE, 4" MINIMUM. IF THE LINE IS EXISTING, LANDLORD TO PROVIDE PROFESSIONAL CLEANING OF THE LINE OUT TO THE FIRST STRUCTURE ON THE EXTERIOR OF THE BUILDING. PROVIDE CERTIFICATION THAT THE LINE IS CLEANED AND NOT DAMAGED IN ANY WAY. CERTIFICATION OF SANITARY LINES TO BE COMPLETED 1 WEEK BEFORE DELIVERY OF SPACE.

2.) LANDLORD TO PROVIDE A MINIMUM 3/4" WATER SERVICE LINE FOR DOMESTIC AND THE APPROPRIATE SERVICE FOR FIRE SUPPRESSION.

3.) LANDLORD TO PROVIDE ALL ROUGH IN FOR WATER AND SANITARY LINES PER TENANT'S PLANS. ALSO PROVIDE AN ELECTRIC WATER HEATER AND MOP SINK WITH FAUCET/HOSE FOR THE MOP SINK PER TENANT'S PLANS.

4.) PROVIDE ADA COMPLIANT WATER FOUNTAINS. LOCATIONS TO COINCIDE WITH TENANT'S FIXTURE PLAN.

5.) PROVIDE FRP FROM FINISHED FLOOR TO 4'-6" AFF BEHIND FOUNTAIN AND MOP SINK.

FIRE PROTECTION SYSTEM:

1.) LANDLORD TO PROVIDE A COMPLETE PROTECTED WET SPRINKLER FIRE PROTECTION SYSTEM PER CODE. SYSTEM CANNOT BE BELOW 12'-6" AFF TO ENABLE TENANT TO STORE MERCHANDISE ON THE SALES FLOOR UP TO 10' AFF AND IN THE STOCK ROOM UP TO 12' AFF.

2.) LANDLORD TO VERIFY THAT ADEQUATE PRESSURE AND FLOW IS AVAILABLE. IF A FIRE PUMP IS REQUIRED, THE LANDLORD WILL BE RESPONSIBLE FOR THE COSTS AND INSTALLATION.

3.) SPRINKLER HEADS TO BE TURNED UPWARDS DUE TO THE OPEN CEILING SYSTEM.

4.) ALL OFFICES, RESTROOMS, CLOSETS, ETC. MUST HAVE HEADS AS REQUIRED BY CODE.

5.) ANY REVISIONS TO THE SPRINKLER GRID SYSTEM TO ACCOMMODATE THE STOCKROOM WALL AND STOCKROOM ARE THE LANDLORD'S RESPONSIBILITY AND EXPENSE.

6.) IF A SMOKE EVACUATION SYSTEM IS REQUIRED, LANDLORD SHALL INSTALL AT ITS SOLE COST.

7.) IF REQUIRED BY CODE, LANDLORD SHALL PROVIDE AND INSTALL A FIRE ALARM SYSTEM IN ACCORDANCE WITH ANY AND ALL CODES, WITH THE FIRE PANEL MONITORED BY CELL SERVICE. IF A CENTRAL STATION FIRE ALARM IS REQUIRED, THE MONITORING SERVICES WILL BE PROVIDED BY THE LANDLORD AT LANDLORD'S EXPENSE INCLUDING TESTING AND MAINTENANCE OF THE SYSTEM. ANY TENANT ALTERATIONS OR MODIFICATIONS SHOWN ON THE INITIAL SET OF FIT UP DRAWINGS TO THE PREMISES WHICH REQUIRE ALTERATIONS OR ADJUSTMENT TO THE FIRE ALARM SYSTEM SHALL BE PERFORMED BY THE LANDLORD'S FIRE ALARM CONTRACTOR AT LANDLORD'S EXPENSE. ANY ALTERATIONS OR MODIFICATIONS TO THE PREMISES AFTER FIT OUT THAT ARE AT THE TENANT'S REQUEST WHICH REQUIRE ADJUSTMENT TO THE FIRE ALARM SYSTEM SHALL BE PERFORMED BY LANDLORD'S FIRE ALARM CONTRACTOR AT TENANT'S EXPENSE.

HEATING AND AIR CONDITIONING:

1.) LANDLORD TO PROVIDE AND INSTALL NEW MANUFACTURED, COMMERCIAL ROOF MOUNTED CONCENTRIC GAS HEATING AND ELECTRIC COOLING UNITS CONSISTING OF COMBINATIONS OF 10 TON AND 7.5 TON UNITS THRU FIVE BELOW'S NATIONAL ACCOUNT AS SHOWN ON TENANT'S PLANS AND LOCATED PER TENANT'S PLANS. ALL NEW HEATING AND COOLING EQUIPMENT TO HAVE A MINIMUM FIVE (5) YEAR WARRANTY FOR COMPRESSORS AND HEAT EXCHANGERS. TWO (2) YEAR WARRANTY FOR PARTS AND LABOR, AND ONE (1) YEAR WARRANTY ON THE COMPLETE AIR FILTERS TO BE NEW AND CHANGED UPON THE DAY OF DELIVERY TO TENANT. A COMPLETE AIR BALANCE REPORT SHALL BE PROVIDED PRIOR TO DELIVERY OF THE PREMISES.

2.) LANDLORD TO UTILIZE CONCENTRIC DIFFUSERS ON THE SALES FLOOR AND MAINTAIN MINIMUM 12'-6" AFF TO THE BOTTOM OF THE DIFFUSERS.

3.) ALL OFFICES, STOCKROOM, AND RESTROOMS TO HAVE DUCTED SYSTEMS SIZED ACCORDING TO THE SPACE. ALL DUCTWORK TO BE INSULATED.

4.) LANDLORD TO PROVIDE RTU SITESAGE SMARTSTAT 46 THERMOSTATS AND REMOTE SENSORS, LOCATIONS PER THE TENANT'S PLANS.

5.) INCLUDED IN LANDLORD'S WORK ARE ALL ELECTRIC AND GAS SERVICES AND APPROPRIATE DISCONNECTS, ALL HOME RUNS AND BREAKERS FOR THIS EQUIPMENT, AND A COMPREHENSIVE AIR BALANCE REPORT UPON COMPLETION.

6.) LANDLORD TO PROVIDE A GAS FIRED REZNOV UNIT HEATER IN THE STOCKROOM AREA OR CEILING RECESSED UNIT HEATER IN CORRIDOR BASED ON TENANT'S PLANS.

7.) ANY FIRE DAMPERS, ETC., REQUIRED FOR THE PREMISES TO MEET CODE ARE INCLUDED IN LANDLORD'S WORK.

8.) LANDLORD TO PROVIDE THE COMPLETE HEATING AND COOLING PACKAGE TO FACILITATE THE MINIMUM CFM'S AS SHOWN IN TENANT'S PLANS FOR THE RESTROOM, MANAGER'S OFFICE, STOCKROOM, ETC.

ELECTRICAL WORK:

L) ELECTRIC SERVICE WILL BE A 400-AMP 120/208 SEPARATELY METERED ELECTRIC SERVICE TO THE PREMISES. A MINIMUM OF 42 CIRCUIT BREAKERS IS REQUIRED. IN THE EVENT THAT ELECTRICAL SERVICE IS REQUIRED TO SUPPORT THE HEATING ELEMENTS IN THE HVAC SYSTEMS, ELECTRICAL SERVICE TO BE UPGRADED TO ACCOMMODATE A MINIMUM OF 600-AMP 120-AMP 120/208

2.) IN THE EVENT THAT 277/480 IS PROVIDED, LANDLORD TO PROVIDE A STEPDOWN TRANSFORMER AND ADDITIONAL PANEL COVERAGE. ALL TRANSFORMERS IN THE PREMISES ARE TO BE HUNG FROM THE ROOF STEEL OFF OF THE FLOOR IF PERMITTED BY CODE.

3.) IF ELECTRIC SERVICE IS THE SHOPPING CENTER STANDARD FOR THE HVAC SYSTEM OR IF EXISTING ELECTRIC ROOF TOP UNITS ARE RE-USED BY TENANT, THEN LANDLORD SHALL PROVIDE THE ADDITIONAL ELECTRIC SERVICE AND BREAKERS REQUIRED FOR THE PREMISES.

4.) LANDLORD IS RESPONSIBLE FOR ALL INTERIOR AND EXTERIOR EMERGENCY LIGHTING, AND ALL REQUIRED EXIT LIGHTING COOPER UNIVERSAL (HIGH EFFICIENCY LED RED EXITS WITH BATTERY BACKUP IF PERMITTED PER CODE).

5.) LANDLORD WILL BE REQUIRED TO OBTAIN BUILDING DEPARTMENT, FIRE DEPARTMENT, AND LIFE SAFETY APPROVALS ON ALL EMERGENCY LIGHTING AND EXIT LIGHTING.

6.) LANDLORD SHALL SUPPLY AND INSTALL SALES FLOOR LIGHTING PER TENANT'S PLANS

7.) LANDLORD SHALL SUPPLY AND INSTALL STOCKROOM LIGHTING PER TENANT'S PLANS.

8.) THE LANDLORD'S COST FOR SUPPLYING THE LIGHTING INCLUDES, BUT IS NOT LIMITED TO, PACKAGING, FREIGHT, HANDLING AND TAXES, AND SHALL NOT EXCEED \$35,000.00.

9.) ALL LIGHTS TO BE WIRED TO SWITCHES AND ON AN 2HR OVERRIDE BY THE STOCKROOM DOOR PER TENANT'S PLANS.

10.) LANDLORD SHALL PROVIDE ADEQUATE NIGHT LIGHTING FIXTURES AND CIRCUITRY PER THE TENANT'S PLANS.

11.) MANAGER'S OFFICE AND RESTROOM LIGHTING LISTED UNDER THESE ROOMS ABOVE.

12.) LIGHTS MUST BE PURCHASED FROM FIVE BELOW'S NATIONAL ACCOUNT LIGHTING VENDOR AS SHOWN ON TENANT'S PLANS

13.) LANDLORD TO PROVIDE JUNCTION BOXES, OUTLETS, AND ALL CIRCUITS AROUND THE PERIMETER OF THE SALESFLOOR FOR TENANT TO EXTEND AS SHOWN ON THE PROTOTYPE PLANS.

14.) LANDLORD TO PROVIDE AND INSTALL ONE GFCI OUTLET IN THE RESTROOMS. LANDLORD TO ALSO PROVIDE SEPARATE AND DEDICATED CIRCUIT FOR THE DRINKING FOUNTAIN.

15.) LANDLORD TO PROVIDE 24-HOUR TIME CALENDAR CLOCKS PER TENANT PLANS.

16.) LANDLORD TO PROVIDE BOTH PRODUCT AND INSTALLATION OF TENANTS ENERGY MANAGEMENT SYSTEM DIRECTLY FROM POWERHOUSE. LANDLORD WILL BE RESPONSIBLE FOR ANY REQUIRED LOW VOLTAGE PERMITS REQUIRED FOR THE ENERGY MANAGEMENT SYSTEM.

17.) LANDLORD TO PROVIDE AND INSTALL BOTH FRONT AND REAR DOORBELLS WITH ENUNCIATOR IN STOCKROOM AND ABOVE CASH WRAPS PER TENANT'S PLANS.

18.) LANDLORD'S ELECTRICIAN TO PROVIDE EMPTY BOXES, CONDUIT AND ALL PULL STRINGS FOR TENANT'S ALARM AND SOUND SYSTEM AS SHOWN OR DESIGNATED ON TENANT'S PLANS.

COMMUNICATIONS:

1.) LANDLORD TO PROVIDE 2" CONDUIT WITH PULL STRING TO EXTEND FROM LANDLORD'S ACTIVE COMMUNICATIONS JUNCTION BOARD TO A POINT WITHIN TENANT'S STOCKROOM AS INDICATED ON TENANT'S PLANS.

SIGN WORK:

1.) TENANT'S EXTERIOR STOREFRONT SIGN DRAWINGS ARE ATTACHED TO THE LEASE AS EXHIBIT "D" (SIGNAGE EXHIBIT) AND ARE APPROVED BY THE LANDLORD.

2.) LANDLORD TO PROVIDE ATTACHMENT GROMMETS ON THE STOREFRONT FOR TEMPORARY BANNER PURPOSES, AS PER THE REFERENCED EXHIBIT "D" ("SIGNAGE EXHIBIT").

3.) TENANT'S EXTERIOR STOREFRONT SIGN DESIGN, ENGINEERING, AND PERMITTING SHALL BE BY OTHERS.

GENERAL PROVISIONS:

1.) UPON COMMENCEMENT OF LANDLORD'S WORK, AND UNTIL TENANT OPENS FOR BUSINESS, TENANT MAY PLACE SIGNS IN A PROMINENT AND VISIBLE LOCATION NEAR THE PREMISES THAT ANNOUNCES, "COMING SOON -- FIVE BELOW, NOW HIRING, GRAND OPENING MONTH/DAY/TIME AND NOW OPEN." THE DESIGN OF SUCH SIGNS INCLUDING THE SIZE LETTERS SHALL BE SUCH THAT IT WILL BE EASILY LEGIBLE UP TO 100 FEET AWAY.

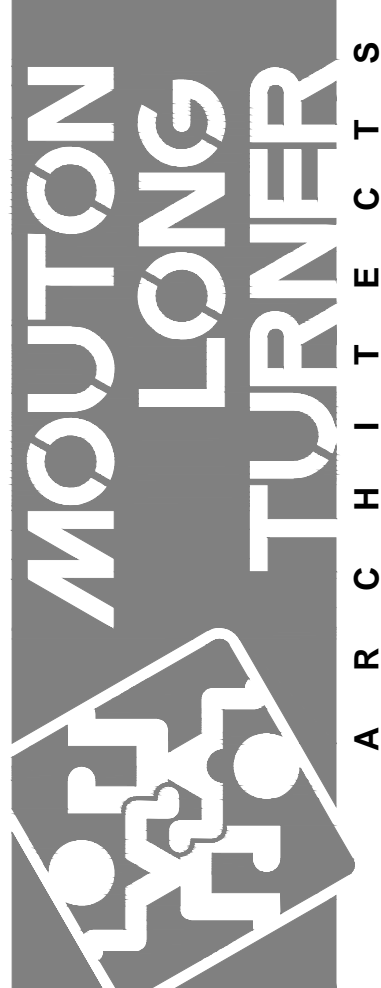
2.) LANDLORD SHALL NOTIFY TENANT IN WRITING OF THE INTENDED DELIVERY DATES OF THE PREMISE AT LEAST SIXTY (60) DAYS PRIOR TO DELIVERY. SUBJECT TO ARTICLE 3 OF THE LEASE, IF DELIVERY NOTICE IS NOT RECEIVED AT LEAST SIXTY (60) DAYS PRIOR TO COMMENCEMENT OF TENANT'S BLACK OUT PERIOD, THEN TENANT SHALL NOT BE REQUIRED TO ACCEPT POSSESSION UNTL AFTER THE BLACK OUT PERIOD HAS EXPIRED.

3.) ON OR BEFORE THE DELIVERY DATE TENANT'S REPRESENTATIVE SHALL WALK THE PREMISES WITH THE LANDLORD'S REPRESENTATIVE. AT THIS TIME A PUNCH LIST WILL BE CREATED OF THE MINOR ITEMS THAT HAVE NOT BEEN COMPLETED IN A SATISFACTORY MANNER. A COPY OF THIS PUNCH LIST WILL BE PROVIDED TO THE LANDLORD. LANDLORD SHALL COMPLETE ALL OUTSTANDING ITEMS LISTED ON THE PUNCH LIST WITHIN FIVE (5) BUSINESS DAYS FROM THE DATE THAT TENANT ACCEPTS POSSESSION OF THE PREMISES. IF THE LANDLORD HAS NOT COMPLETED THE PUNCH LIST ITEMS TO TENANT'S SATISFACTION WITHIN SUCH FIVE (5) DAY PERIOD, TENANT WILL BE ENTITLED TO ONE (1) DAY OF FREE RENT FOR EVERY DAY THE OUTSTANDING ITEMS ARE NOT COMPLETED. WEEKENDS AND HOLIDAYS INCLUDED. TENANT MAY COMPLETE SAME (ONLY AT TENANT'S DISCRETION), AND LANDLORD SHALL REIMBURSE TENANT WITHIN TEN (10) DAYS OF RECEIPT OF INVOICE. TENANT MAY DEDUCT SUCH AMOUNT FROM RENT DUE TO LANDLORD UNTIL THE AMOUNT DUE TENANT IS FULLY RECOVERED.

4.) UPON EXECUTION OF THE LEASE, A WEEKLY UPDATE VIA E-MAIL TRANSMISSION IS DUE TO THE TENANT REPRESENTATIVE EVERY THURSDAY BY 5:00 PM EST. THE WEEKLY UPDATE SHALL INCLUDE THE FOLLOWING: (i) THE CONSTRUCTION SCHEDULE, INCLUDING UPDATES AND CURRENT STATUS AND TIMELINES FOR ALL TRADES AND DELIVERIES; (ii) SUFFICIENT DIGITAL PHOTOS DEPICTING ALL PROGRESS; (iii) A MINIMUM OF FIFTEEN (15) PHOTOS TAKEN FROM THE SAME SPOT EVERY WEEK SHOWING OVERALL PROGRESS; AND (iv) ANY ADDITIONAL REQUESTED PHOTOS THE TENANT REPRESENTATIVE REQUIRED TO SHOW THE PROJECT'S OVERALL STATUS.

5.) UPON COMPLETION OF LANDLORD'S WORLD, LANDLORD SHALL PROVIDE TO TENANT, A LIST CONTAINING ALL CONTACT NAMES, ADDRESSES, PHONE NUMBERS, AND EMAIL ADDRESSES FOR ALL TRADES, SUPPLIES, BUILDING OFFICIALS, AND ON-SITE LANDLORD REPRESENTATION. LANDLORD SHALL ALSO PROVIDE, AT LANDLORD'S SOLE COST AND EXPENSE TWO (2) FULL SETS OF ALL AS BUILT DRAWINGS FOR ALL TRADES.

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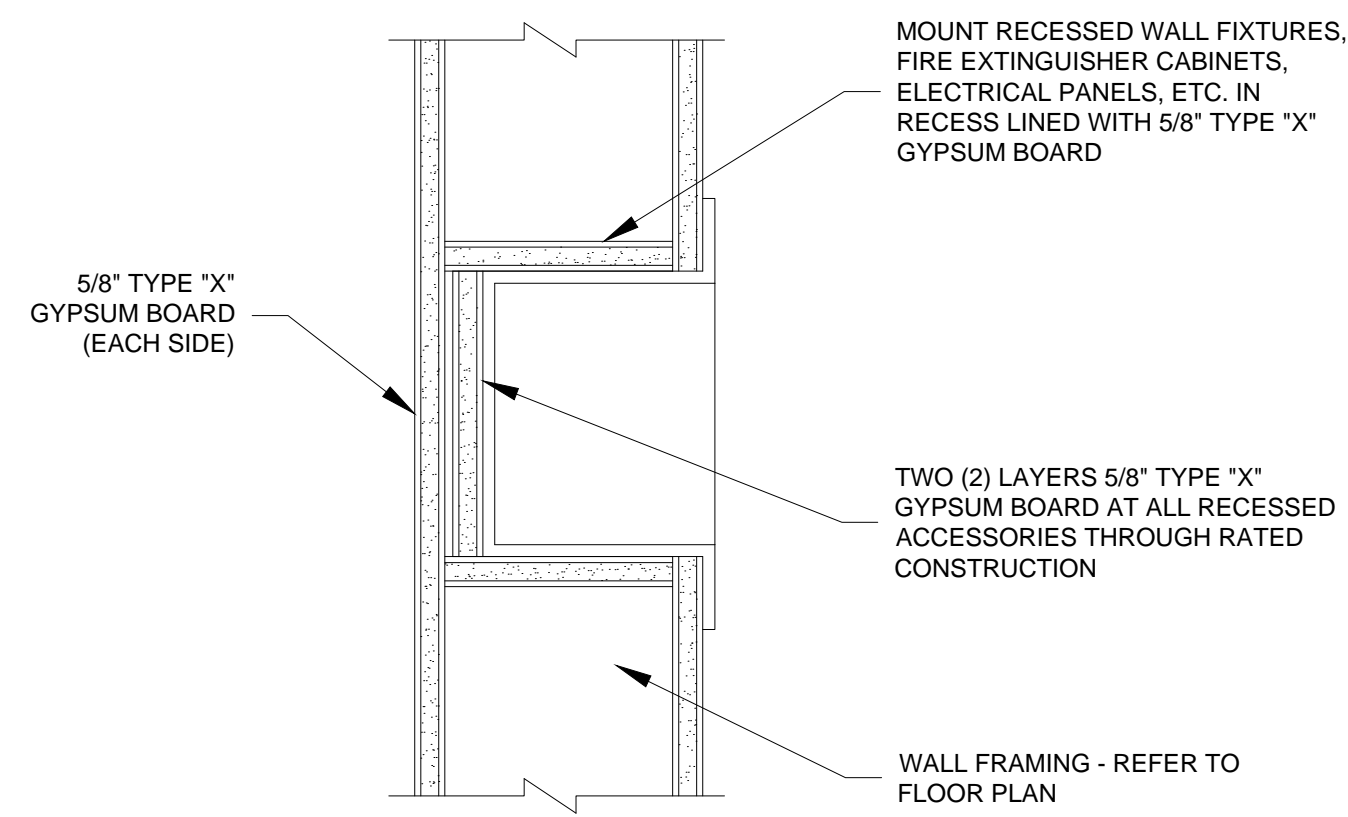
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11/11/25 Seal

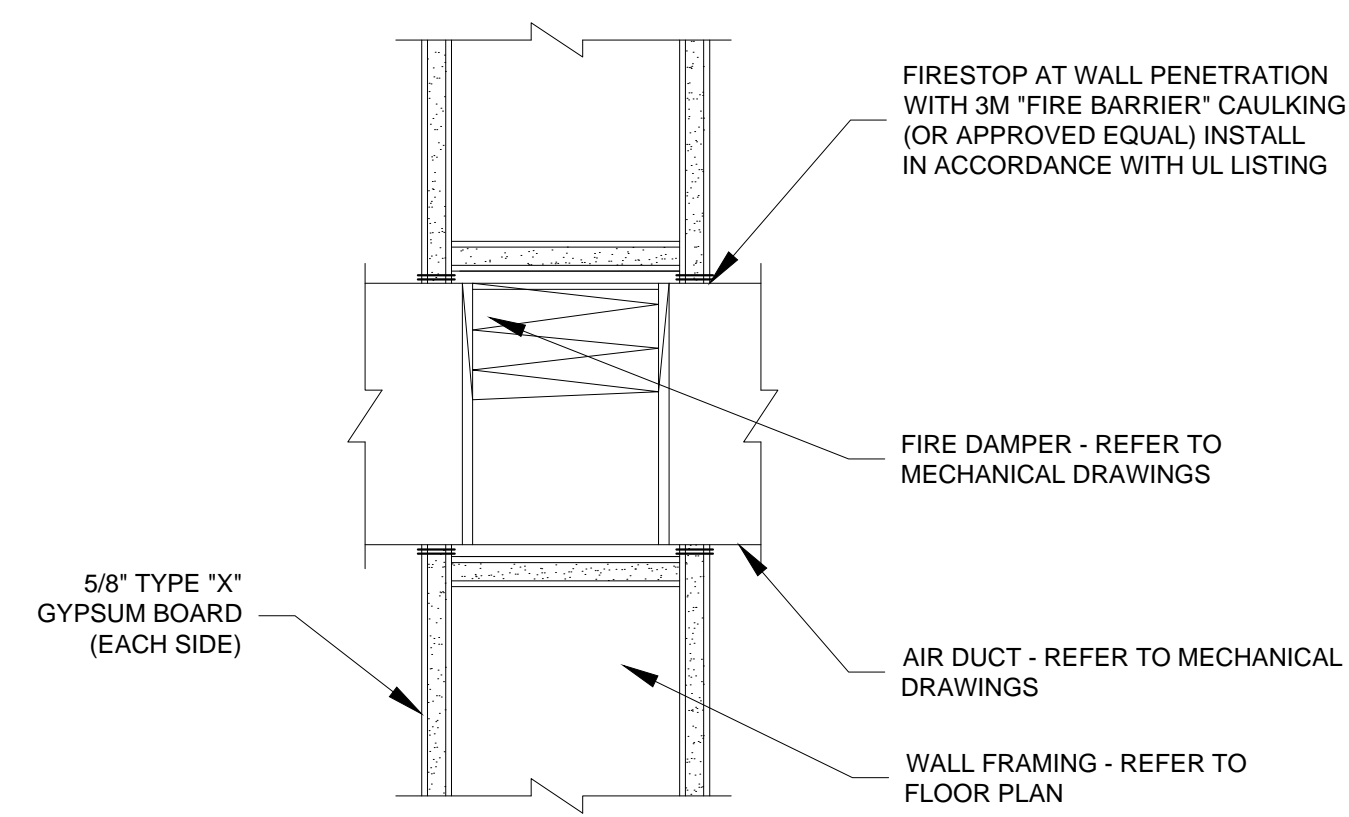
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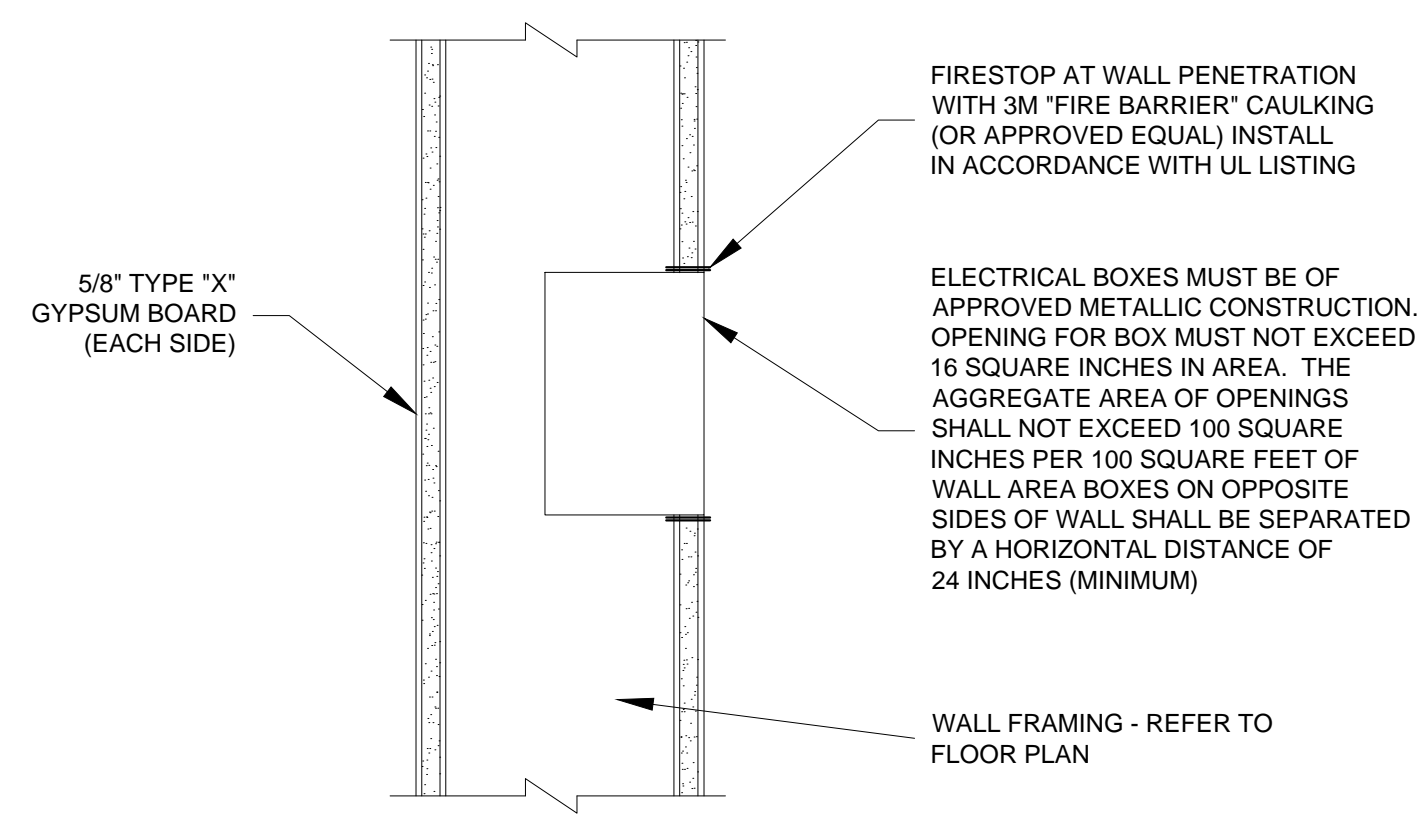
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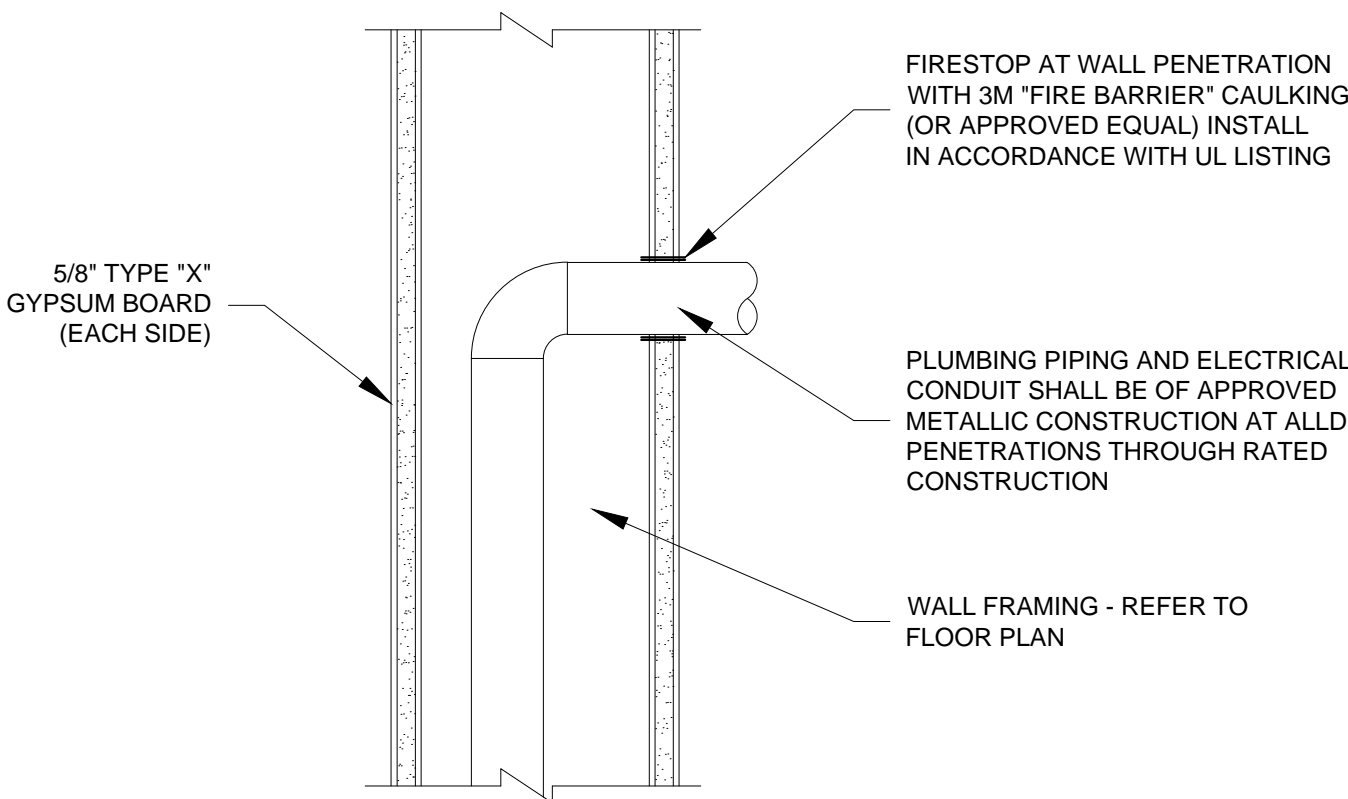
RECESS AT RATED WALL



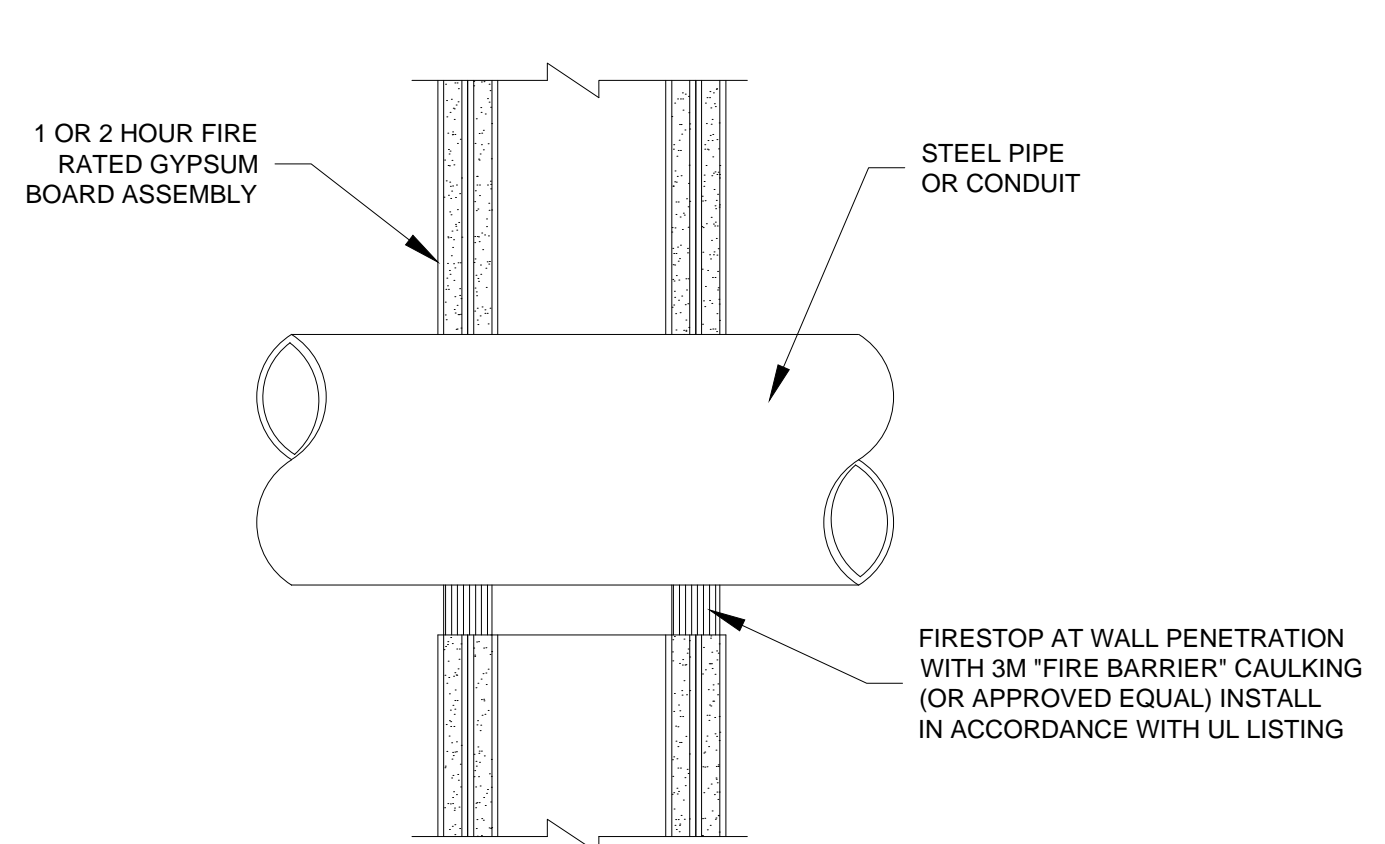
DUCT AT RATED WALL



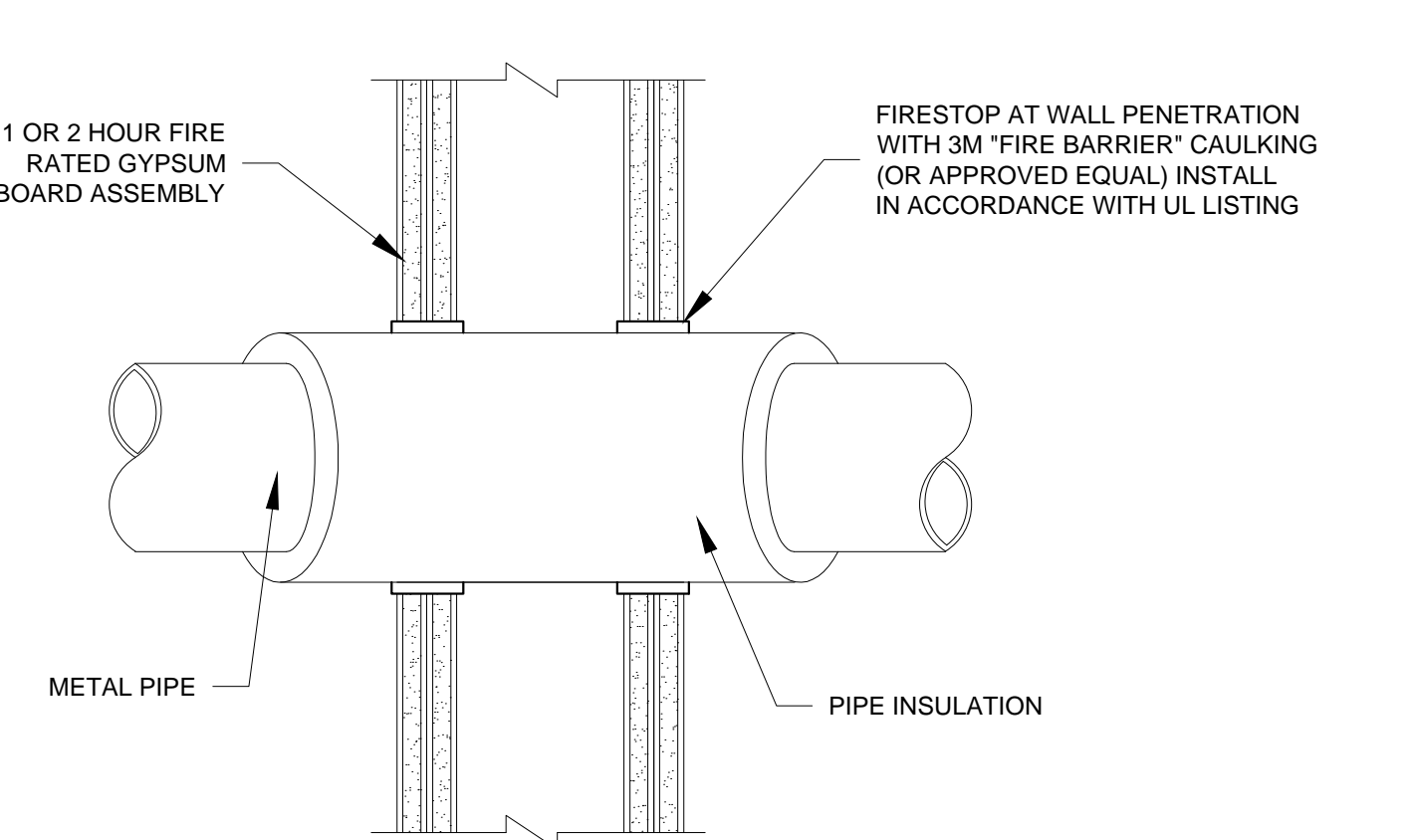
ELEC. BOX AT RATED WALL



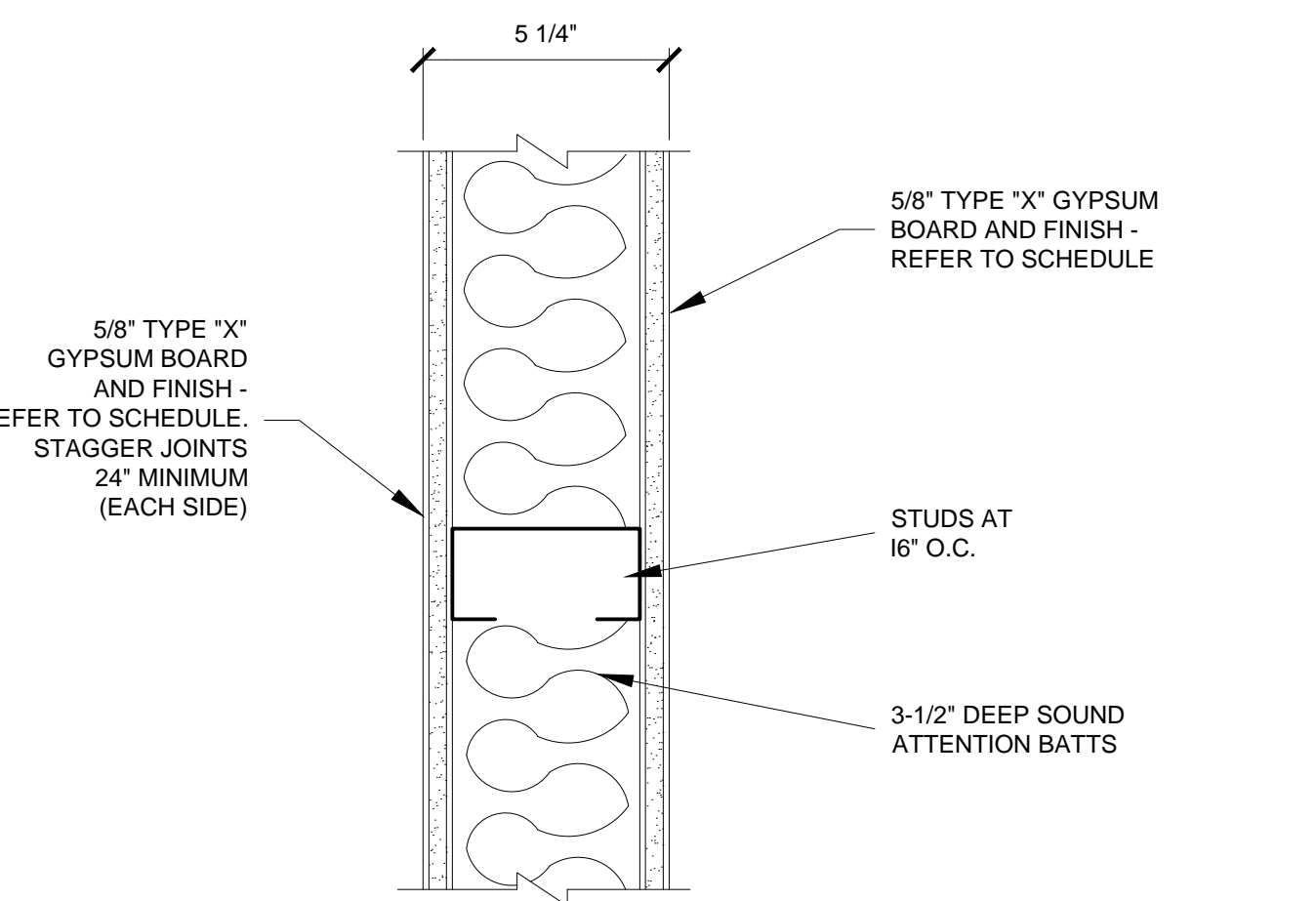
PIPING AT FIRE RATED WALL



PIPING AT RATED WALL



PIPING AT RATED WALL



SOUND RATED PARTITION

THROUGH-PENETRATION FIRESTOP SYSTEMS

ALL PENETRATIONS THROUGH 1 HOUR SEPARATIONS MUST CONFORM TO THE FOLLOWING:

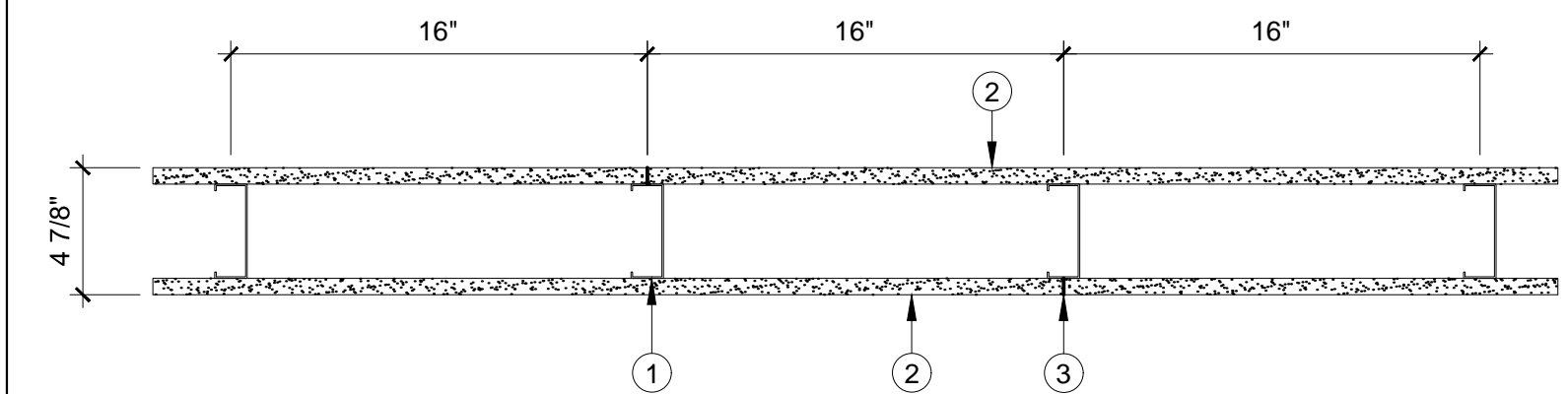
PENETRATING ITEM

- ELECTRICAL METALLIC TUBING (EMT)
- INTERMEDIATE METAL CONDUIT (IMC)
- COPPER TUBING
- COPPER PIPE
- FLEXIBLE METAL CONDUIT
- LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT
- RIGID NONMETALLIC PVC CONDUIT
- ELECTRICAL NONMETALLIC TUBING (ENT)
- CROSSLINKED POLYETHYLENE (PE) TUBING
- SOLID CORE POLYVINYL CHLORIDE (PVC) PIPE
- CELLULAR CORE POLYVINYL CHLORIDE (PVC) PIPE
- CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
- SOLID CORE ACRYLONITRILE BUTADIENE STYRENE (ABS) PIPE
- CELLULAR CORE ACRYLONITRILE BUTADIENE STYRENE (ABS) PIPE
- POLYBULYLENE (PB) PIPE

DOCUMENT

- UL 797
- UL 1242
- ASTM B 88
- ASTM B 42
- ASTM D 2737
- ASTM D 1785 AND D2665
- ASTM F 891
- ASTM F 442
- ASTM D 1527 AND D2661
- ASTM F 628
- ASTM D 3000
- UL 1
- UL 1660
- UL 651
- UL 1653

1 TYPICAL FIRESTOPPING DETAILS
GN4 NOT TO SCALE



1. MIN. 25 GAUGE 3-5/8" STEEL STUDS 16" O.C.
2. 5/8" GOLD BOND FIRE-SHIELD GYPSUM BOARD (FSW, FSW-C, FSW-6, eXP-C, FSK, FSK-C) APPLIED VERTICALLY OR HORIZONTALLY AND FASTENED TO STUDS AND TRACKS WITH 1" TYPE S SCREWS 16" O.C. (MAX 16). VERTICAL JOINTS CENTERED OVER STUDS AND STAGGERED 16" FROM OPPOSITE SIDE. HORIZONTAL JOINTS NEED NOT BE STAGGERED OR BACKED BY FRAMING.
3. JOINT TAPE AND COMPOUND OVER JOINTS AND FASTENER HEADS (OPTIONAL WHEN SQUARE EDGE BOARD IS USED)

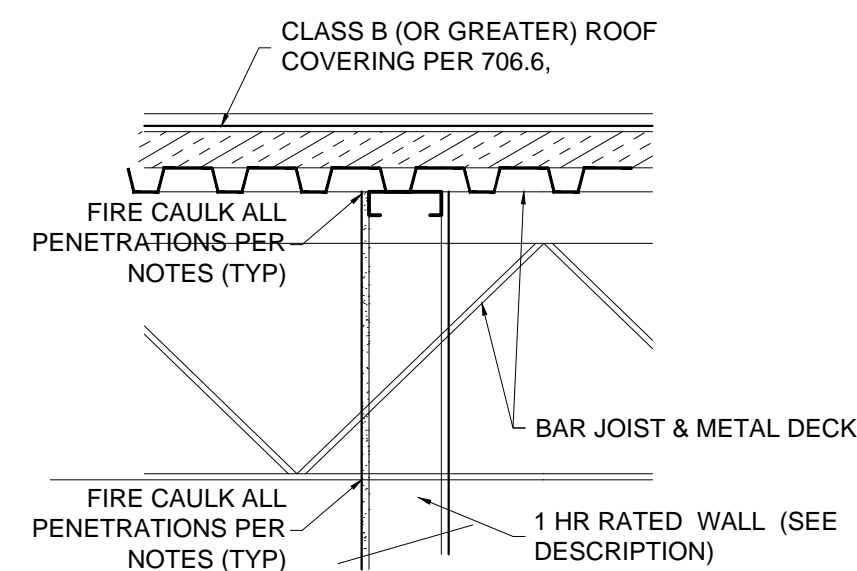
UL DESIGN: V438, U465

NON-LOADBEARING STEEL STUD PARTITION - 1 HOUR

VERTICAL CONTINUITY
EXTEND 1 HR FIRE RESISTANCE RATED WALLS TO THE UNDERSIDE OF THE METAL DECK. FIRE CAULK ALL OPENINGS.

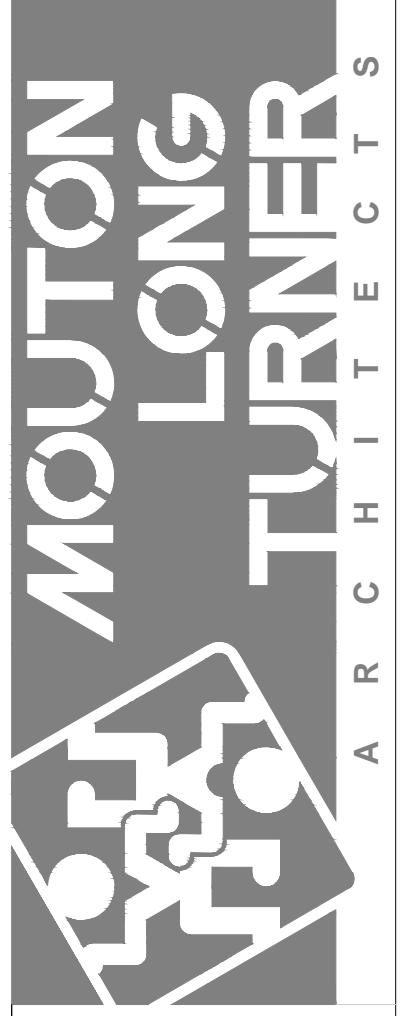
HORIZONTAL CONTINUITY
TERMINATE 1 HR FIRE RESISTANCE RATED WALLS AT THE INTERIOR SURFACE OF ADJACENT WALLS. FIRE CAULK ALL OPENINGS.

*** G.C. TO HIRE A FIRE PENETRATION SPECIALIST FOR ALL FIRESTOPPING REQUIREMENTS THROUGH RATED WALLS.**



2 WALL TO DECK
GN4 NOT TO SCALE

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Issued		
Date	To	Remarks
10-13-25		PERMITS

Revisions	
1	10-23-25 SIGN BAND
2	10-11-25 UPDATED LANDLORD LETTER

10/13/25 25-1885
Date Project No.
Drawing No.

GN4.0

PLUMBING GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE LATEST APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO 2021 INTERNATIONAL PLUMBING CODE, 2021 INTERNATIONAL MECHANICAL CODE, 2021 INTERNATIONAL ENERGY CONSERVATION CODE, 2020 NATIONAL ELECTRICAL CODE, NFPA 72, NFPA 90A, AND ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE EQUIPMENT CONNECTIONS WITH EQUIPMENT DRAWINGS AND SUPPLIER. INSTALL EQUIPMENT AND MAKE FINAL CONNECTIONS, FURNISHING CUTOFF VALVES, P-TRAPS, P.R.V'S, BACKFLOW PREVENTERS, AND PIPING AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY CONFLICTS BETWEEN THESE DOCUMENTS AND EQUIPMENT CUT SHEETS PRIOR TO CLOSING IN WALLS AND CEILINGS.
- COORDINATE WATER, WASTE, VENT, AND STORM WATER PIPING WITH OTHER TRADES TO AVOID SPACING OR ROUTING PROBLEMS.
- FIXTURES, EQUIPMENT, CONNECTIONS, AND PIPING SHALL BE FURNISHED AND INSTALLED TO MEET OR EXCEED STATE AND LOCAL CODES AND REQUIREMENTS.
- FURNISH AND INSTALL SHOCK ARRESTORS IN COLD WATER LINES AT CONNECTIONS TO FLUSH VALVES, QUICK CLOSING VALVES, AND AT ALL HOT AND COLD WATER CONNECTIONS TO FIXTURES.
- PLUMBING VENTS AND STACKS THROUGH ROOF SHALL BE INSTALLED A MINIMUM OF 10'-0" CLEAR OF A/C OUTSIDE AIR INTAKES, CLINICAL AIR COMPRESSOR INTAKES, OR WINDOWS IN STRUCTURE.
- PENETRATIONS THROUGH PARTITIONS AND FLOORS SHALL BE SLEEVED AND SEALED TO MAINTAIN INTEGRITY OF PARTITION AND FLOOR RATING.
- DRAWINGS ARE SCHEMATIC IN NATURE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EXACT ROUTING OF ALL SERVICES WITH EXISTING CONDITIONS AND WITH ALL OTHER TRADES.
- ORIENT FLUSH VALVE HANDLES ASSOCIATED WITH BARRIER-FREE WATER CLOSETS ON WIDE SIDE OF STALL TO COMPLY WITH ADA REQUIREMENTS.
- PROVIDE INSULATION KIT FOR SUPPLIES, DRAIN PIPING AND TRAP FOR ALL HANDICAP ACCESSIBLE LAVATORIES AND SINKS. INSULATION KIT SHALL BE EQUAL TO TRUEBRO MODEL 103 (WHITE). WHERE PROTECTIVE SKIRT UNDER FIXTURES IS PROVIDED, INSULATION OF PIPING IS NOT REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH PHASING REQUIREMENTS PROVIDED BY ARCHITECT/OWNER. TEMPORARY SERVICES SHALL BE PROVIDED FOR ANY AREA SERVED BY ANOTHER AREA IF DEMOLITION OF EXISTING SERVICE IS NECESSARY. COORDINATE ALL PLUMBING WORK WITH PHASING PLAN AS REQUIRED TO COMPLETE WORK.
- EXISTING SERVICES INDICATED ON THESE DRAWINGS WERE DERIVED FROM EXISTING DRAWINGS AND LIMITED FIELD OBSERVATIONS. THESE DRAWINGS MAY NOT BE ALL INCLUSIVE OF SERVICES THAT EXIST IN THE PROJECT AREA. CONTRACTOR SHALL VERIFY SERVICES, LOCATIONS, TYPE, AND SIZE PRIOR TO ANY BIDDING, PRICING, OR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INVOLVING DEMOLITION TIE-INS AND ROUTING CONFLICTS WITH EXISTING CONDITIONS. ANY DEVIATIONS IMPACTING WORK SHOWN ON THESE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR COORDINATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REROUTE ALL ACTIVE PLUMBING SERVICES IN CHASES OR WALLS TO BE REMOVED, TO NEW CHASE AREAS OR NEW WALLS AS REQUIRED.
- CONTRACTOR SHALL COORDINATE THE TEMPORARY DISRUPTION OF PLUMBING SERVICE IN THE FACILITY FOR THE CONVENIENCE OF THE OWNER. WORK SHALL BE DONE AT A TIME APPROVED BY THE OWNER.
- CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF PLUMBING FIXTURES AND/OR EQUIPMENT THAT ARE TO BE REMOVED TO THE OWNER. ALL ITEMS THAT THE OWNER WISHES TO RETAIN SHALL BE PLACED IN STORAGE AND THE REMAINDER SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- PROVIDE ISOLATION BALL VALVES AT BRANCH LINES SERVING EACH ROOM WITH PLUMBING FIXTURES SUCH THAT EACH ROOM MAY BE INDIVIDUALLY ISOLATED.
- PROVIDE CLEANOUTS AT ALL 90° SANITARY SEWER ELBOWS AND IN ACCORDANCE WITH APPLICABLE CODES.
- ALL SYSTEMS SERVING RENOVATED AREAS SHALL BE KEPT ACTIVE UNTIL NEW AND REROUTED SYSTEMS ARE READY FOR TIE-IN.
- EXISTING TIE-IN POINTS ARE APPROXIMATE. FIELD VERIFY ACTUAL TIE-IN POINTS AND PROVIDE PIPING RUNS AS REQUIRED FOR TIE-INS, PRIOR TO BIDDING.
- IN AREAS WHERE CEILINGS ARE BEING RAISED, CONTRACTOR SHALL REMOVE AND RE-ROUTE EXISTING PLUMBING AS REQUIRED TO AVOID CONFLICTS WITH NEW CEILING HEIGHTS.
- CONTRACTOR SHALL RE-ROUTE ALL ACTIVE PIPING PASSING THROUGH AREAS OF DEMOLITION TO NEAREST WALL OR CHASE, AND REMOVE ALL PIPING THAT IS INACTIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CLASSIFYING ALL PIPING IN SPACE. OWNER WILL ASSIST IF CONTRACTOR IS UNABLE TO DETERMINE FUNCTION OF SYSTEM.
- CONTRACTOR SHALL REMOVE ALL PIPING FROM WALLS THAT ARE BEING DEMISED. REMOVE PIPING BACK TO VALVE BOX AND CAP. REMOVE ALL VALVE BOXES THAT ARE IN WALLS THAT ARE BEING DEMISED. CAP PIPING ABOVE CEILING. COORDINATE ALL SHUTDOWNS WITH OWNER AND PERFORM SHUTDOWNS AT A TIME AND DURATION ALLOWED BY THE OWNER.
- ALL SANITARY SEWER, STORM DRAIN, AND GREASE WASTE PIPING SHOWN SHALL BE RUN BELOW FLOOR, UNLESS NOTED OTHERWISE.
- ALL CW, HW, HWR, NATURAL GAS, FIRE PROTECTION, AND VENT PIPING SHOWN SHALL BE RUN ABOVE CEILING, UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CONDITIONS, EXACT SIZES AND LOCATIONS OF EXISTING EQUIPMENT AND PIPING BEFORE DEMOLITION WORK IS BEGUN. REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO ARCHITECT PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
- REMOVE THE INDICATED PLUMBING ITEMS AS INDICATED ON PLANS. THESE ITEMS INCLUDE ALL ASSOCIATED HANGERS, STRAPS, CONTROLS, PADS, ELECTRICAL AND RELATED MATERIALS. CONTRACTOR SHALL CONSULT OWNER ON IDENTIFICATION OF THOSE EXISTING ITEMS WHICH THE OWNER WISHES TO RETAIN. THOSE ITEMS THAT THE OWNER WISHES TO RETAIN ARE TO BE DELIVERED TO STORAGE AS DIRECTED BY OWNER. ITEMS THAT THE OWNER DOES NOT WISH TO RETAIN SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- PATCH OPENING IN WALLS TO MAINTAIN THE INTEGRITY OF THE WALL WHERE DEVICES AND PIPING HAVE BEEN REMOVED.

SYMBOL SCHEDULE - PLUMBING

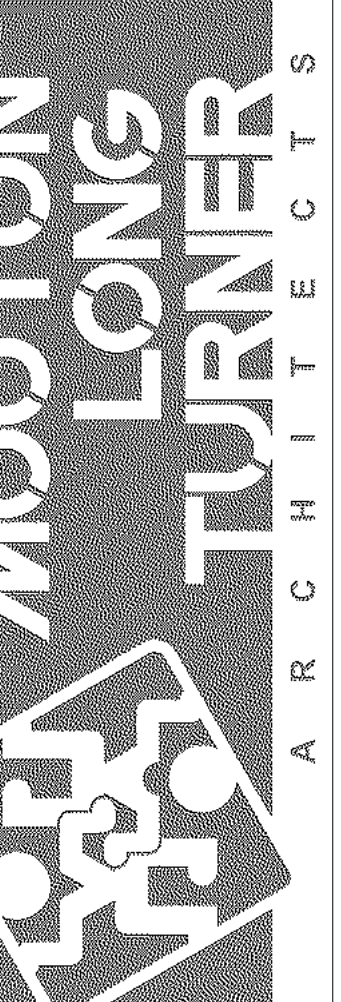
SYMBOL	DESCRIPTION
	EXISTING PIPING TO REMAIN
	EXISTING PIPING TO BE REMOVED
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	DOMESTIC HOT WATER PIPING AT INDICATED TEMPERATURE
	DOMESTIC HOT WATER RECIRCULATING
	DOMESTIC FILTERED WATER PIPING
	DRAIN PIPING
	SANITARY WASTE
	VENT PIPING
	GREASE WASTE
	STORM DRAIN PIPING
	STORM OVERFLOW DRAINAGE PIPING
	NATURAL GAS PIPING
	TEMPERED WATER PIPING
	POINT OF DISCONNECT
	POINT OF CONNECTION, NEW TO EXISTING
	EXTERIOR CLEANOUT
	FLOOR CLEANOUT
	EXTERIOR CLEANOUT
	ELBOW UP
	ELBOW DOWN
	DOMESTIC BRANCH PIPE CONNECTION
	TEE-OUTLET DOWN
	TEE-OUTLET UP
	PIPE REDUCER
	PUMP
	BACKFLOW PREVENTER
	GATE VALVE
	GLOBE VALVE
	BUTTERFLY VALVE
	BALL VALVE
	CONTROL VALVE, 2-WAY
	CONTROL VALVE, 3-WAY
	CHECK VALVE
	STRAINER
	STRAINER AND BLOWDOWN VALVE
	PLUG COCK/BALANCING VALVE/GAS COCK
	CIRCUIT SETTER
	PRESSURE REDUCING VALVE
	GAS PRESSURE REGULATOR
	UNION
	FLEXIBLE CONNECTOR
	PIPE CAP
	GAUGE AND GAUGE COCK
	THERMOMETER
	VALVE WITH BLIND FLANGE
	STEAM TRAP
	THERMOSTATIC EXPANSION VALVE

- NOTES:**
 1. ALL SYMBOLS & MODIFIERS SHOWN MAY NOT APPEAR ON DRAWING.
 2. COORDINATE ALL MOUNTING HEIGHTS AND FINAL LOCATIONS WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.

PLUMBING ABBREVIATIONS

AD	AREA DRAIN	KW	KILOWATT
AP	ACCESS PANEL	MBH	1000 BRITISH THERMAL UNITS PER HOUR
AFF	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
BEH	BEHIND	OD	OVERFLOW DRAIN
BOP	BOTTOM OF PIPE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
BMS	BUILDING MANAGEMENT SYSTEM	OSD	OPEN SITE DRAIN
BTUH	BRITISH THERMAL UNITS PER HOUR	PD	PRESSURE DROP
CONT.	CONTINUATION	PRV	PRESSURE REDUCING VALVE
COTG	CLEAN OUT TO GRADE	PSIG	POUNDS PER SQUARE INCH GAGE
COYB	CLEANOUT IN YARD BOX	RD	ROOF DRAIN
CW	DOMESTIC COLD WATER	RPM	REVOLUTIONS PER MINUTE
ECO	EXTERIOR CLEANOUT	SAN	SANITARY SEWER
ES/IEW	EMERGENCY SHOWER / EYEWASH	SD	STORM DRAIN
EWC	ELECTRIC WATER COOLER	TP	TRAP PRIMER
EWB	ELECTRIC WATER HEATER	TW	TEMPERED WATER
F	FAHRENHEIT	TYP.	TYPICAL
FCO	FLOOR CLEANOUT	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	VFD	VARIABLE FREQUENCY DRIVE
FMS	FACILITY MANAGEMENT SYSTEM	WB	WE BULB
FPWH	FREEZE PROOF WALL HYDRANT	WCO	WALL CLEANOUT
FT	FEET	W.G.	WATER GAGE
GPR	GAS PRESSURE REGULATOR	WH	WALL HYDRANT
HB	HOSE BIB	WHA	WATER HAMMER ARRESTOR
HP	HORSEPOWER	WPD	WATER PRESSURE DROP

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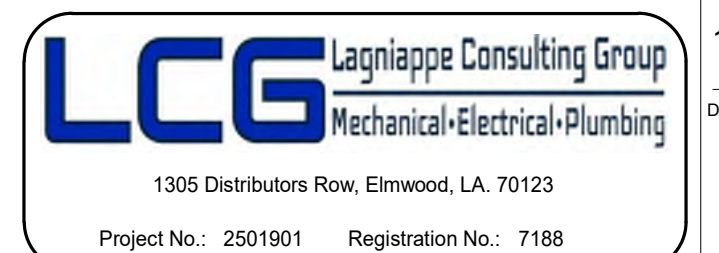
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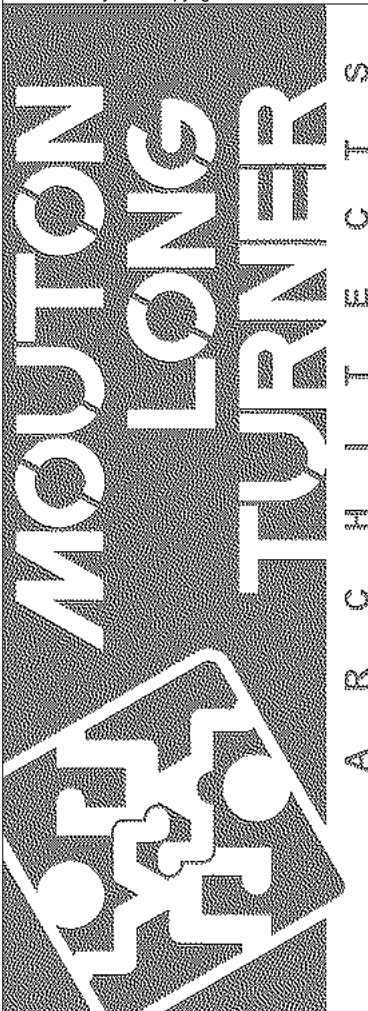
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Drawing No.

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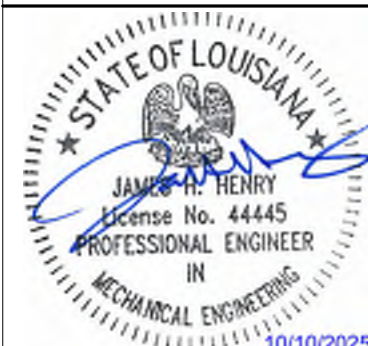
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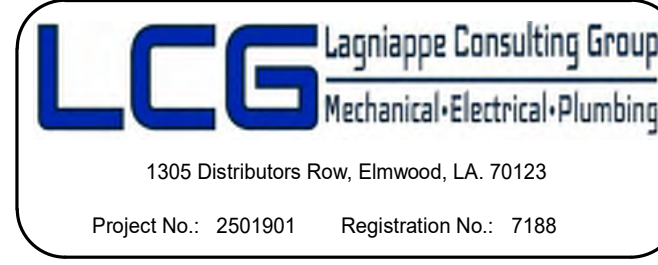
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PLUMBING SPECIFICATIONS



1305 Distributors Row, Elmwood, LA. 70123

Project No.: 2501901 Registration No.: 7188

EXECUTION

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL GOVERNING CODES AND ALL PRODUCTS INSTALLED AS DIRECTED BY THE MANUFACTURER THROUGH THEIR WRITTEN INSTRUCTIONS.

EXCAVATION AND BACKFILLING
DO ALL EXCAVATION AND BACKFILLING REQUIRED. TRENCHES SHALL BE WIDE ENOUGH FOR PROPER INSTALLATION OF THE PIPE. GRADE THE DITCH BOTTOM TO PROVIDE FOR PROPER SLOPE AND PROVIDE BELL HOLES TO ALLOW THE FULL BEARING OF THE PIPE BARREL. COMPLY WITH ALL HEALTH AND SAFETY RULES AND REGULATIONS RELATING TO EXCAVATING, DE-WATERING AND BACKFILLING.

DE-WATER TO EXTENT NECESSARY TO KEEP TRENCHES DRY AND TO PROVIDE PROPER COMPACTION UNDER ALL PIPES. CONTINUE DE-WATERING OPERATION UNTIL SYSTEM HAS BEEN TESTED, APPROVED, BACKFILLED AND COMPACTED.

EXCAVATE 6" BELOW THE PIPE AND FILL WITH CLEAN SAND UP TO THE PIPE GRADE.

BACKFILL TRENCHES WITH CLEAN SAND OR DIRT. REMOVE TRASH, DEBRIS AND CLUMPS FROM BACKFILL MATERIAL. TAKE CARE NOT TO DISTURB THE PIPE GRADE OR ALIGNMENT. COMPACT AROUND AND UNDER THE PIPE CAREFULLY. THE FILL SHALL BE COMPACTED IN 6" LAYERS WITH A POWER TAMPER TO ACHIEVE 95% COMPACTION. CLEAN UP AROUND THE DITCH AREA TO REMOVE TRASH AND ANY EXCESS DIRT.

NO EXCAVATION SHALL BE UNDER OR NEAR FOOTING WITHOUT APPROVAL OF THE ARCHITECT.

EVERY FIXTURE CONNECTION SHALL BE PROVIDED WITH A STOP VALVE. ALL FIXTURES EQUIPPED WITH QUICK CLOSING VALVES AND FLUSH VALVES SHALL BE PROVIDED WITH A PRE-MANUFACTURED SHOCK ABSORBER INSTALLED AT THE FIXTURE CONNECTION OR BATTERY WHEN MULTIPLE FIXTURES ARE SERVED BY A HEADER.

SOLDER TYPE FITTINGS
SOLDER TYPE FITTINGS FOR UNDERGROUND PIPING SHALL BE MADE USING 1000 DEGREE SILVER SOLDER APPLIED WITH THE PROPER FLUX AND TORCH. SOLDER TYPE FITTINGS FOR ABOVE GROUND PIPING SHALL BE MADE UP USING NO LEAD SOLDER.

DISINFECTION
DISINFECT ALL WATER PIPING IN ACCORDANCE WITH AWWA C601 AND LOCAL CODE REQUIREMENTS. PROVIDE SAMPLES OF, OR RESULT FROM THE DISINFECTION TEST, TO THE AUTHORITY HAVING JURISDICTION FOR THEIR FINAL APPROVAL PRIOR TO PUTTING THE DOMESTIC WATER SYSTEM INTO USE.

BUILDING DRAIN, WASTE AND VENT SYSTEM
EXTEND FROM THE CITY MAIN TO EVERY FIXTURE OR OUTLET REQUIRING A DRAIN. ARRANGE WITH THE LOCAL SEWERAGE DEPARTMENT FOR CONNECTION TO THEIR MAIN. PAY ALL FEES ASSOCIATED WITH THE NEW SERVICE, INCLUDING SIDEWALK AND ROADWAY RESTORATION COST.

THE SANITARY WASTE AND VENT SYSTEM SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS WITH CHANGES ON THE JOB ANY MAJOR CHANGE FROM THAT SHOWN ON THE DRAWINGS SHALL BE AS REQUIRED TO MEET JOB CONDITIONS. SUBMITTED FOR APPROVAL TO THE ARCHITECT.

EXTEND VENT STACKS 12" ABOVE THE ROOF INSTALLED BY THE ROOFING CONTRACTOR. CONTRACTOR AND FLASH WITH LEAD FLASHING FURNISHED BY THIS CONTRACTOR AND TOP OF FLASHING SHALL BE TURNED DOWN INTO THE STACK BY THIS CAST IRON PIPE FITTINGS

PIPE SHALL BE LAID IN THE DIRECTION OF FLOW. NOT LESS THAN THE FOLLOWING: 1/4 INCH PER FOOT. SOIL, WASTE AND VENT PIPING 3" AND SMALLER LARGER DRAINAGE PIPING - 1/8 INCH PER FOOT.

GENERAL INSTALLATION OF PIPES
ALL THREADED PIPES SHALL BE REAMED TO REMOVE ALL CUTTING LIPS FROM THE INSIDE EDGE AND SHALL BE THREADED WITH CLEAN DIES TO THE PROPER DEPTH. CUTS SHALL BE CLEAN AND NOT GOUGH OR ROUGH. APPLY LUBRICANT TO MALE THREAD ONLY. ALL COPPER PIPES SHALL BE REAMED TO REMOVE ALL CUTTING LIPS FROM THE INSIDE EDGE OF THE PIPE OR TUBE.
PIPE SHALL BE LAID OR SUPPORTED IN A STRAIGHT AND TRUE MANNER WITH FITTINGS USED TO MAKE ALL CHANGES IN DIRECTION.

INSTALL ALL VALVES, CIRCUIT SETTERS, ETC. PER THE MANUFACTURERS RECOMMENDATIONS AND WITH THEIR HANDLES IN THE UPRIGHT POSITION. NOT INVERTED.

INSTALL TEST PLUGS OR CAPS IN ALL OPEN PIPES AT TIME OF INSTALLATION AND DO NOT REMOVE UNTIL THE PIPES ARE CONNECTED TIGHT INTO THE EXISTING SYSTEMS. ALL COST INCURRED FROM DAMAGE TO THE PROJECT DUE TO FAILURE TO MAKE PLUMBING SYSTEMS TIGHT SHALL BE BORNE BY THE CONTRACTOR. PROTECT ALL FINISHED SURFACES OF FIXTURES AND BRASS FROM DAMAGE. FIXTURES OR BRASS THAT IS DAMAGE, SCRATCHED, DISCOLORED, ETC. SHALL BE REMOVED AND REPLACED.

PIPING INSULATION
FAILURE TO FINISH WORK NEATLY, FAILURE TO VAPOR-PROOF JOINTS, FAILURE TO REMOVE DENTS IN SURFACES, RAGGED EDGED, ETC. SHALL BE CAUSE TO REJECT THE WORK AND REQUIRE COMPLETE REWORK BY AN APPROVED SUB-CONTRACTOR.

PIPE HANGERS AND SUPPORTS
SUPPORT ALL PIPING IN ACCORDANCE WITH MSS SP-69 RECOMMENDATIONS WITH REGARDS TO HANGER ROD SIZES AND HANGER SPACING. HANGERS ON INSULATED PIPES SHALL BE PROVIDED WITH A GALVANIZED SHEET METAL BEARING PLATES AS SPECIFIED ABOVE. BARE COPPER PIPES SHALL BE SUPPORTED WITH COPPER PLATED HANGERS.
SUPPORT HANGERS FROM BEAM CLAMPS, INSERTS IN CONCRETE, JOIST CLAMPS, ETC. AS NECESSARY TO ADEQUATELY SUPPORT THE WEIGHT OF THE PIPE AND FLUIDS CONVEYED. WIRE OR STRAPS SHALL NOT BE ALLOWED TO BE USED FOR HANGERS.

EQUIPMENT, FIXTURES AND FIXTURE SUPPORTS
INSTALL PLUMBING FIXTURES AND EQUIPMENT IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. CAULK TIGHT THE SPACE BETWEEN ALL WALL HUNG FIXTURES AND THE WALL, AND ALL FLOOR MOUNTED FIXTURES AND THE FLOOR, WITH FLEXIBLE SILICON CAULKING. PROVIDE 2" X 6" WOOD BLOCKING, ATTACHED TO THE WALL STUDS, TO SECURE THE BACK PLATE/CONCEALED ARM CARRIER SUPPLIED WITH WALL HUNG LAVATORIES AND ELECTRIC WATER COOLERS. PROVIDE WALL CARRIERS FOR WALL HUNG FIXTURES. THE HANGERS SHALL BE FULLY SECURED TO THE FLOOR WITH EXPANSION BOLTS LOCATED IN EVERY ANCHOR HOLE PROVIDED.

THE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE STATE FIRE MARSHAL OR NATIONAL ASME BOARD COMMISSIONED INSPECTOR FOR ALL COMMERCIAL INSTALLATION DOMESTIC WATER HEATERS OF 50 GALLONS OR GREATER CAPACITY OR 100,000 BTUH OR GREATER INPUT PRIOR TO THE FINAL STATE FIRE MARSHAL INSPECTION OR SUBSTANTIAL COMPLETION, WHICHEVER IS EARLIER. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTION FEES.

PAINTING
ALL FERROUS PIPING EXPOSED TO THE WEATHER SHALL BE CLEANED OF ALL DIRT, OILY SUBSTANCES AND MOISTURE, THEN PRIMED AND PAINTED WITH TWO COATS OF INDUSTRIAL GRADE PAINT. REFER TO DIVISION 9 FOR MATERIALS AND METHODS.

IDENTIFICATION
ALL PIPING SHALL BE PROPERLY IDENTIFIED AS TO FLUID CONVEYED AND THE DIRECTION OF FLOW. IDENTIFICATION MARK SPACING SHALL NOT EXCEED 15 FEET INTERVALS. AT LEAST ONE MARKER SHALL BE PROVIDED IN EVERY ROOM.

COORDINATION

FURNISH ALL SLEEVE FRAMES INCLUDING FRAMING BETWEEN JOIST (UNLESS SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS), ACCESS DOORS, ROOF FLASHING, COUNTER FLASHING, AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION FOR INSTALLATION.

PLUMBING CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ALL ITEMS ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL OTHER DISCIPLINES IN ITS INTERFACE WITH THE INSTALLATION OF ALL PLUMBING MATERIALS AND EQUIPMENT.

VERIFY FINAL LOCATIONS WITH THE MANUFACTURER'S EQUIPMENT SPECIFICATIONS FOR ROUGH-IN REQUIREMENTS ALONG WITH FIELD MEASUREMENTS. COORDINATE INSTALLATION OF LARGE EQUIPMENT REQUIRING POSITIONING PRIOR TO CLOSE-IN OF THE BUILDING.

ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS PRIOR TO ROUGH-INS. CONTRACTOR SHALL ENSURE PROPER COORDINATION BETWEEN THE ASSOCIATED DEVICES AND EQUIPMENT PRIOR TO PURCHASE.

ALL DIMENSIONS TO BE FIELD VERIFIED.

THE OWNER AND ARCHITECT RESERVE THE RIGHT TO MAKE REASONABLE CHANGES BEFORE ROUGH-IN WITHOUT ACCRUING ADDITIONAL COST.

ALL HANGERS AND SUPPORT SYSTEMS SHALL BE COORDINATED WITH THE OTHER STRUCTURAL COMPONENTS AND STRUCTURAL ENGINEER. CONTRACTOR SHALL FURNISH ALL FITTINGS, COMPONENTS, AND ACCESSORIES NECESSARY TO MEET THE STRUCTURAL CONDITIONS.

ALL CUTTING AND PATCHING OF THE BUILDING COMPONENTS SHALL BE COORDINATED WITH THE ARCHITECT AND OTHER DISCIPLINES.

ALL PLUMBING EQUIPMENT SHALL BE INSTALLED WITH CONSIDERATION TO MAINTENANCE AND REPLACEMENT.

COORDINATE LOCATION OF PIPING AND FIXTURES WITH STRUCTURAL MEMBERS AND ARCHITECTURAL DRAWINGS AND REQUIREMENTS.

DOMESTIC WATER DISTRIBUTION SYSTEMS

UNDERGROUND PIPE 2" AND SMALLER SHALL BE TYPE K SOFT COPPER WITH NO JOINTS. WHERE JOINTS ARE UNAVOIDABLE, WROUGHT COPPER FITTINGS AND SILVER SOLDER JOINTS SHALL BE PERMISSIBLE. PROVIDE WITH PIPE WRAP DESIGNED TO INHIBIT CORROSION ON ALL PIPING IN CONTACT WITH GROUND OR CONCRETE.

ABOVE GROUND PIPE 4" AND SMALLER SHALL BE TYPE L HARD DRAWN COPPER WITH WROUGHT COPPER JOINTS JOINED WITH LEAD FREE SOLDER.

VALVES 2-1/2" AND SMALLER SHALL BE BALL VALVES. THEIR COMPONENTS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 800 PSI WOG. ALL NON-METALLIC COMPONENTS AND ELASTOMERS SHALL BE SUITABLE FOR 250 DEGREES F MINIMUM CONTINUOUS OPERATING TEMPERATURE. VALVES SHALL HAVE BRONZE BODIES WITH CHROME-PLATED BALLS. THREADED OR SWEAT ENDS AND SHALL CONFORM TO MSS SP-11. VALVES SHALL BE 3-PIECE BOLT-THROUGH BODY. VALVES USED FOR BALANCING SHALL HAVE BALANCING MEMORY STOPS INCLUDED WITH THE VALVE.

CHECK VALVES 2 INCHES AND SMALLER, EXCEPT NON-SLAMMING CHECK VALVES, SHALL BE CLASS 125 (125 PSI SWP/200 PSI WOG) BRONZE BODY AND TRIM WITH THREADED ENDS AND SHALL CONFORM TO MSS SP-80.

MANUAL BALANCING VALVES SHALL BE PROVIDED ON ALL HOT WATER RETICULATING LINES AS INDICATED ON THE DRAWINGS. BALANCING VALVES SHALL BE PROVIDED WITH PROVISIONS TO CONNECT A PORTABLE DIFFERENTIAL PRESSURE METER.

NON-FREEZE WALL BOX HYDRANT (NARROW WALL INSTALLATION)
FROST PROOF DESIGN SHALL BE TO ASME A112.3 FOR WALL MOUNTING WITHIN A NARROW WALL SITUATION ALLOWING FOR A 4" MAXIMUM DEPTH OF INSTALLATION, WITH CHROME PLATED, CAST BRONZE ENCLOSURE BOX, QUARTER TURN NON-FREEZE HYDRANT, 3/4" THREADED OR SOLDER JOINT INLET CONNECTION THAT ALLOWS 360 DEGREE SWIVEL TO ANY POSITION, WITH ASME B1.20.7 GARDEN HOSE THREADS ON OUTLET. UNIT SHALL BE CONCEALED IN A CHROME PLATED, CAST BRONZE BOX WITH A FULL 180 DEGREE COVER OPENING, INTEGRAL VACUUM BREAKER AND T HANDLE KEY.

WATER HAMMER ARRESTER
SHOCK ABSORBER SHALL BE RATED AND SIZED IN ACCORDANCE WITH PDI STANDARDS. THE BODY OF THE UNIT SHALL BE STAINLESS STEEL AND THE INTERNAL COMPONENTS SHALL BE NON-CORROSIVE AND NON-TOXIC.

ACCESS DOORS
PROVIDE ACCESS TO ALL ITEMS REQUIRING SERVICE SUCH AS VALVES, REGULATORS, SHOCK ABSORBERS, TRAPS, CLEANOUTS, ETC. WITH ACCESS DOORS OF THE SIZE REQUIRED TO PROPERLY SERVICE THE ITEM, BUT NOT SMALLER THAN 12" X 12". ACCESS DOORS SHALL BE PRIME COATED WITH FINISH PAINTING DONE UNDER DIVISION 9.

SANITARY WASTE SYSTEMS

UNDERGROUND SOIL, WASTE AND VENT PIPE AND FITTINGS SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D 2665, SOLID-WALL DRAIN, WASTE, AND VENT WITH ASTM D 2665, PVC SOCKET TYPE, MADE TO ASTM D 3311. DRAIN, WASTE, AND VENT PATTERNS. PVC SPECIAL FITTINGS SHALL CONFORM TO ASTM F 409. DRAINAGE-PATTERN TUBE AND TUBULAR FITTINGS WITH ENDS AS REQUIRED FOR APPLICATION.

ABOVEGROUND SOIL, WASTE AND VENT PIPE AND FITTINGS SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D 2665, SOLID-WALL DRAIN, WASTE, AND VENT WITH ASTM D 2665, PVC SOCKET TYPE, MADE TO ASTM D 3311. DRAIN, WASTE, AND VENT PATTERNS. PVC SPECIAL FITTINGS SHALL CONFORM TO ASTM F 409. DRAINAGE-PATTERN TUBE AND TUBULAR FITTINGS WITH ENDS AS REQUIRED FOR APPLICATION.

CLEANOUTS AND COVERS:
PROVIDE CLEANOUTS AS SHOWN ON THE DRAWINGS. SPACING SHALL NOT BE GREATER THAN 50 FEET APART FOR PIPING 3" AND SMALLER AND 75 FEET APART FOR PIPING 4" AND LARGER. CLEANOUT COVERS, EQUAL TO J.R. SMITH MODEL 4810, SHALL BE FURNISHED WITH FLUSH SCORRIATED, SECURED TOPS AND FRAMES WITH NICKEL BRONZE FINISH FOR ALL UNCARPETED AREAS. MINIMUM CLEAR OPENING OF THE CLEANOUT FRAME SHALL BE 10 INCHES. IN CARPETED AREAS, CLEANOUT COVERS SHALL BE INSTALLED FLUSH WITH THE FLOOR UNDER THE CARPET AND PROVIDED WITH A SCREW MARKER. EXTERIOR CLEANOUTS SHALL BE BROUGHT TO GRADE AND RECESSED IN AN 20" X 20" BY 6" DEEP CONCRETE BOX WITH CAST IRON ACCESS COVER AND FRAME.

FLOOR DRAINS:
FLOOR DRAINS SHALL BE EQUAL TO WATTS MODEL FD-100-A. DRAINS SHALL BE SUPPLIED WITH CAST IRON BODIES, TRAP PRIMER INLET CONNECTION, FLASHING COLLAR AND ROUND ADJUSTABLE STRAINER HEAD WITH NICKEL BRONZE FINISH. STAINERS SHALL BE MINIMUM 5" DIAMETER FOR 2" FLOOR DRAINS AND MINIMUM 8" DIAMETER FOR 4" DRAINS.

TRAP PRIMERS:
MANIFOLD SUPPLY TYPE TRAP PRIMERS
TRAP SEAL PRIMER VALVES, CONFORMING TO ASSE 1018, SHALL BE EQUAL TO *PRECISION PLUMBING PRODUCTS INC. MODEL PR-500 WITH MODEL AG-500 AIR GAP FITTING. PROVIDE MODEL DU DISTRIBUTION UNIT CAPABLE OF PRIMING MULTIPLE FLOOR DRAINS AS NEEDED. PRIMER VALVES SHALL BE RATED FOR 125-PSIG MINIMUM WORKING PRESSURE, HAVE BRONZE BODIES, INTEGRAL ATMOSPHERIC-VENTED DRAIN CHAMBER, 1/2" INLET AND GRAVITY OUTLET CONNECTIONS WITH THREADED, UNION, OR SOLDER JOINTS AND ROUGH BRONZE FINISH. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.

ACCESS DOORS:
PROVIDE ACCESS TO ALL ITEMS REQUIRING SERVICE SUCH AS VALVES, REGULATORS, SHOCK ABSORBERS, TRAPS, CLEANOUTS, ETC. WITH ACCESS DOORS OF THE SIZE REQUIRED TO PROPERLY SERVICE THE ITEM, BUT NOT SMALLER THAN 12" X 12". ACCESS DOORS SHALL BE PRIME COATED WITH FINISH PAINTING DONE UNDER DIVISION 9.

GENERAL

COMPLY WITH LOCAL AND STATE CODES, INTERNATIONAL BUILDING CODES, UNDERWRITER'S LABORATORIES, INC. NATIONAL FIRE PROTECTION ASSOCIATION, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. WHERE ANY OF THE ABOVE ARE AT VARIANCE WITH WITH THE DRAWINGS AND SPECIFICATIONS, THEIR REQUIREMENTS SHALL TAKE PRECEDENCE AND ANY COST NECESSARY TO MEET THESE SHALL BE INCLUDED IN THE BID PRICE.

THE GENERAL AND SPECIAL CONDITIONS OF THE CONTRACT DOCUMENTS APPLY TO THIS SECTION. IF THERE IS ANY DISCREPANCY BETWEEN THE SPECIFICATIONS, APPLICABLE CODES, AND CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENT APPLIES.

BIDDERS SHALL EXAMINE ALL DRAWINGS AND SPECIFICATIONS ISSUED AND SHALL VISIT THE SITE OF WORK. BIDDERS SHALL BE FAMILIAR WITH THE CHARACTER AND TYPE OF WORK, THE COORDINATION WITH OTHER TRADES REQUIRED, AND ANY OTHER CONDITIONS THAT AFFECT THE COMPLETION OF THIS WORK.

APPLY FOR ALL PERMIT AND PAY ALL FEES. PROVIDE FINAL INSPECTION CERTIFICATE. FILE ALL CERTIFICATES WITH ARCHITECT.

THE PLUMBING PLANS ARE INTENDED TO BE DIAGRAMMATICAL IN NATURE BASED ON ONE MANUFACTURER'S EQUIPMENT. THEY ARE NOT INTENDED TO SHOW EVERY ITEM IN ITS EXACT LOCATION, THE EXACT DIMENSIONS, OR ALL OF THE DETAILS OF THE EQUIPMENT. VERIFY ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO BE USED. INSTALLATION SHALL BE WITHIN THE LIMITATIONS IMPOSED BY THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND PLUMBING REQUIREMENTS WITH ADEQUATE SPACE FOR MAINTENANCE.

QUESTIONS AND CLARIFICATIONS OF BID DOCUMENTS: BIDDERS SHALL NOT RELY ON ANY VERBAL COMMUNICATION OF THE DRAWINGS OR SPECIFICATIONS. ANY QUESTIONS OR CLARIFICATIONS SHALL BE REFERRED TO THE ENGINEER AT LEAST (5) FIVE WORKING DAYS PRIOR TO BIDDING TO ALLOW FOR ISSUANCE OF AN ADDENDUM. AFTER THE (5) FIVE DAY DEADLINE, BIDDER SHALL MAKE HIS OWN DECISION AND QUALIFY HIS BID IF HE FEELS IT NECESSARY.

CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO REVIEW THE SCOPE OF WORK AND OBSERVE THE EXISTING CONDITIONS. CONTRACTOR SHALL BE FAMILIAR WITH THE SCOPE OF WORK PRIOR TO VISITING THE SITE. ADDITIONAL COMPENSATION WILL NOT BE CONSIDERED FOR ADDITIONAL WORKED REQUIRED BY THE CONTRACTOR FOR FAILURE TO OBSERVE ALL EXISTING CONDITIONS.

CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO ANY SERVICE DISRUPTIONS OR SHUTTING OFF ANY EQUIPMENT THAT WILL IMPACT AREAS NOT UNDER CONSTRUCTION. CONTRACTOR SHALL BE PREPARED TO WORK IN AN 'AFTER NORMAL HOURS' CAPACITY TO ACCOMDATE ANY SHUT DOWNS REQUIRED.

CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AFTER THE COMPLETION OF CONSTRUCTION TO RECORD ANY CHANGES MADE TO THE DOCUMENTS MAINTAIN DAILY UPDATED DRAWINGS SHOWING DEVIATIONS FROM CONTRACTS DOCUMENTS. PREPARE AS-BUILT DRAWINGS AND SUBMIT THREE COPIES, ONE REPRODUCIBLE.

GUARANTEES

ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF ONE YEAR BEGINNING WITH THE DATE OF ACCEPTANCE. SPECIAL WARRANTIES MAY BE CALLED FOR UNDER OTHER SECTIONS. THIS WARRANTY SHALL BE IN WRITING AND SHALL INCLUDE WRITTEN COPIES OF FACTORY WARRANTIES WITH EXPIRATION DATES ON ITEMS OF EQUIPMENT WHERE THE WARRANTY DATE MIGHT DIFFER FROM ACCEPTANCE DATE, SUCH AS FIVE YEAR WARRANTY OF SEALED REFRIGERANT SYSTEMS. NO WARRANTY SHALL START BEFORE ACCEPTANCE DATE. ALL AIR CONDITIONING AND REFRIGERATION COMPRESSORS SHALL HAVE A FIVE YEAR WARRANTY. WARRANTY CERTIFICATE SHALL CONTAIN THE MODEL #, SERIAL #, AND OWNER'S NAME. THERE SHALL BE A CERTIFICATE FOR EACH AND EVERY PIECE OF EQUIPMENT.

UPON COMPLETION OF THE PROJECT, SUBMIT THREE COPIES OF ALL OPERATION AND MAINTENANCE MANUALS, WARRANTIES, SPARE PARTS LIST, AS-BUILT DRAWINGS AND LETTER OF GUARANTEE ALL NEATLY BOUND. INCLUDE COPIES OF THE TEST AND BALANCE REPORTS.

COMPLETE SYSTEM

ALL PRODUCTS, MATERIALS, AND ACCESSORIES SHALL BE FURNISHED AND INSTALLED AS REQUIRED TO PROVIDE A COMPLETE AND WORKING SYSTEM READY FOR INTENDED OPERATION BY THE OWNER.

FURNISH AND INSTALL ALL SPECIAL FOUNDATIONS AND SUPPORTS REQUIRED FOR EQUIPMENT INSTALLED UNDER THIS SECTION, UNLESS THEY ARE A PART OF THE BUILDING STRUCTURE AND ARE SHOWN IN OTHER SECTIONS.

PROVIDE CONTROLS, ACCESS DEVICES AND CONTROL WIRING, ALL AS REQUIRED FOR A COMPLETE SYSTEM, SHALL BE DONE BY PLUMBING CONTRACTOR UNLESS SHOWN ON THE ELECTRICAL DRAWINGS AND INCLUDED IN THAT DIVISION. ELECTRICAL WORK SHALL COMPLY WITH THE APPLICABLE ELECTRICAL SECTIONS OF THE SPECIFICATIONS AND WITH THE NATIONAL ELECTRICAL CODE.

QUALITY ASSURANCE STANDARDS

INSTALLATION SHALL CONFORM TO INTERNATIONAL PLUMBING CODE AND ALL APPLICABLE LOCAL AND STATE CODES.

PLUMBING WORK SHALL BE INSTALLED IN A NEAT AND ORGANIZED MANNER WITH PIPING RUNNING PARALLEL AND/OR PERPENDICULAR WITH PRIMARY LINES OF THE BUILDING CONSTRUCTION.

ALL WORK SHALL BE PERFORMED BY COMPETENT TECHNICIANS USING PROPER TOOLS AND EQUIPMENT TO PRODUCE QUALITY WORK. ALL WORK SHALL BE NEATLY INSTALLED, ACCESSIBLE FOR MAINTAINED, AND COMPLETE WITH ALL ACCESSORIES REQUIRED.

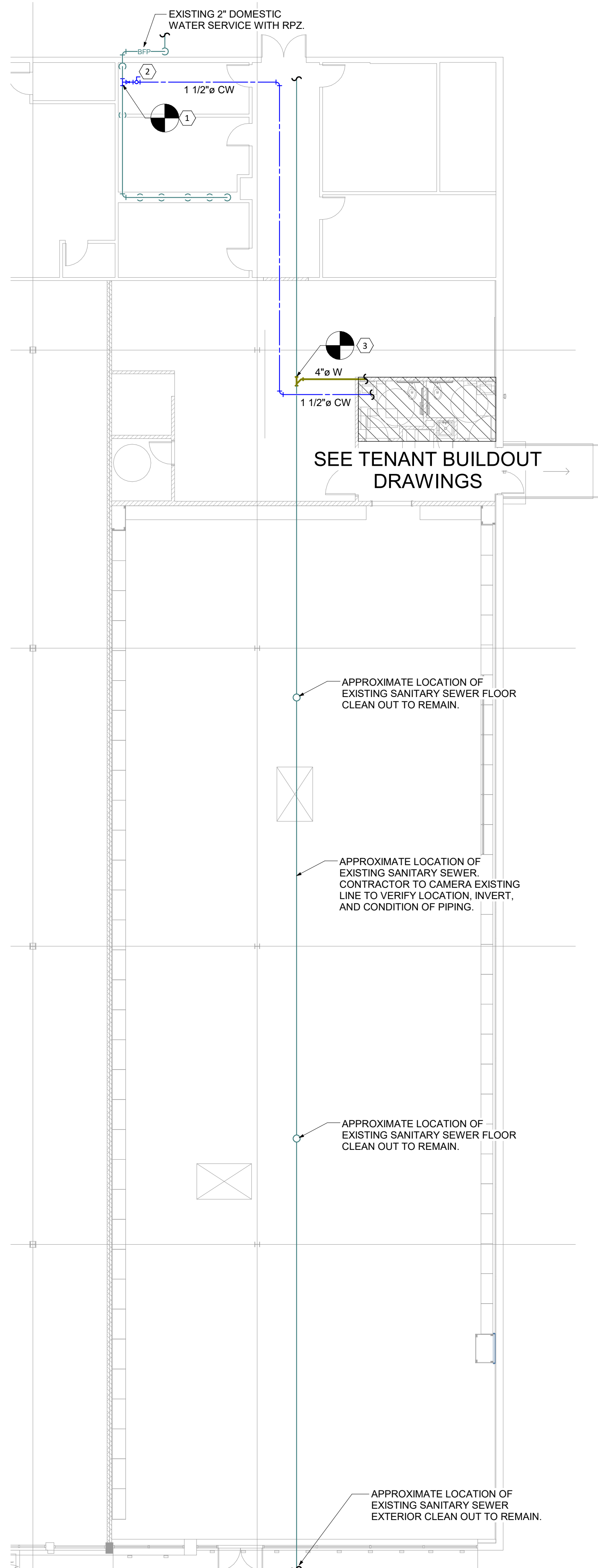
ALL EQUIPMENT SHALL BE INSTALLED IN SUCH A WAY THAT ALL COMPONENTS REQUIRING ACCESS (SUCH AS: DRAINS, VALVES, CLEAN OUTS, ETC) ARE LOCATED AND INSTALLED IN A FASHION THAT FACILITATES SERVICING OR REPLACEMENT BY SERVICE PERSONNEL WITH NORMAL TOOLS AND EQUIPMENT IN A SAFE AND EFFICIENT MANNER.

THOROUGHLY CLEAN ALL EQUIPMENT AND REMOVE ALL TRASH, PACKAGING, ETC. LEAVE THE ENTIRE SYSTEM IN THOROUGHLY CLEAN AND ORDERLY MANNER. ANY FINISHED SURFACES THAT HAVE SCRATCHED OR DAMAGED SHALL BE TOUCHED UP OR REPAINTED WITH PAINT THAT MATCHED THE ORIGINAL FINISH AND COLOR. ALL METAL ITEMS SUBJECT TO RUSTING, INSIDE OR EXPOSED TO WEATHER SHALL BE GIVEN ONE COAT OF PROPER RUST PREVENTING PRIMER AS SOON AS INSTALLED. IF FINAL PAINT FINISH IS NOT SPECIFIED IN ANOTHER SECTION, MECHANICAL CONTRACTOR SHALL APPLY TWO FINISH COATS OF A RUST PROHIBITING COATING. COLOR TO BE SELECTED BY ARCHITECT.

PROVIDE NECESSARY CUTTING AND PATCHING OF THE STRUCTURE AS REQUIRED TO ALLOW FOR THE INSTALLATION OF THE SYSTEM. DO NOT CUT INTO ANY STRUCTURAL MEMBER WITHOUT FIRST OBTAINING APPROVAL FROM THE ARCHITECT. PROVIDE CONCRETE FOUNDATIONS AND HOUSEKEEPING PADS FOR MECHANICAL EQUIPMENT NOT SHOWN ON ARCHITECTURAL OR STRUCTURAL PLANS.

SUBMITTALS

SUBMIT FOR REVIEW COMPLETE DATA, CUTS, CAPACITIES, TYPE AND GRADE FOR REVIEW OF FIXTURES, TRIM, PIPE INSULATION, (JACKETS AND FITTINGS), FIRE SAVING ASSEMBLIES OR FIRE SAVING MATERIALS AND ALL OTHER MAJOR COMPONENTS.



COLOR LEGEND:

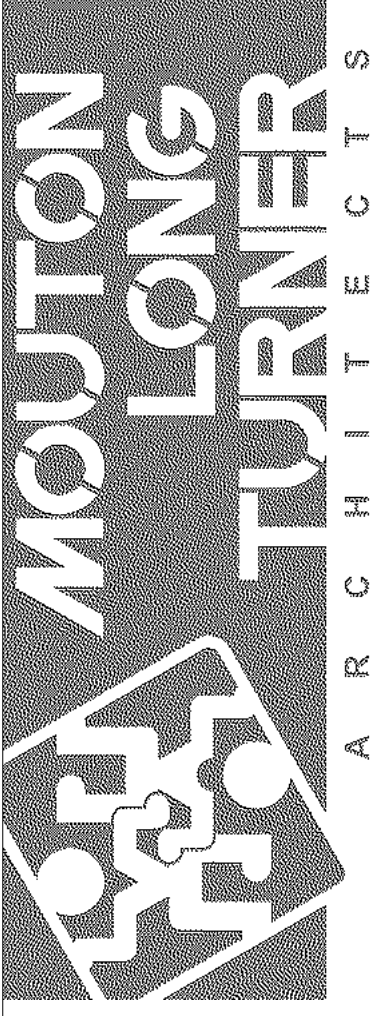
	NEW SANITARY GREASE WASTE PIPING
	NEW SANITARY SEWER PIPING
	NEW SANITARY VENT PIPING
	NEW DOMESTIC COLD WATER PIPING
	NEW DOMESTIC HOT WATER PIPING
	NEW DOMESTIC HOT WATER RECIRC. PIPING
	NEW FILTERED DOMESTIC COLD WATER PIPING
	NEW NATURAL GAS PIPING

- GENERAL NOTES:**
1. ALL WASTE PIPING TO BE BELOW SLAB UNLESS NOTED OTHERWISE.
 2. ALL VENT PIPING AND DOMESTIC WATER PIPING TO BE ROUTED OVERHEAD UNLESS NOTED OTHERWISE.
 3. CONCEAL ALL OVERHEAD PIPING ABOVE CEILING WHERE POSSIBLE. WHERE THERE ARE NO CEILING, ROUTE PIPING TIGHT TO STRUCTURE IN A NEAT AND ORDERLY FASHION. ROUTE PIPING PARRELL OR PERPEDICULAR TO ROOF JOISTS.

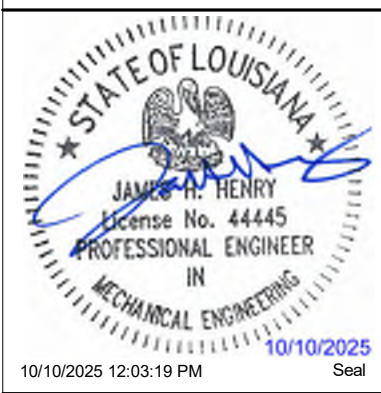
- SPECIFIC NOTES:**
- ① TIE-IN NEW 1-1/2" DOMESTIC WATER PIPING INTO EXISTING WATER PIPING IN THIS GENERAL LOCATION. ROUTE OVERHEAD TO LOCATION OF NEW RESTROOMS. COORDINATE EXACT LOCATION OF EXISTING PIPING IN FIELD. COORDINATE ROUTING OF NEW PIPING WITH EXISTING CONDITIONS AND ALL OTHER TRADES.
 - ② PROVIDE SHUT-OFF VALVE AT CONNECTION POINT.
 - ③ TIE-IN NEW SANITARY WASTE PIPING INTO EXISTING 4" MAIN. CONTRACTOR TO CAMERA EXISTING SEWER LINE TO VERIFY LOCATION, INVERT, AND CONDITION.

1 DOMESTIC WATER & GAS PLAN
P1.0 1" = 10'-0"

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DATE	ISSUED TO	DESCRIPTION
10/10/25	R.L.	PERMIT

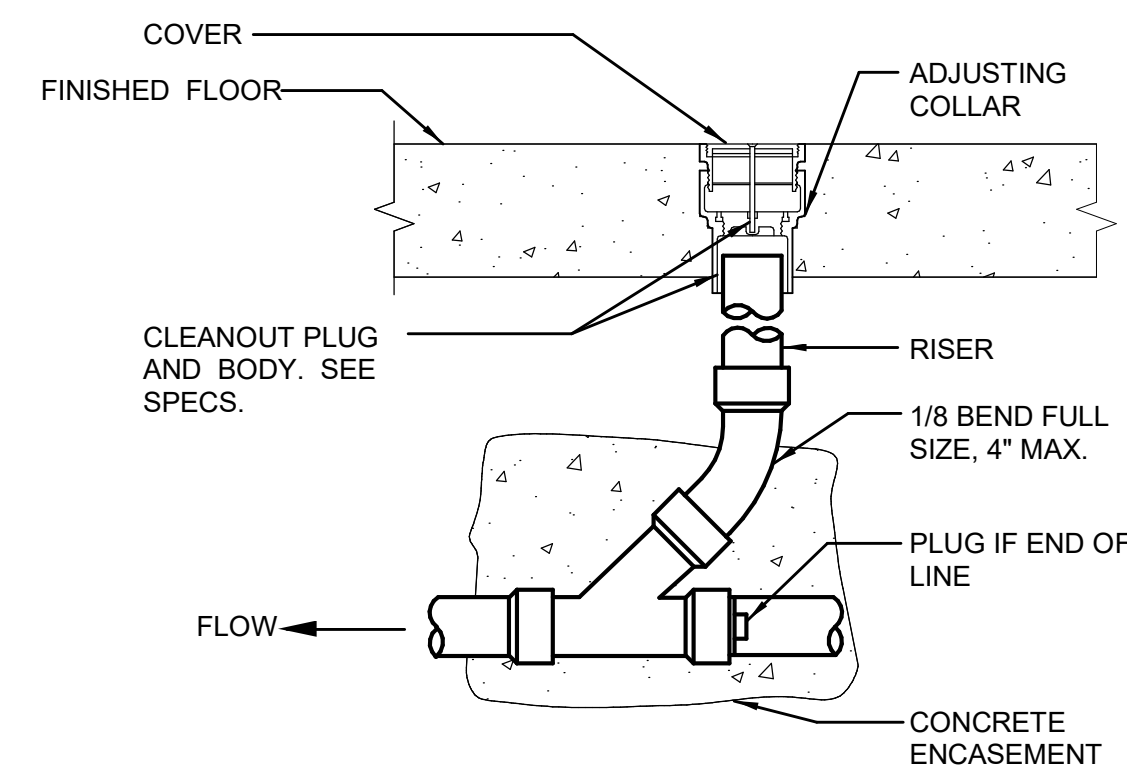
REVISIONS

REV. NO.	DATE	DESCRIPTION
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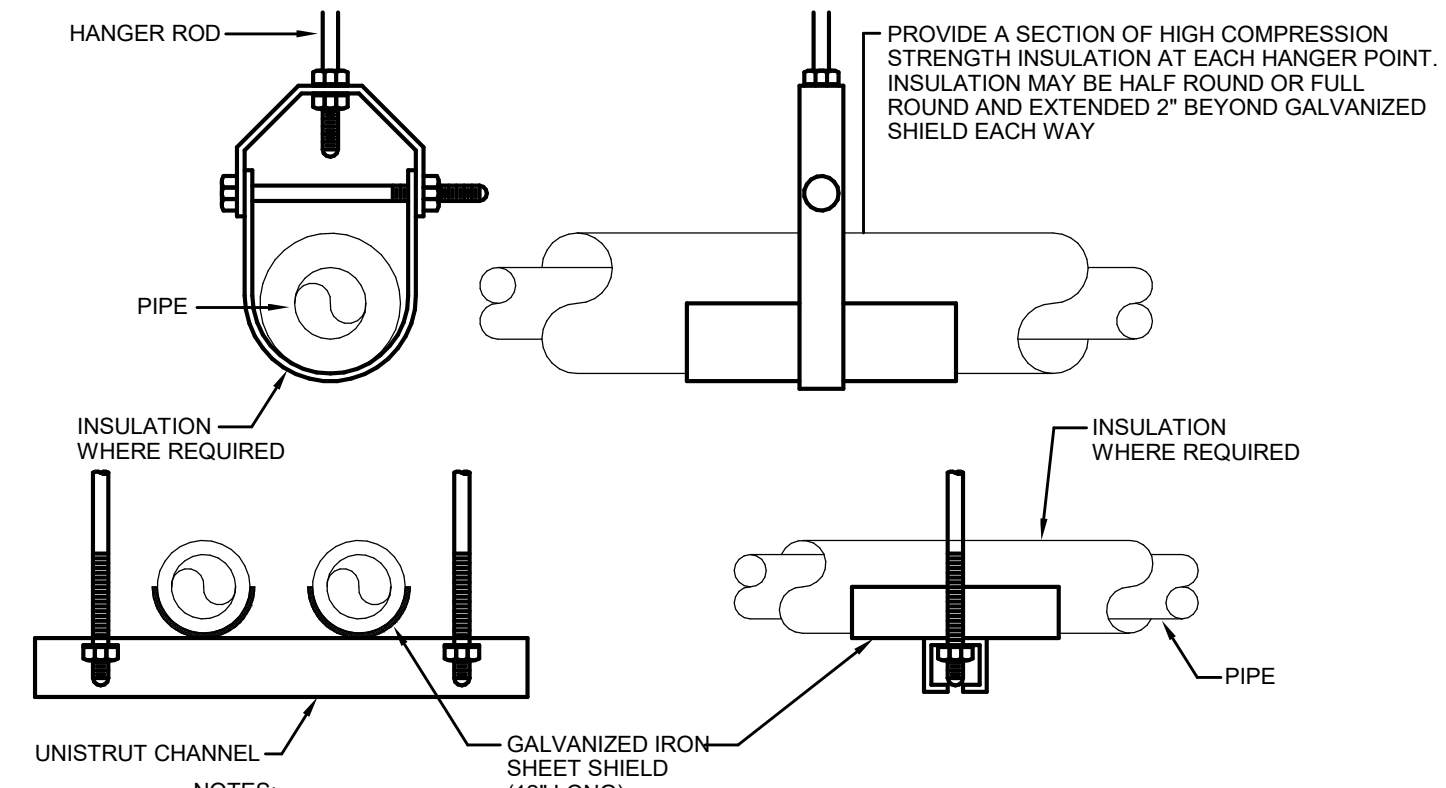
10/10/2025 Date
25-1874 Project No.
P1.0
PLUMBING PLAN

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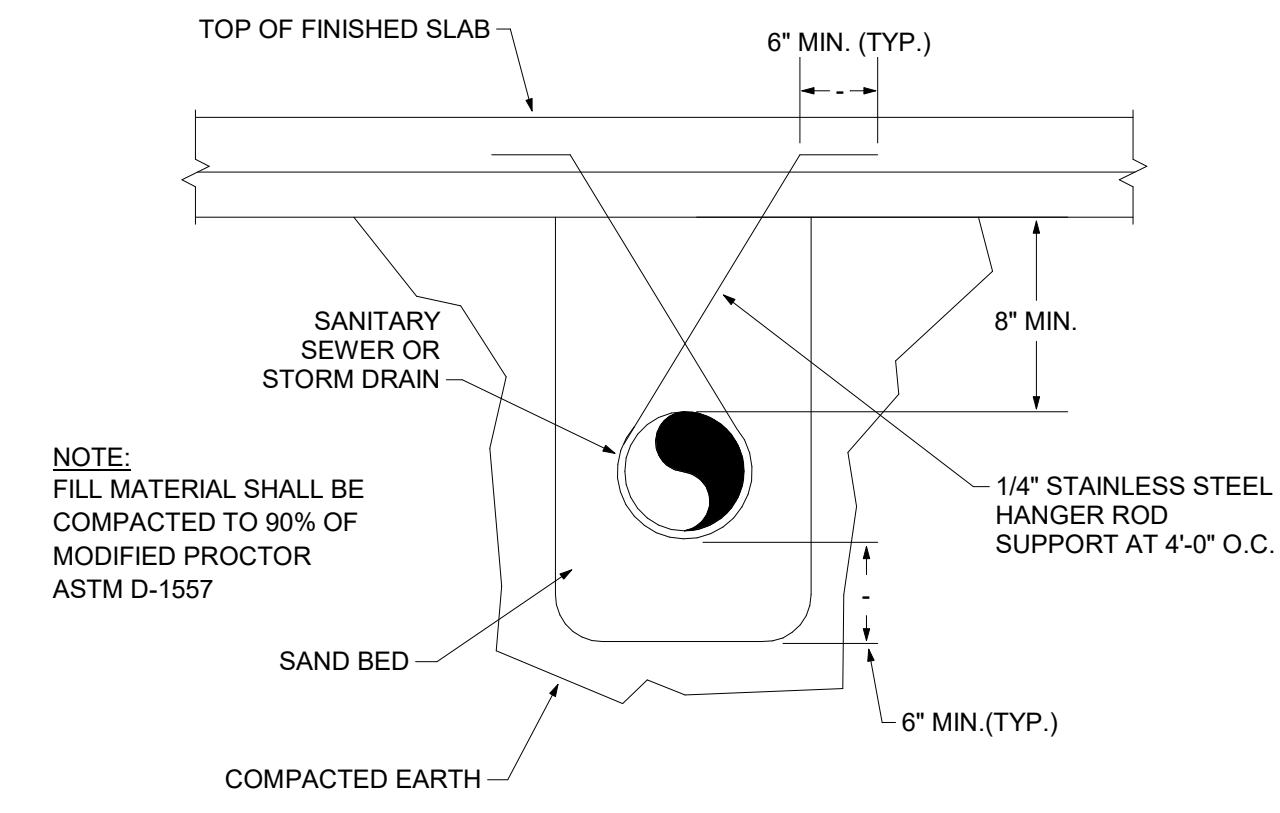
NOTE:
CLEANOUT COVER FLUSH WITH TILE OR FLUSH WITH CONCRETE FLOOR IN AREA WITH NO TILE.

FLOOR CLEAN OUT DETAIL



NOTES:
1. ATTACH SUPPORTS FOR ALL PIPING SUSPENDED FROM THE STEEL STRUCTURE TO THE TOP CHORD OF JOISTS OR BEAMS.
2. PROVIDE COPPER OR PLASTIC COATED HANGERS FOR NON-INSULATED COPPER PIPE.

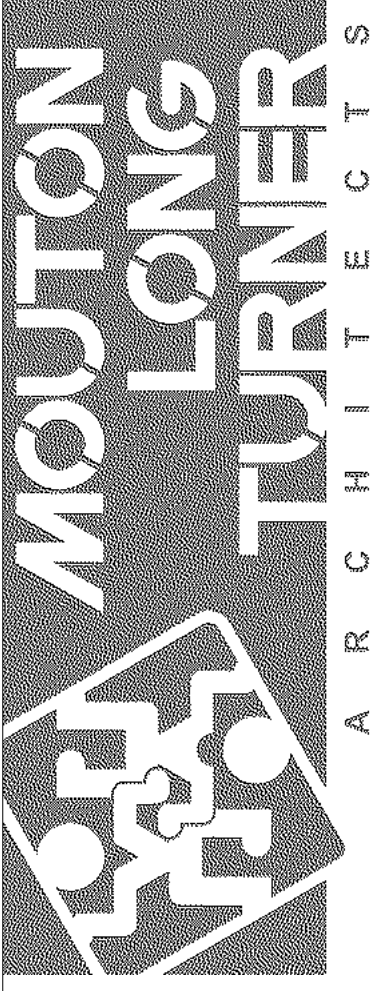
PIPE HANGER DETAIL



NOTE:
FILL MATERIAL SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR ASTM D-1557

NOTE:
MAINTAIN DEPTH AS REQ'D FOR PROPER DRAINAGE AND COORDINATION W/ STRUCTURAL MEMBERS. SEE PLANS

BELOW GRADE WASTE PIPING DETAIL



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REVISIONS

REV. NO.	DATE	DESCRIPTION

LCG Lagniappe Consulting Group
Mechanical-Electrical-Plumbing
1305 Distributors Row, Elmwood, LA, 70123
Project No.: 2501901 Registration No.: 7188

10/10/2025 Date
25-1874 Project No.
Drawing No.
P2.0
PLUMBING DETAILS

COLD FORMED METAL FRAMING NOTES:

- APPLICABLE CODES OR STANDARDS:
ALL DESIGN, FABRICATION, TESTING AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 - AISI - NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
 - AISI - NORTH AMERICAN STANDARD FOR COLD-FORMED STEEL FRAMING - GENERAL PROVISIONS
 - AISI - NORTH AMERICAN STANDARD FOR COLD-FORMED STEEL FRAMING - PRODUCT STANDARD
 - AISI - CODE OF STANDARD PRACTICE FOR COLD-FORMED STEEL STRUCTURAL FRAMING
 - AISI - NORTH AMERICAN STANDARD FOR COLD-FORMED STEEL STRUCTURAL FRAMING
 - ASTM STANDARDS FOR THE MATERIALS LISTED
 - AWS D1.3 - STRUCTURAL WELDING CODE - SHEET STEEL
- MATERIALS:
MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - COLD-FORMED METAL JOISTS, STUDS, AND TRACKS FORMED WITH 20 OR 18 GAGE MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS WITH A YIELD STRENGTH $F_y = 33$ KSI.
 - COLD-FORMED METAL JOISTS, STUDS, AND TRACKS FORMED WITH 16, 14, OR 12 GAGE MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS WITH A YIELD STRENGTH $F_y = 50$ KSI.
- CONNECTIONS:
CONNECTIONS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - COLD FORMED ELEMENTS SHALL BE CONNECTED WITH #12 STEEL SCREWS.
 - SCREWS USED SHALL HAVE THE FOLLOWING MINIMUM DIAMETERS MEASURED OUT TO OUT OF THREADS: #8 - 0.164", #10 - 0.190", #12 - 0.216".
- COLD FORMED DESIGNATION:
 - COLD FORMED METAL MEMBERS ARE CALLED OUT SIMILAR TO THE FOLLOWING DESIGNATION: 600 S 162 - 43. THIS REPRESENTS A 6" DEEP, 1 5/8" FLANGE, 18 GAGE "C" - SHAPED MEMBER.

DESIGN INFORMATION:

- DESIGN LOADS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE).
 - DESIGN BUILDING CODE - 2021 INTERNATIONAL BUILDING CODE (IBC)
 - DESIGN GRAVITY LOADS:

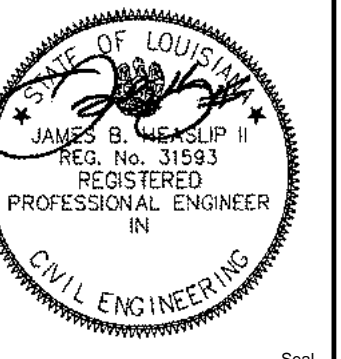
ROOF	DL = 15 PSF
	LL = 20 PSF
 - WIND LOADS SHALL BE IN ACCORDANCE WITH ASCE 7-16:

MAIN WIND FORCE RESISTING SYSTEM		
PARAMETER	VALUE	REFERENCE
RISK CATEGORY	II	TABLE 1.5-1
BASIC WIND SPEED	$V_{ult} = 138$ MPH	FIGURE 26.5-1B
	$V_{osd} = 113$ MPH	
DIRECTIONALITY	$K_d = 0.85$	FIGURE 26.6-1
EXPOSURE CATEGORY	B	SECTION 26.7
TOPOGRAPHIC FACTOR	$K_{zt} = 1.0$	FIGURE 26.8-1
GUST EFFECT FACTOR	0.85	SECTION 26.9
ENCLOSURE CLASSIFICATION	ENCLOSED	SECTION 26.10
INTERNAL PRESSURE COEFFICIENT	$C_{pi} = +/-0.18$	SECTION 26.11
VELOCITY	$q_h = 29.03$ PSF	SECTION 28.3.2

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S1.0B
GENERAL STRUCTURAL NOTES

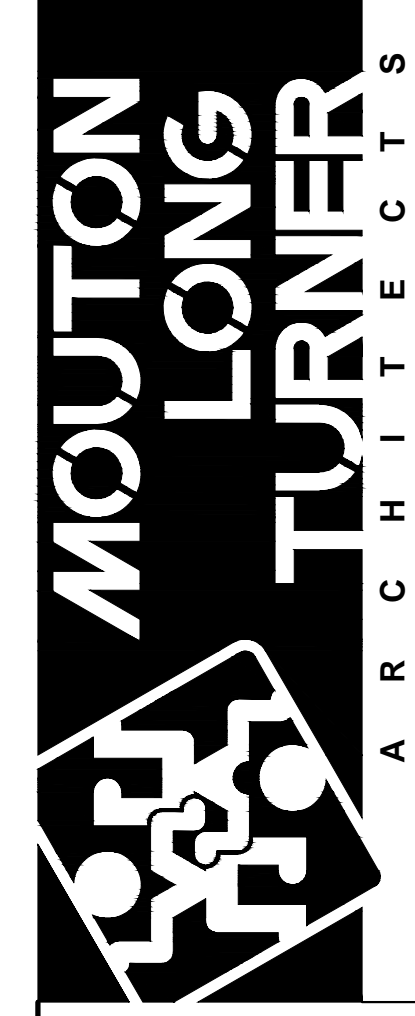
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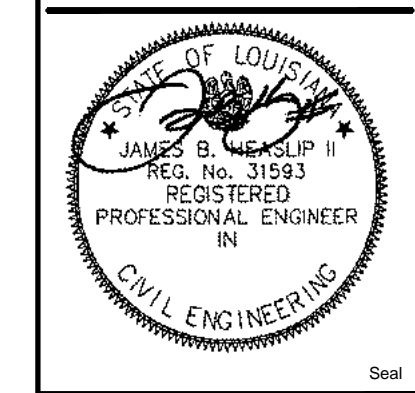
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LICENSE NUMBER: 31593

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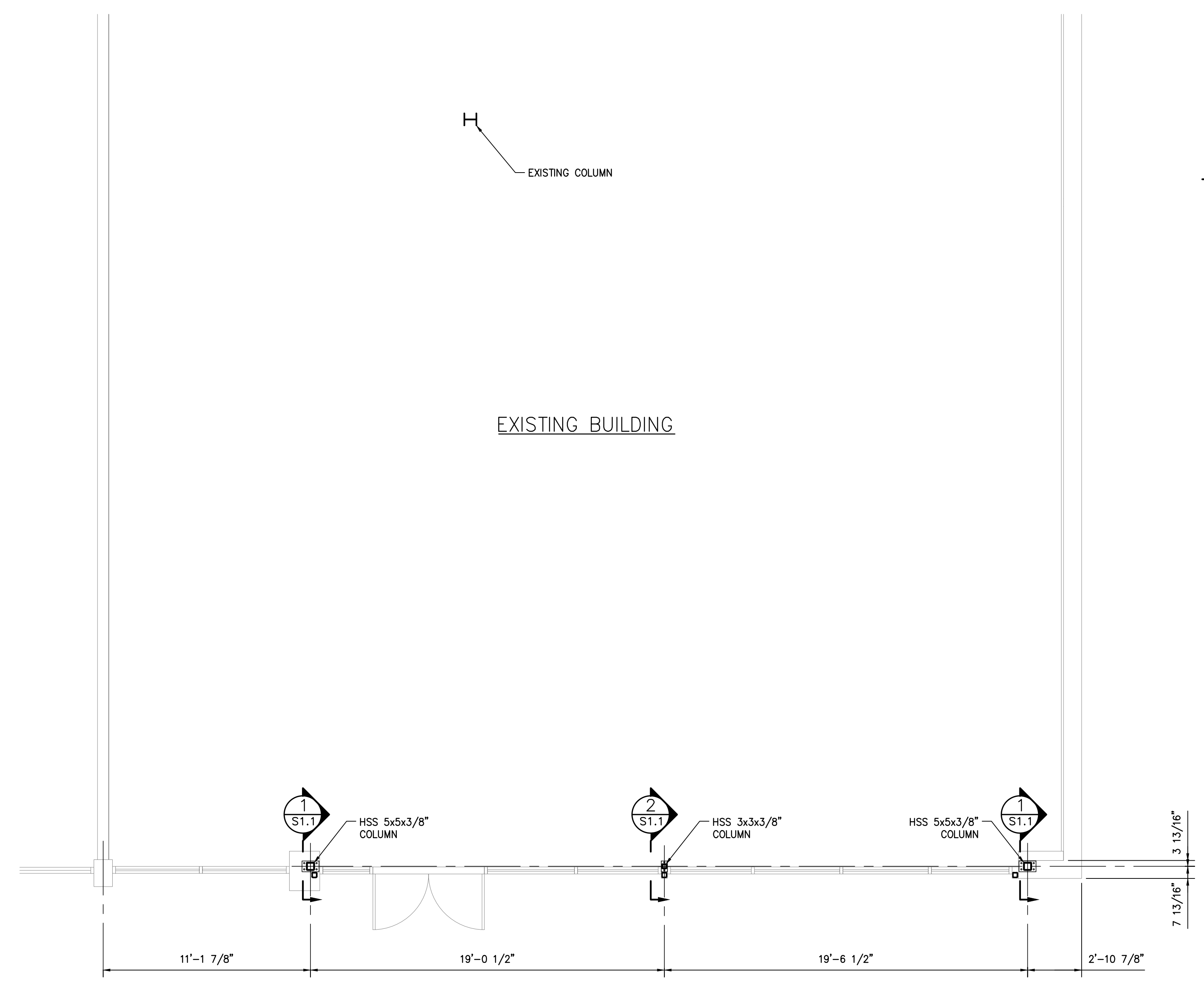
Revisions	
No.	Description

Date: 10/13/25	Project No.: 25-1885

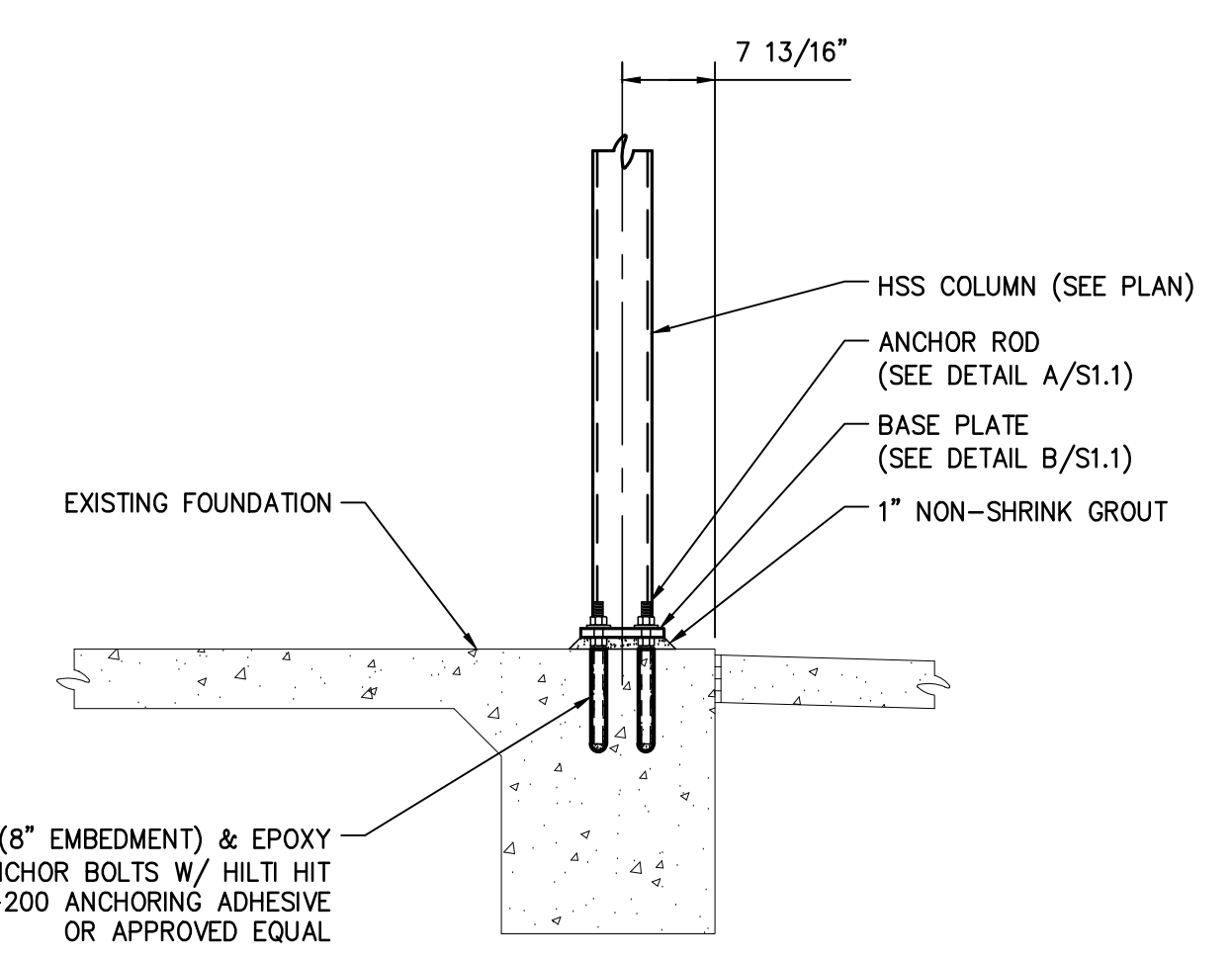
S1.1
FOUNDATION PLAN, SECTIONS, AND DETAILS

PLAN NOTE:

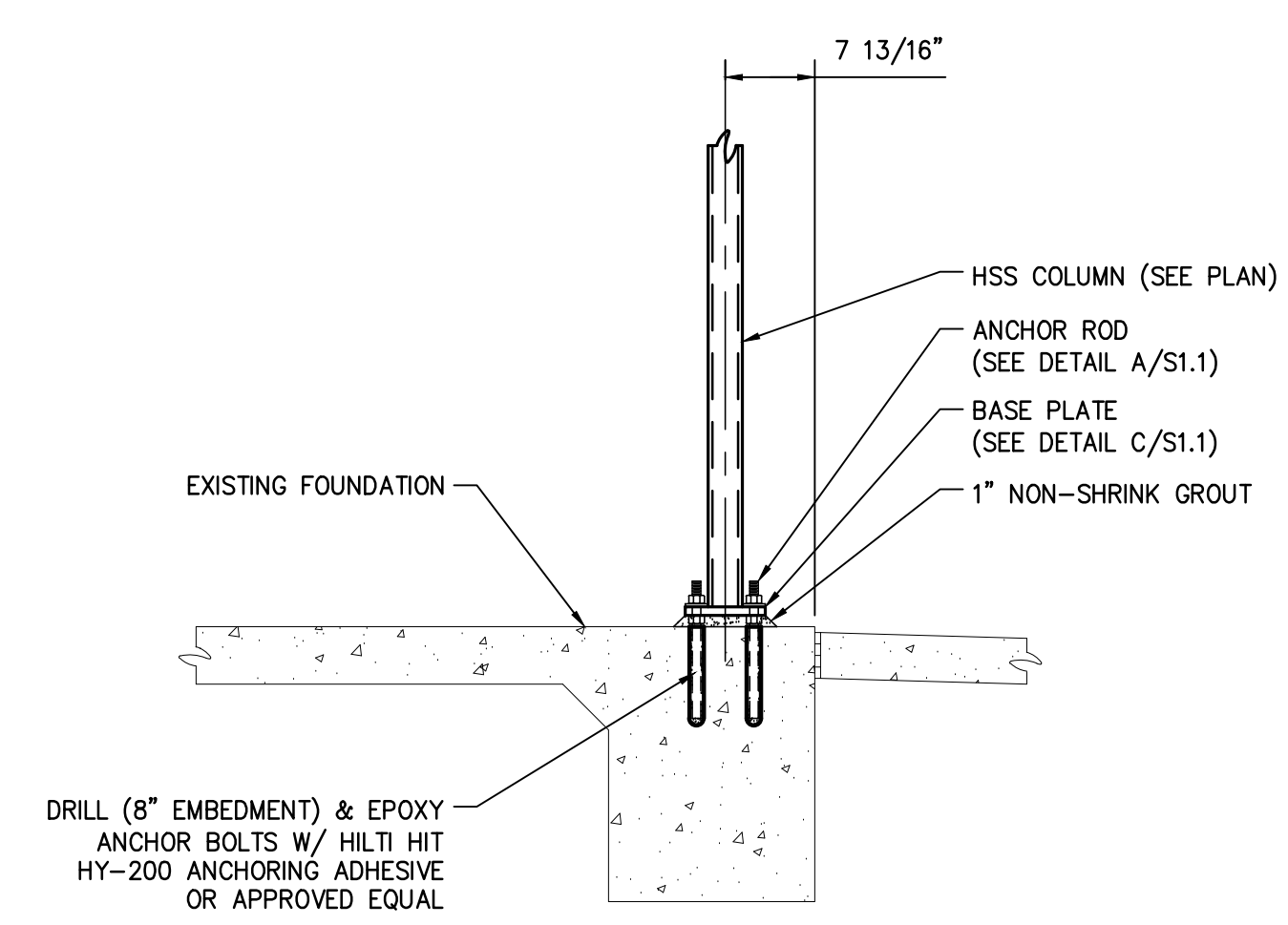
- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY DIMENSIONS AND ELEVATIONS IN THE FIELD



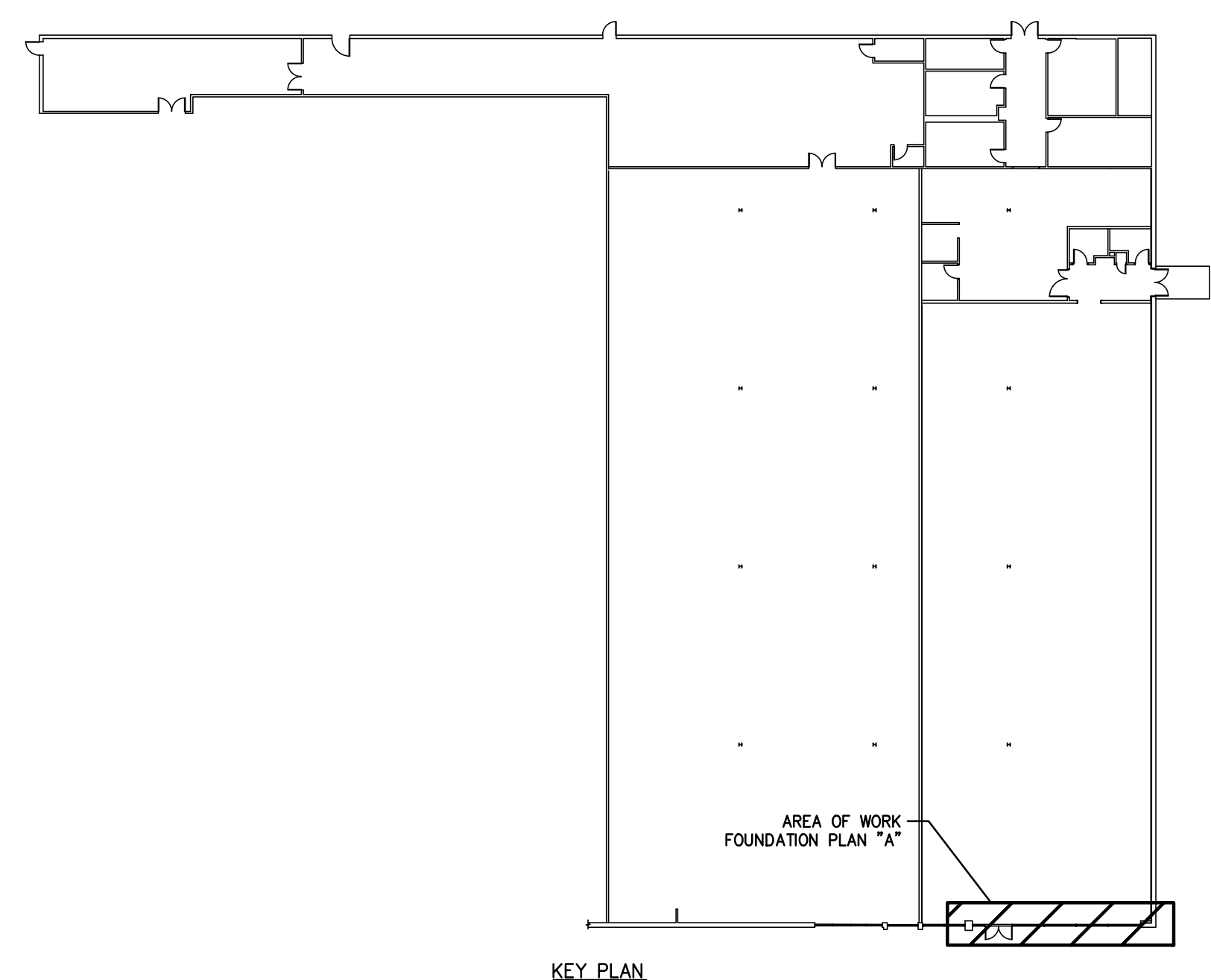
FOUNDATION PLAN "A"
SCALE: 1/4" = 1'-0"



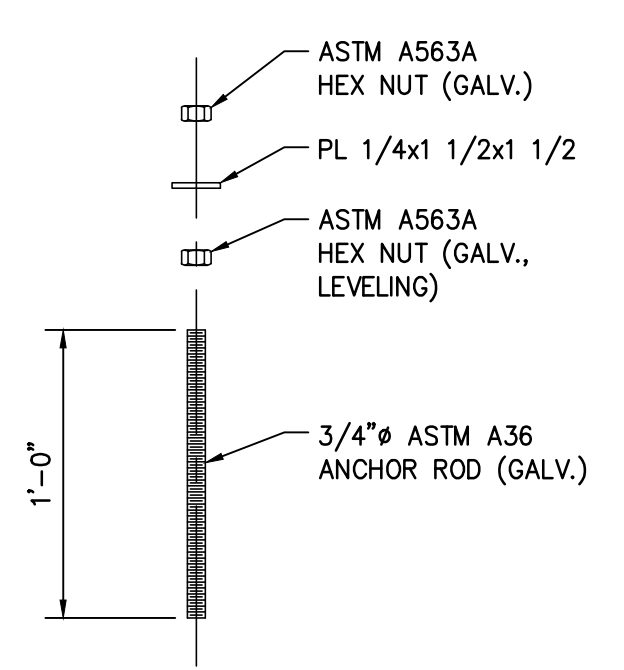
SECTION 1
SCALE: 3/4" = 1'-0"
S1.1 | S1.1



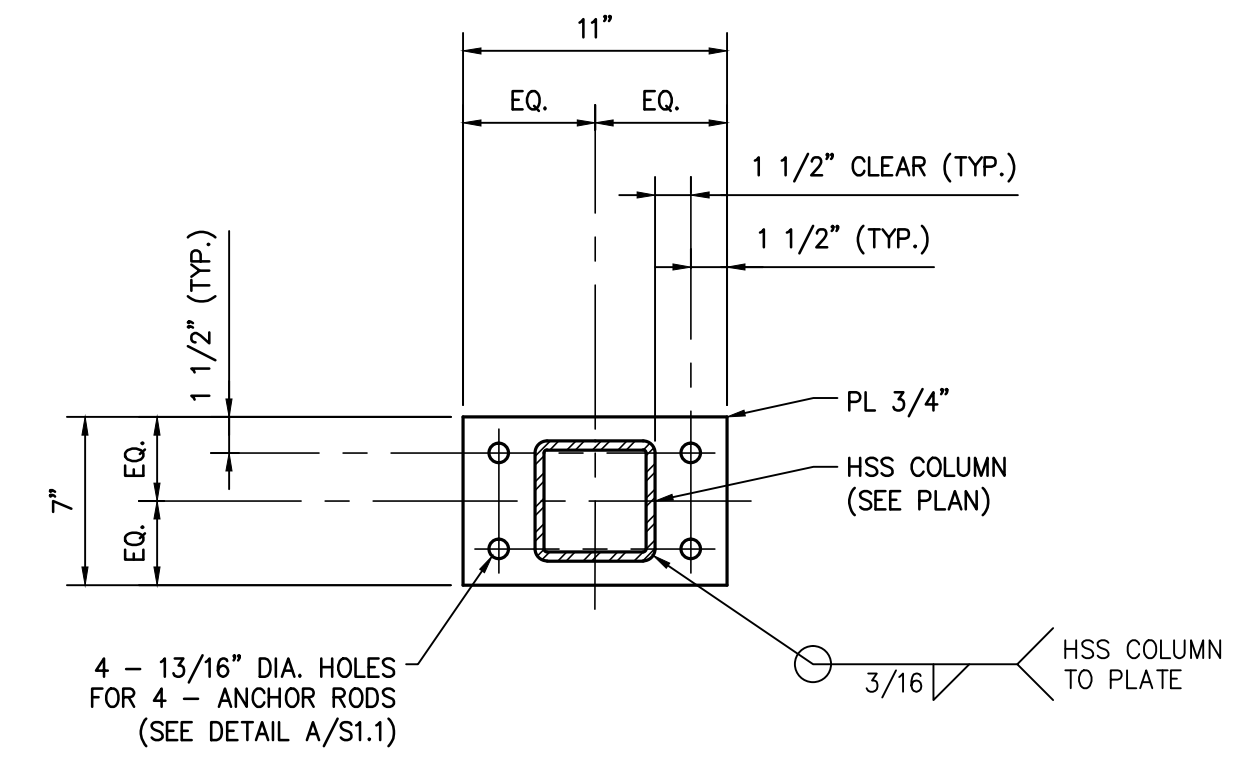
SECTION 2
SCALE: 3/4" = 1'-0"
S1.1 | S1.1



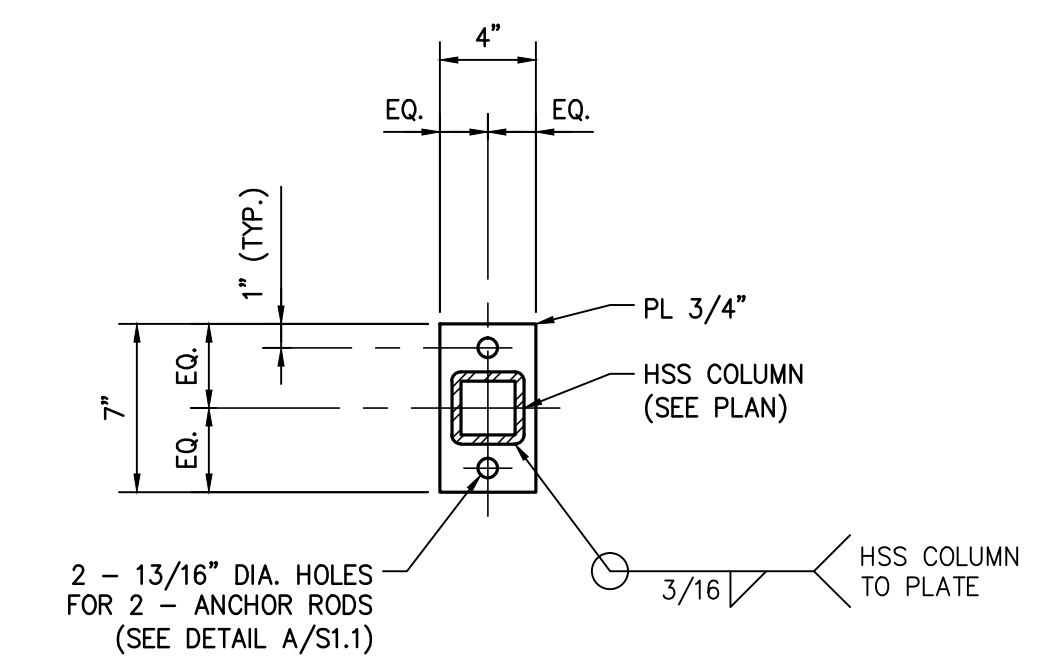
KEY PLAN



DETAIL A
SCALE: 1 1/2" = 1'-0"
S1.1 | S1.1



DETAIL B
SCALE: 1 1/2" = 1'-0"
S1.1 | S1.1



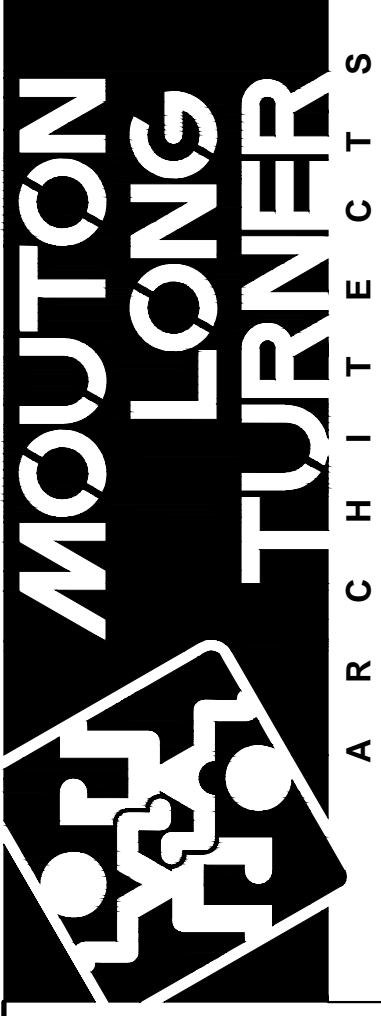
DETAIL C
SCALE: 1 1/2" = 1'-0"
S1.1 | S1.1

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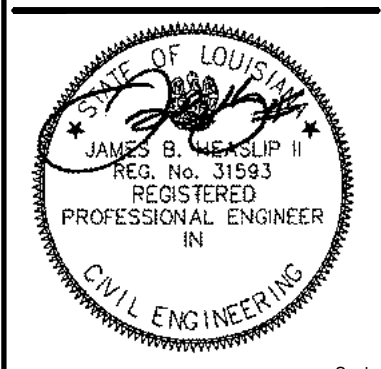
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ENGINEER: JAMES B HEASLIP AE PROJECT #: 25114
LICENSE NUMBER: 31593

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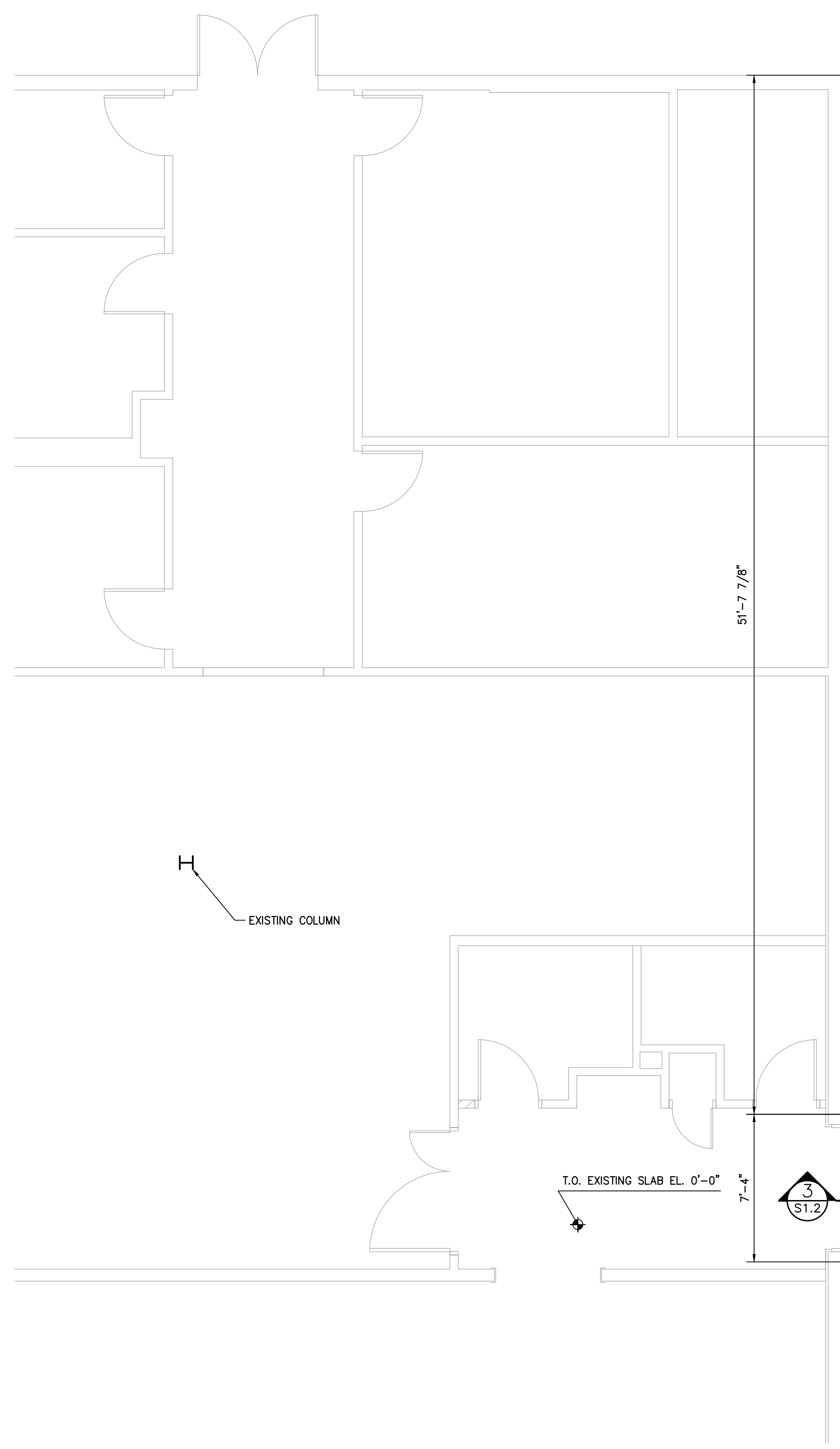
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Drawing No. S1.2	

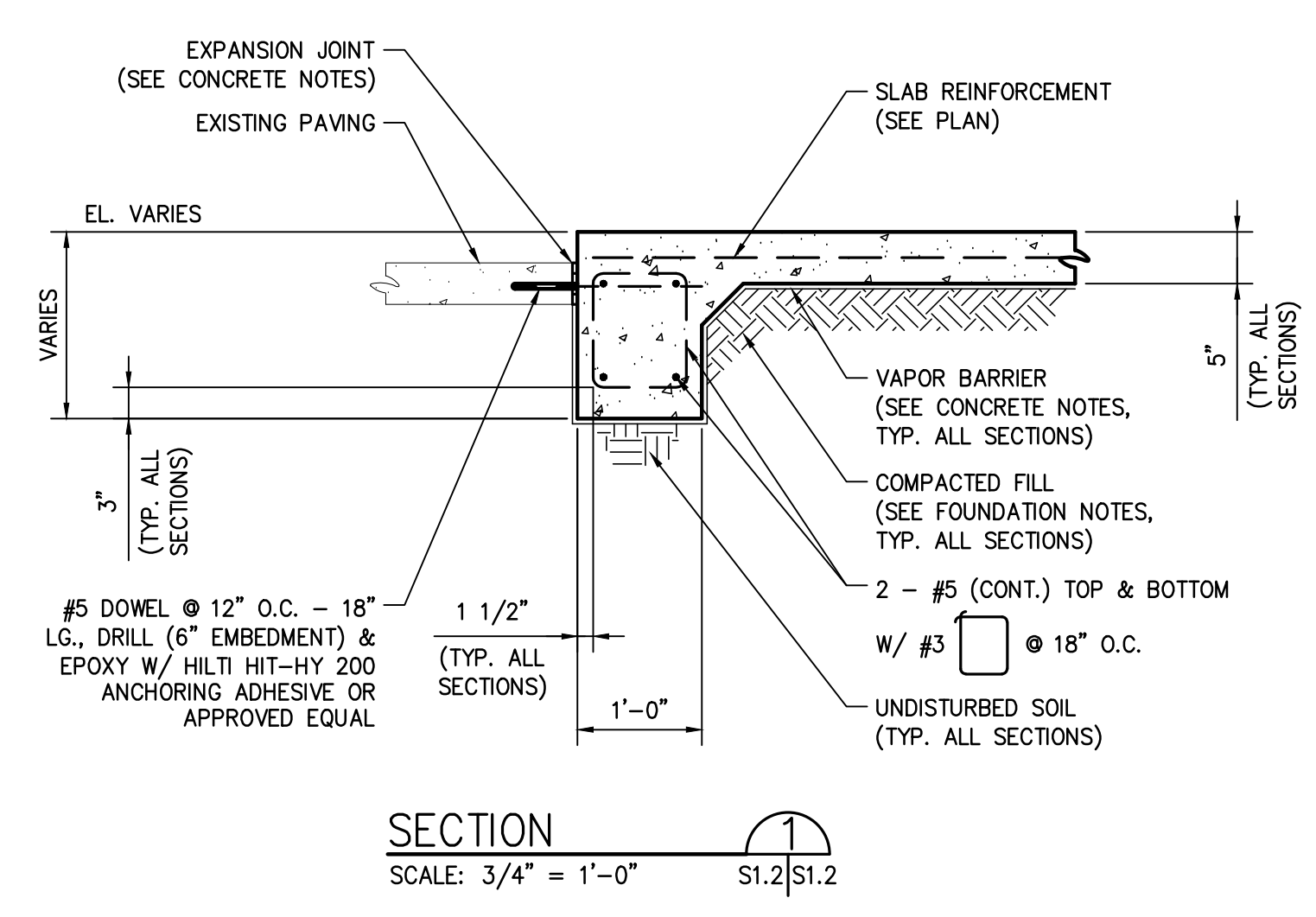
FOUNDATION PLAN AND SECTION



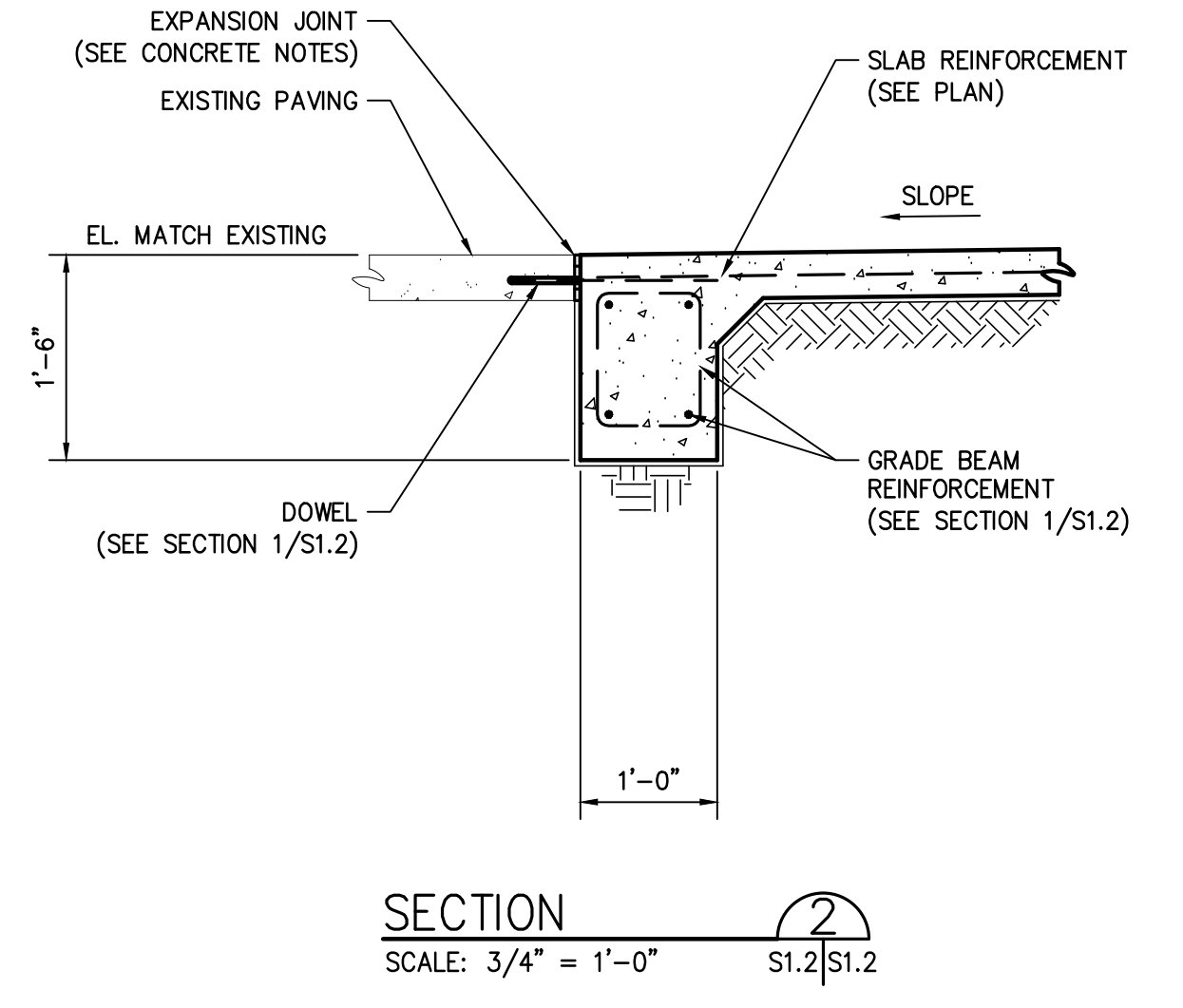
FOUNDATION PLAN "B"
 SCALE: 1/4" = 1'-0"

PLAN NOTE:

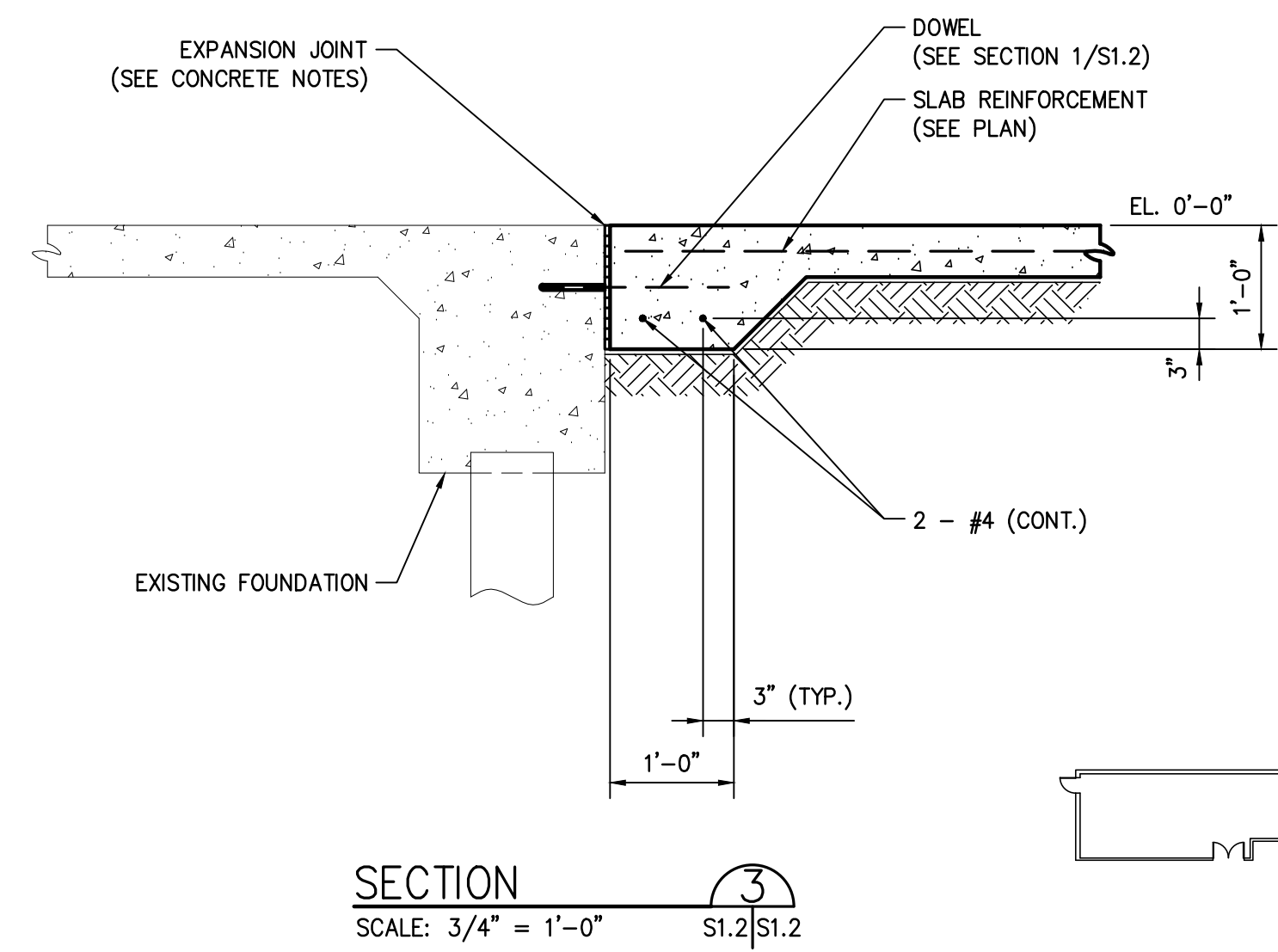
- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY DIMENSIONS AND ELEVATIONS IN THE FIELD



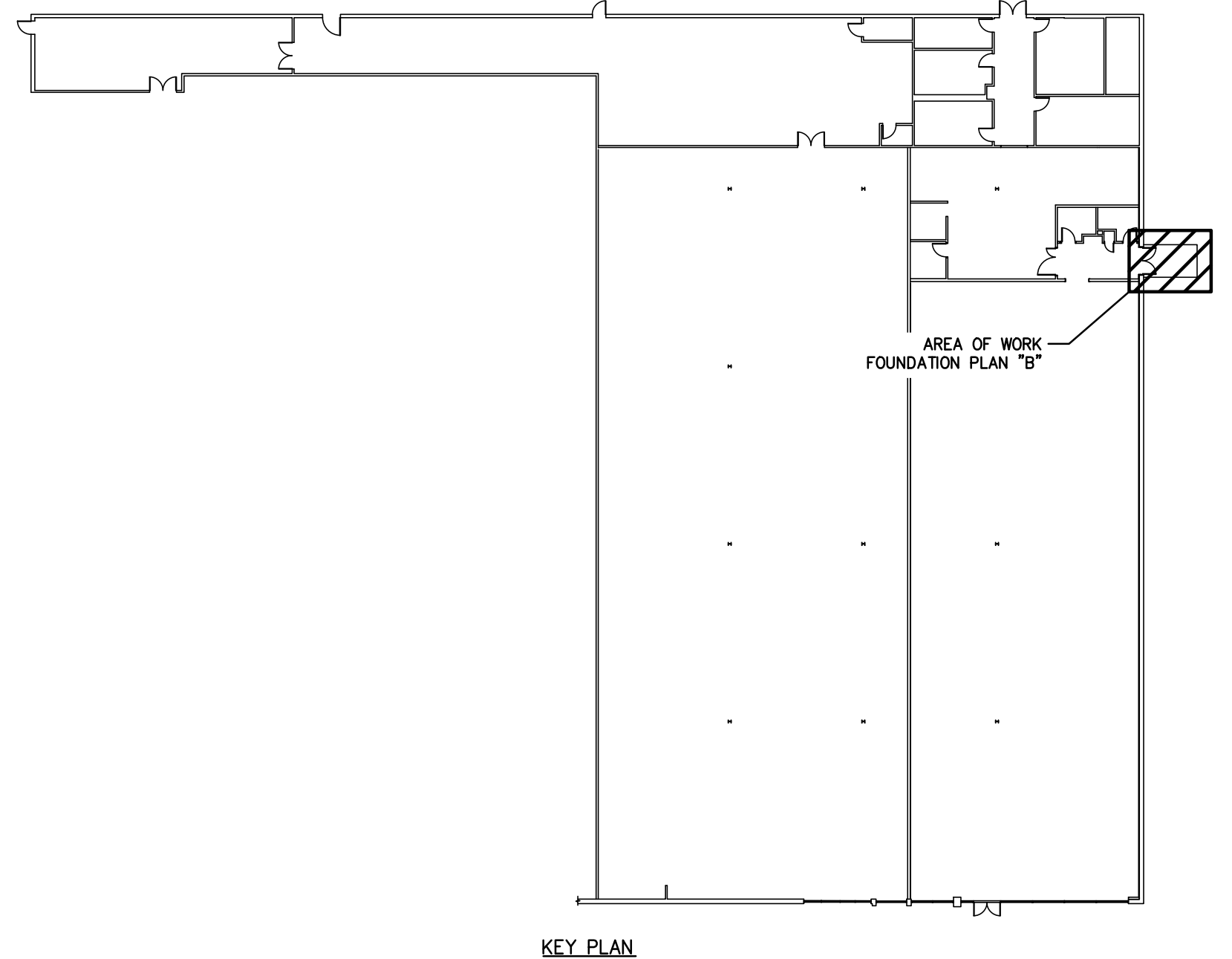
SECTION 1
 SCALE: 3/4" = 1'-0" S1.2|S1.2



SECTION 2
 SCALE: 3/4" = 1'-0" S1.2|S1.2



SECTION 3
 SCALE: 3/4" = 1'-0" S1.2|S1.2



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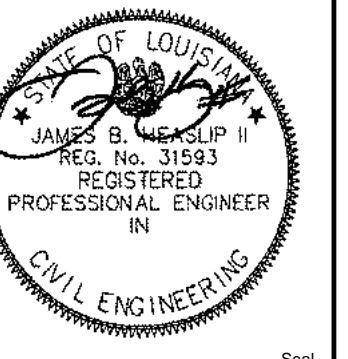
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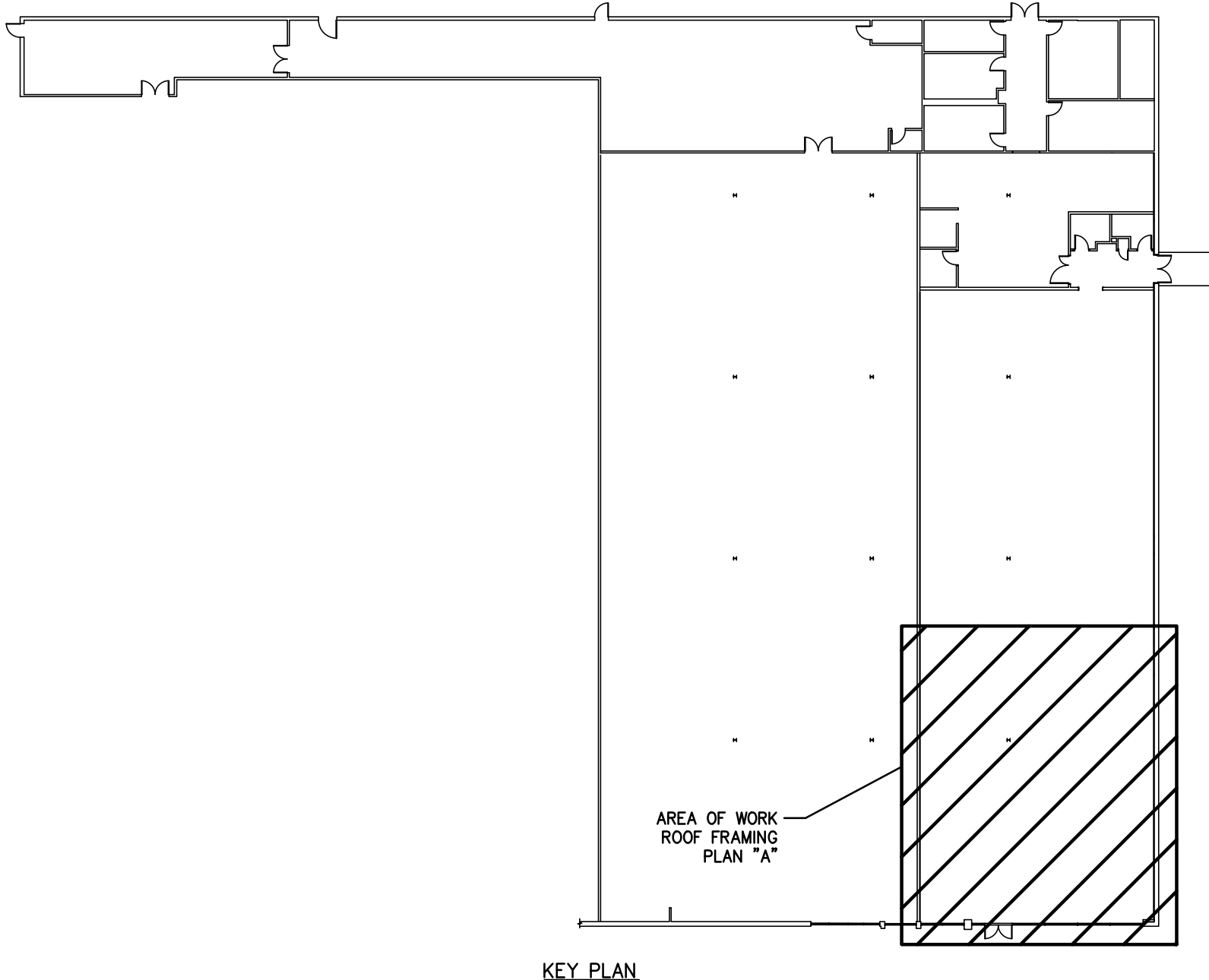
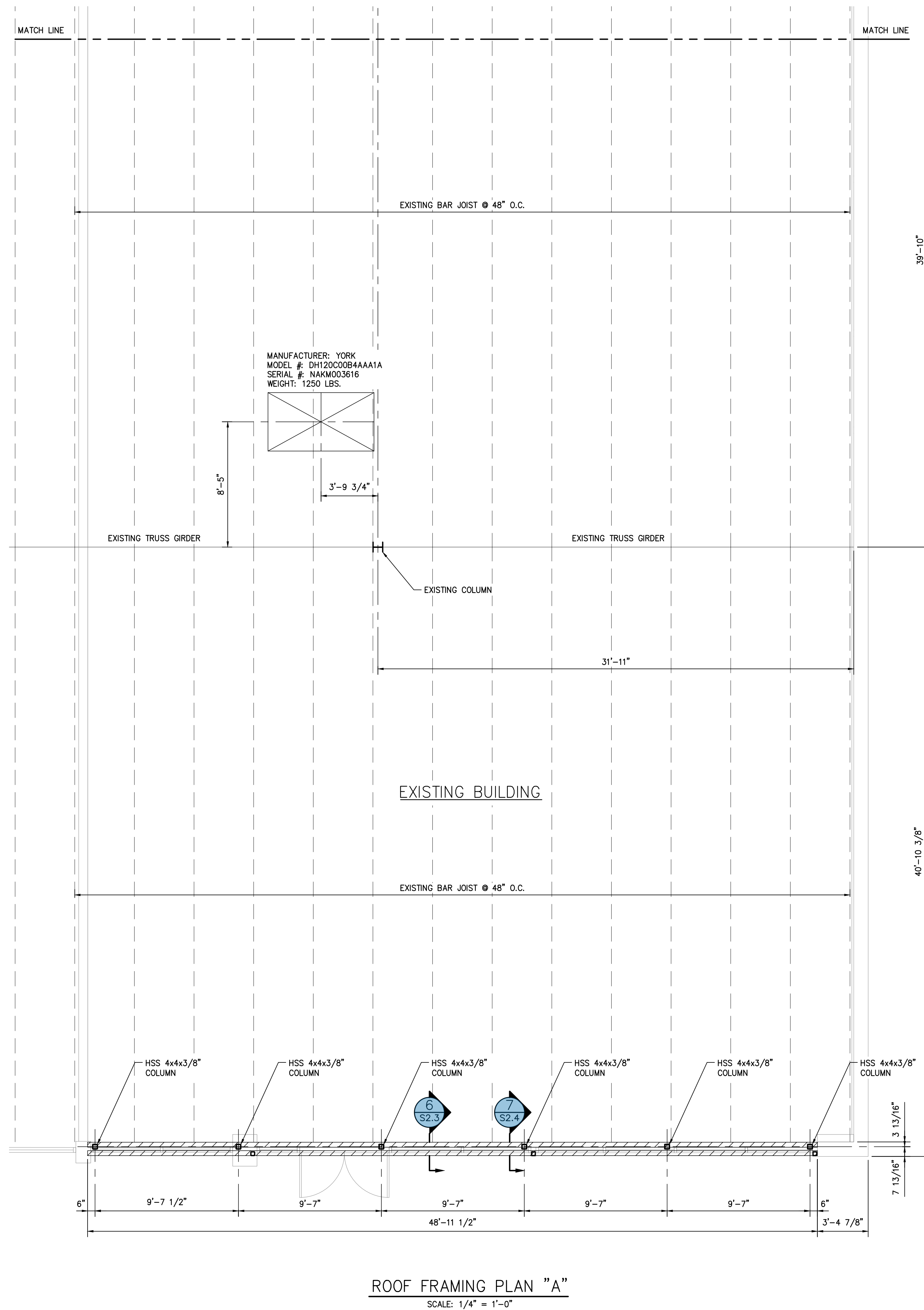
10/13/25	25-1885
Date:	Project No.

S2.1
ROOF FRAMING PLAN "A"

PLAN NOTES:

- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- FOR ALL PLAN NOTES, SEE DRAWING S2.0.

NOTE:
NEW MECHANICAL UNITS TO BE INSTALLED AT LOCATIONS OF EXISTING MECHANICAL UNITS. REFER TO MECHANICAL UNIT ROOF TOP SUPPORT DETAIL, DRAWING S2.4 FOR ADDED FRAMING UNDER MECHANICAL UNITS IF FRAMING AND JOIST REINFORCEMENT DOES NOT EXISTING.



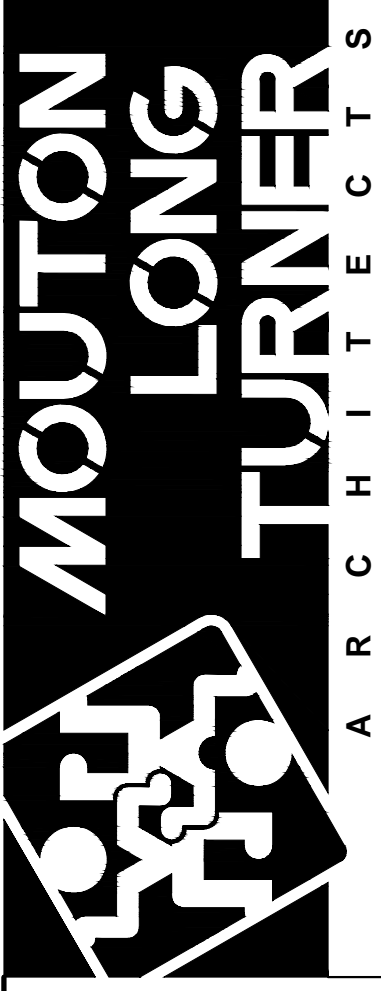
ROOF FRAMING PLAN "A"
SCALE: 1/4" = 1'-0"

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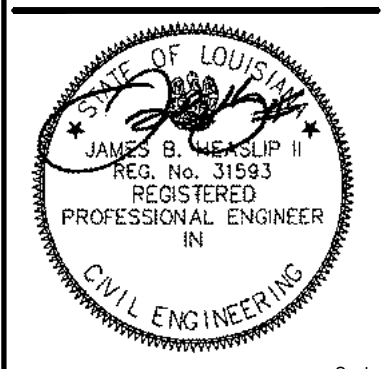
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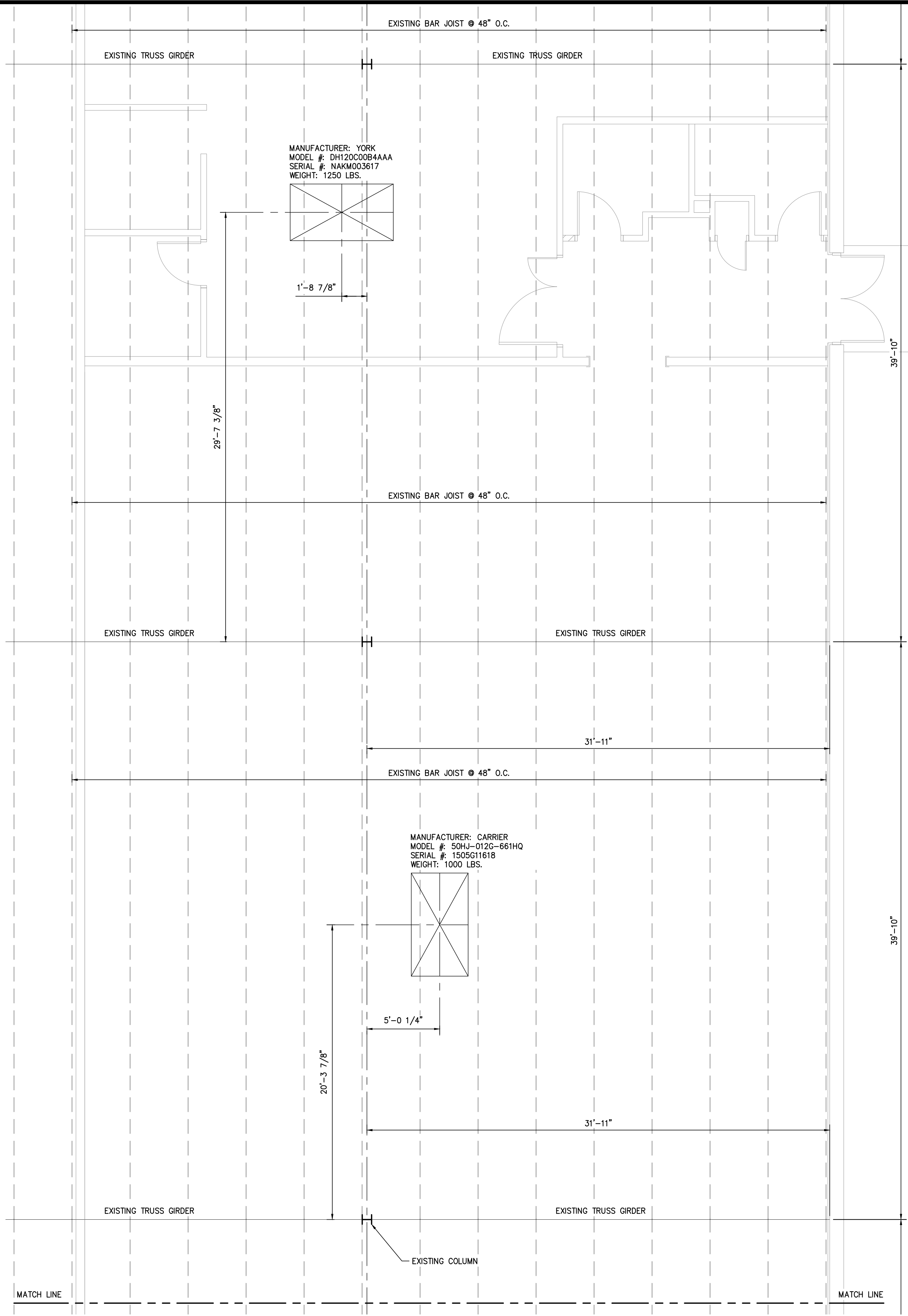
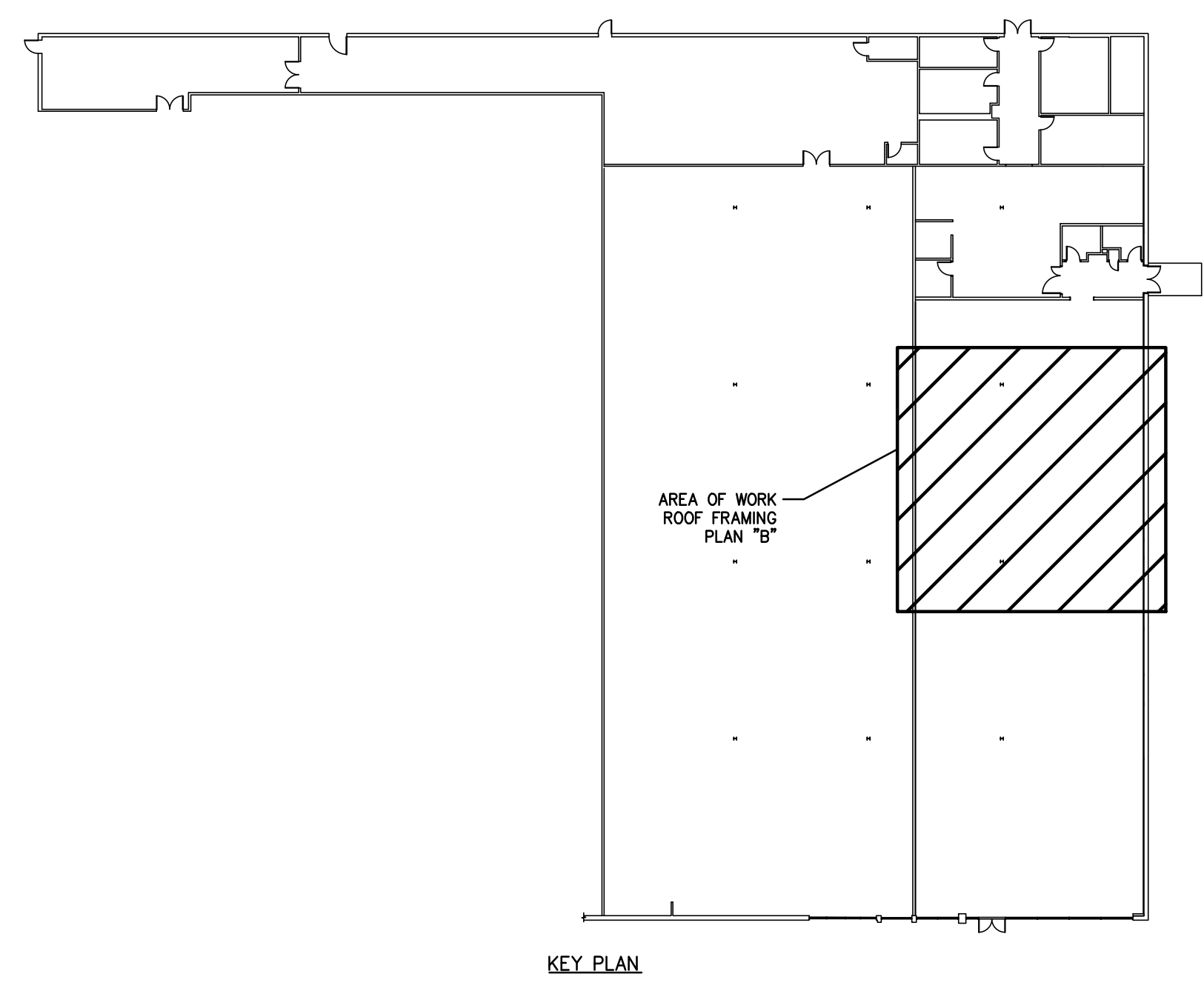
10/13/25 25-1885
Date: Project No.
Drawing No.

S2.2
ROOF FRAMING PLAN "B"

PLAN NOTES:

- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- FOR ALL PLAN NOTES, SEE DRAWING S2.0.

NOTE:
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ROOF FRAMING PLAN "B"
SCALE: 1/4" = 1'-0"

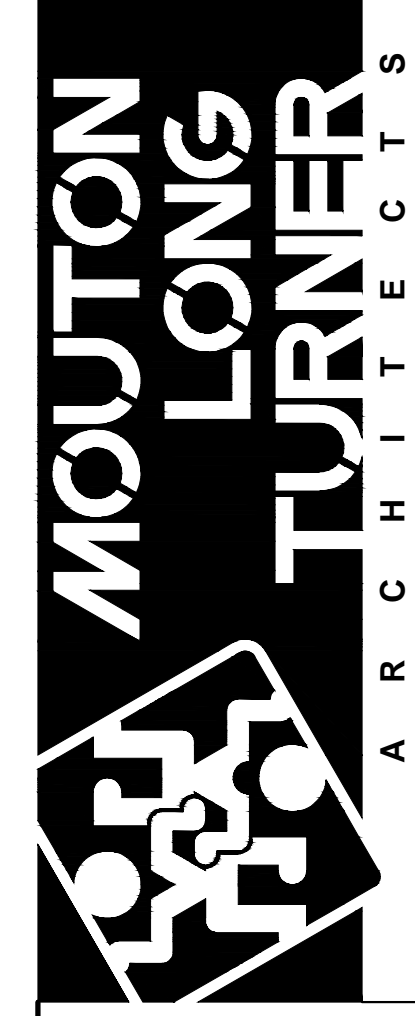
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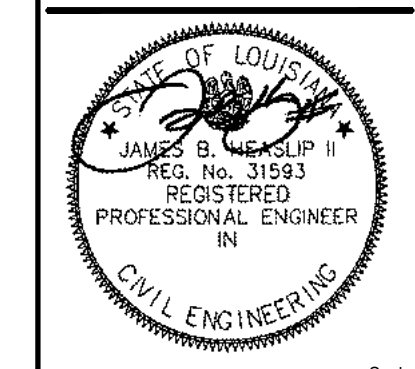
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ENGINEER: JAMES B HEASLIP AE PROJECT #: 251114
LICENSE NUMBER: 31593

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Date	To	Remarks

Revisions	
No.	Description

10/13/25
Date: 25-1885
Project No.
Drawing No.

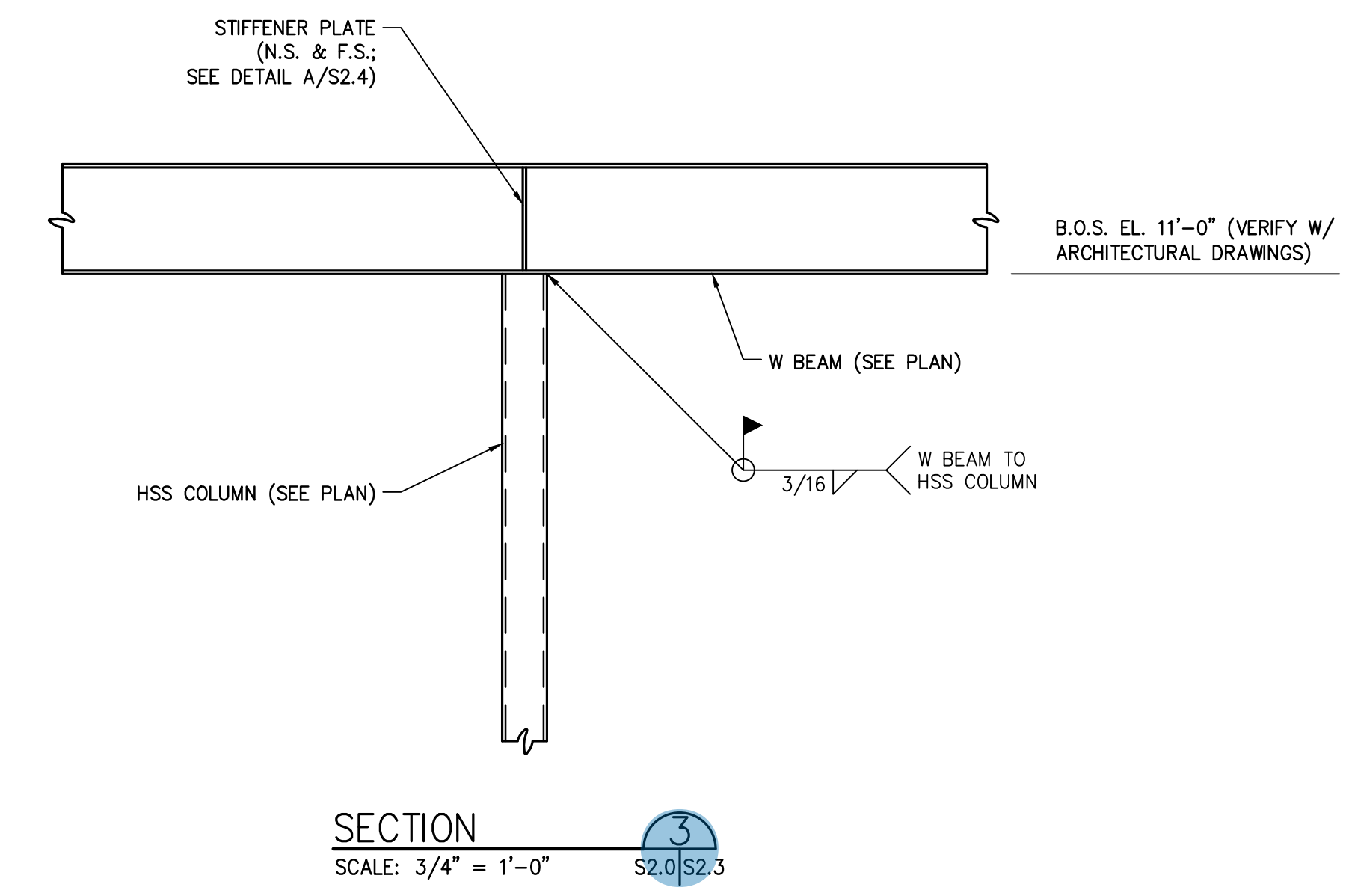
S2.3
FRAMING SECTIONS

axis
ENGINEERING
CIVIL | STRUCTURAL

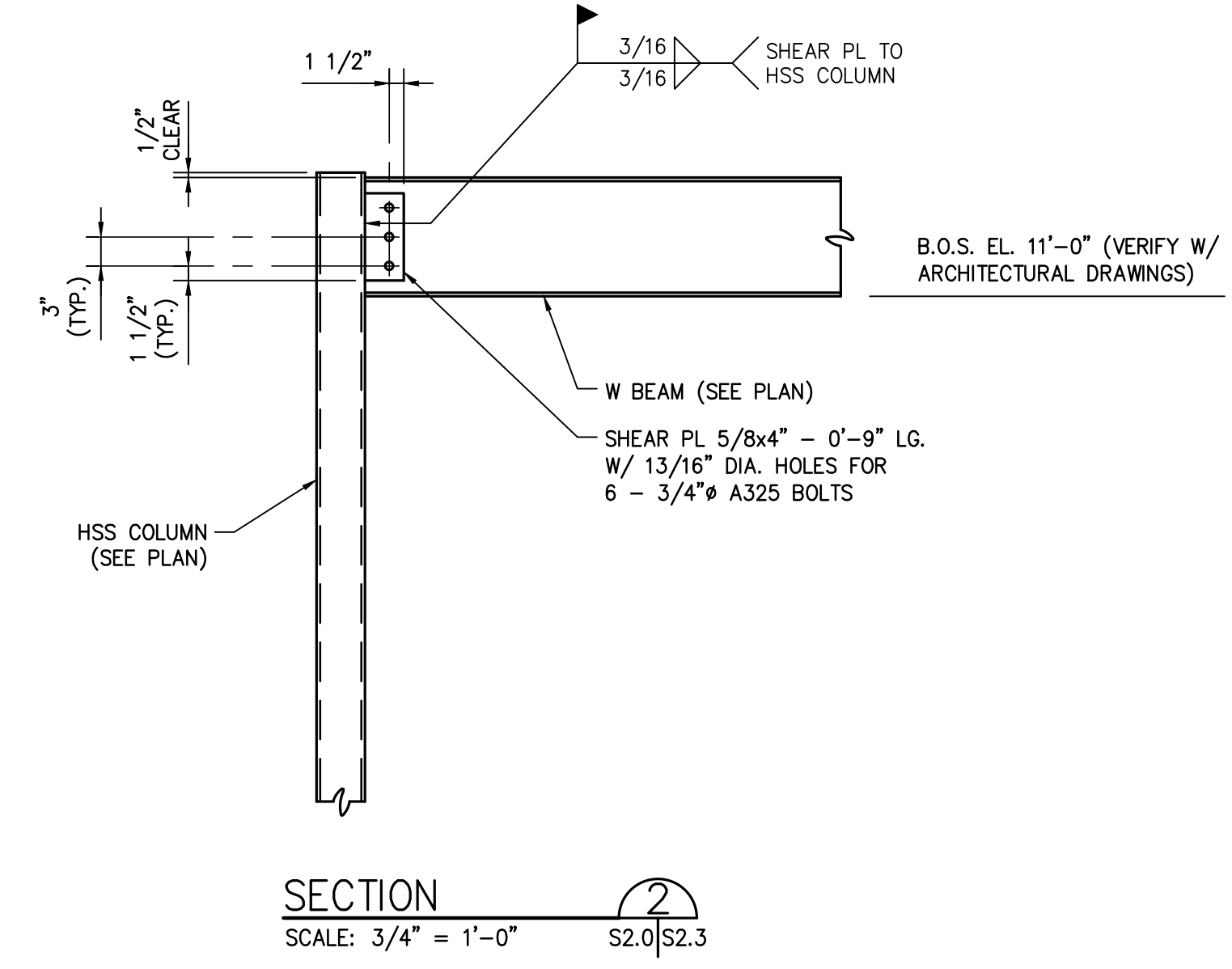
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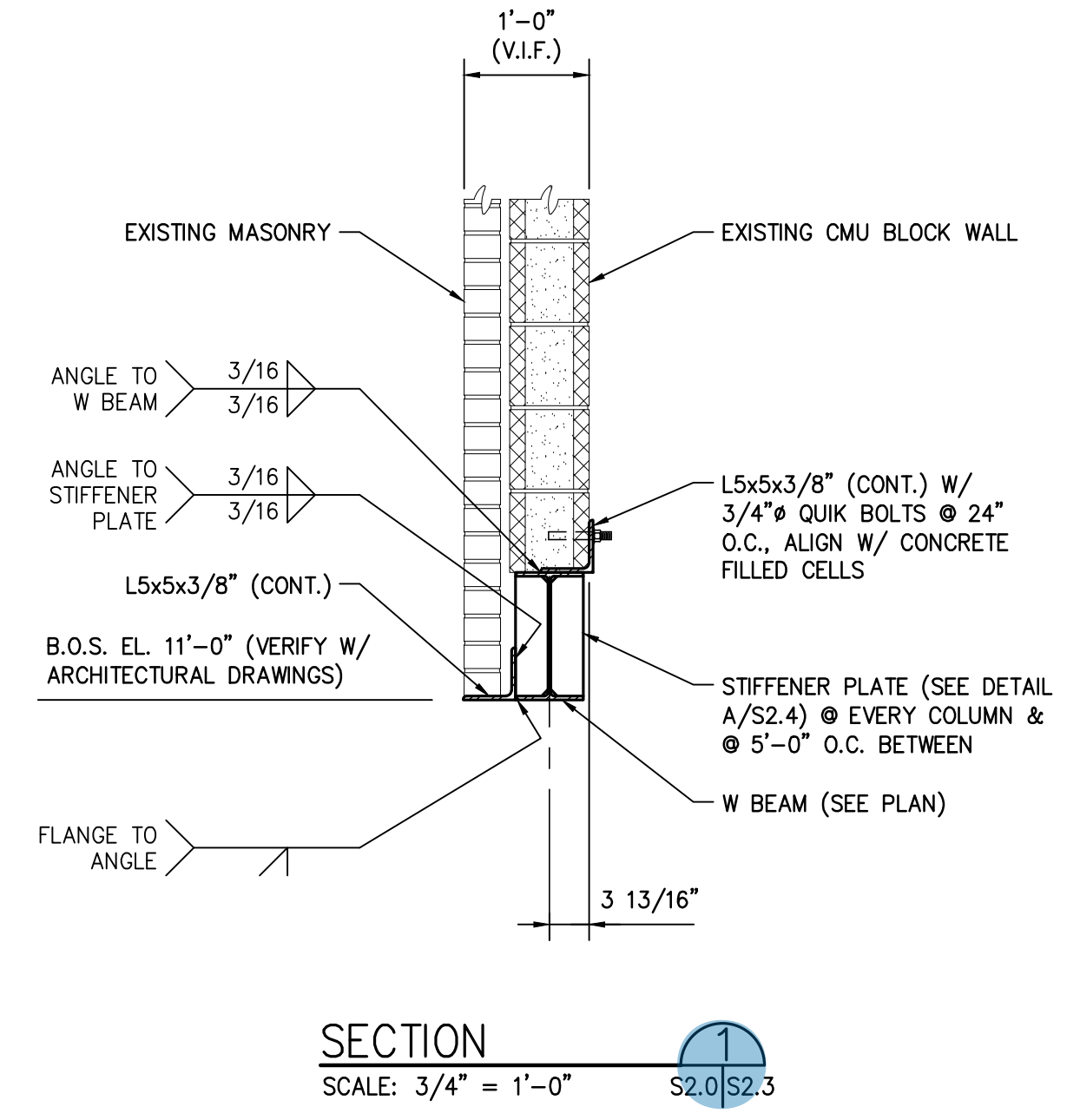
ENGINEER: JAMES B HEASLIP AE PROJECT #: 25114
LICENSE NUMBER: 31593



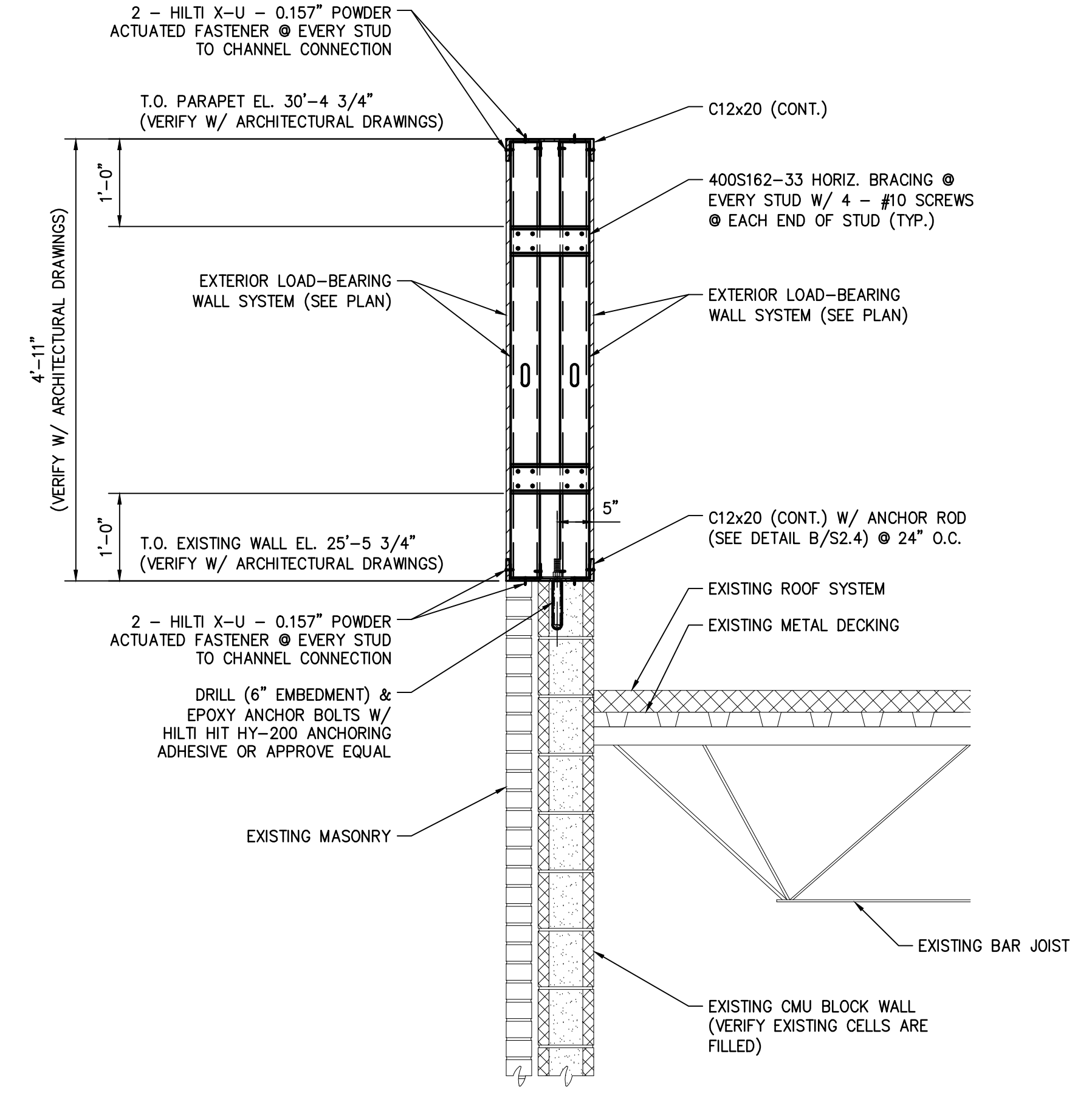
SECTION 3
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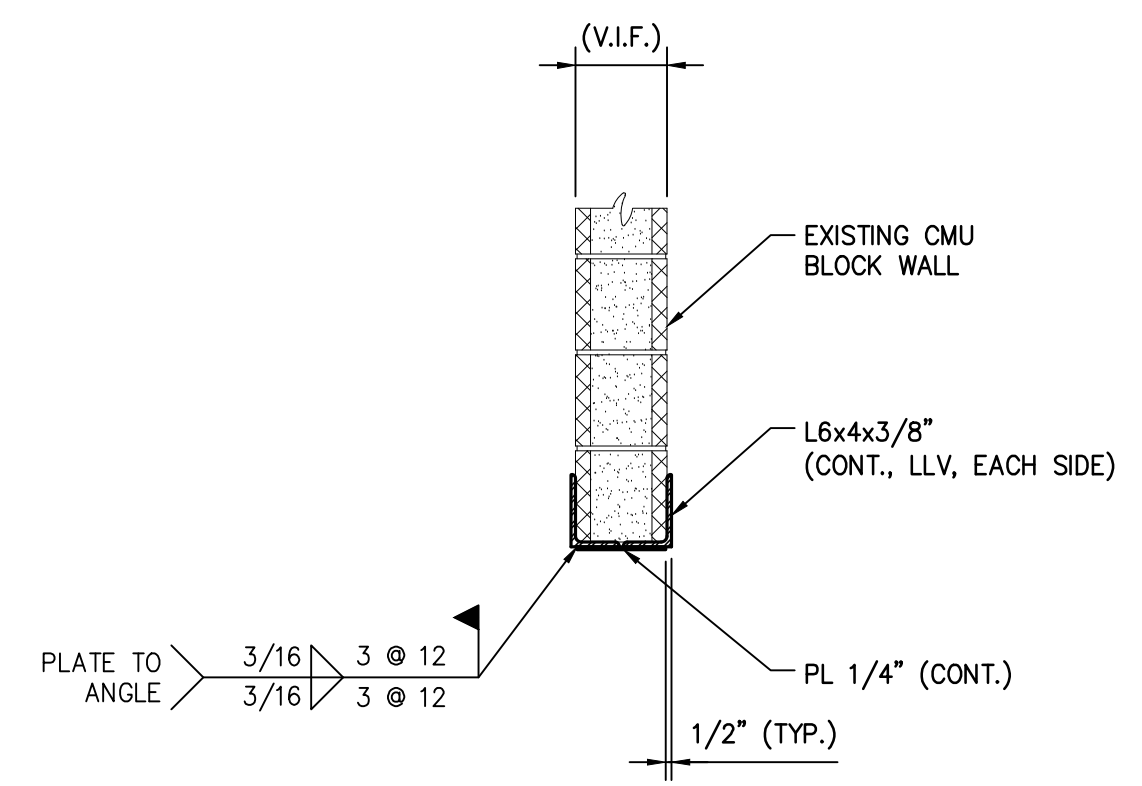
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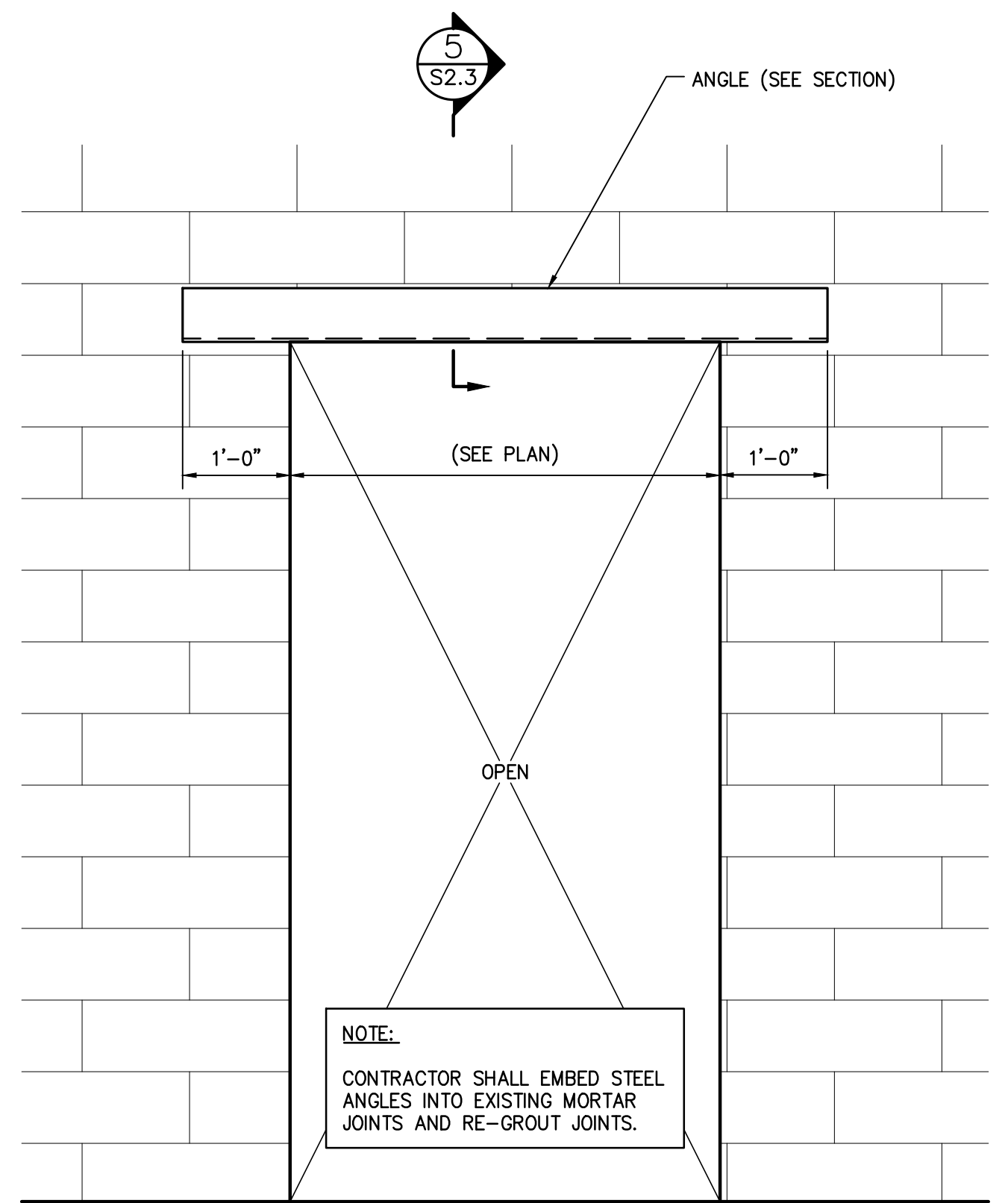
SECTION 1
SCALE: 3/4" = 1'-0" S2.0/S2.3



SECTION 6
SCALE: 3/4" = 1'-0" S2.1/S2.3

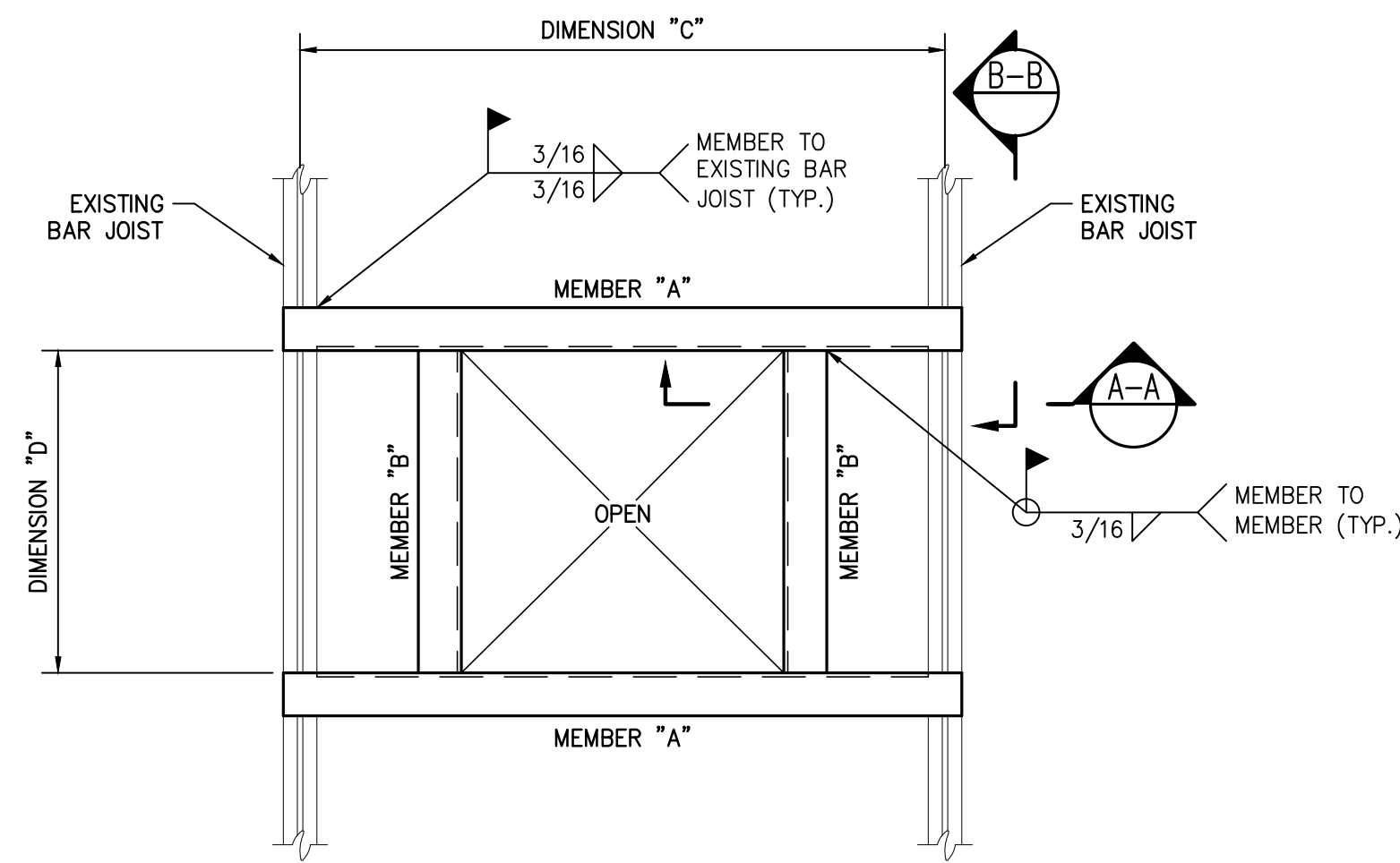


SECTION 5
SCALE: 3/4" = 1'-0" S2.3/S2.3



SECTION 4
SCALE: 3/4" = 1'-0" S2.0/S2.3

NOTE:
CONTRACTOR SHALL EMBED STEEL ANGLES INTO EXISTING MORTAR JOINTS AND RE-GROUT JOINTS.

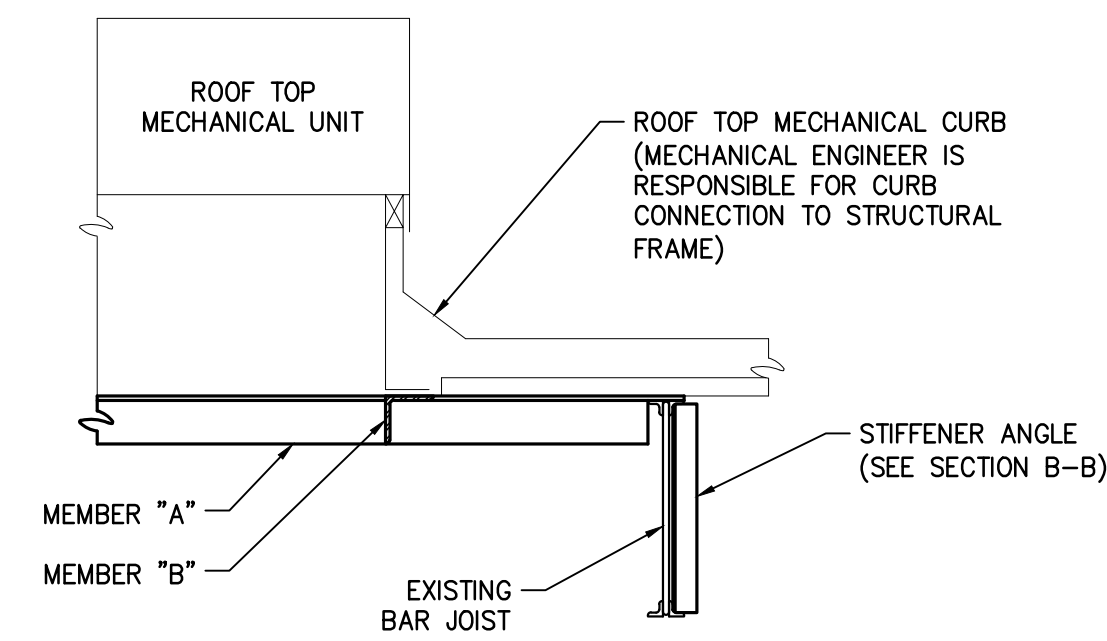


PLAN

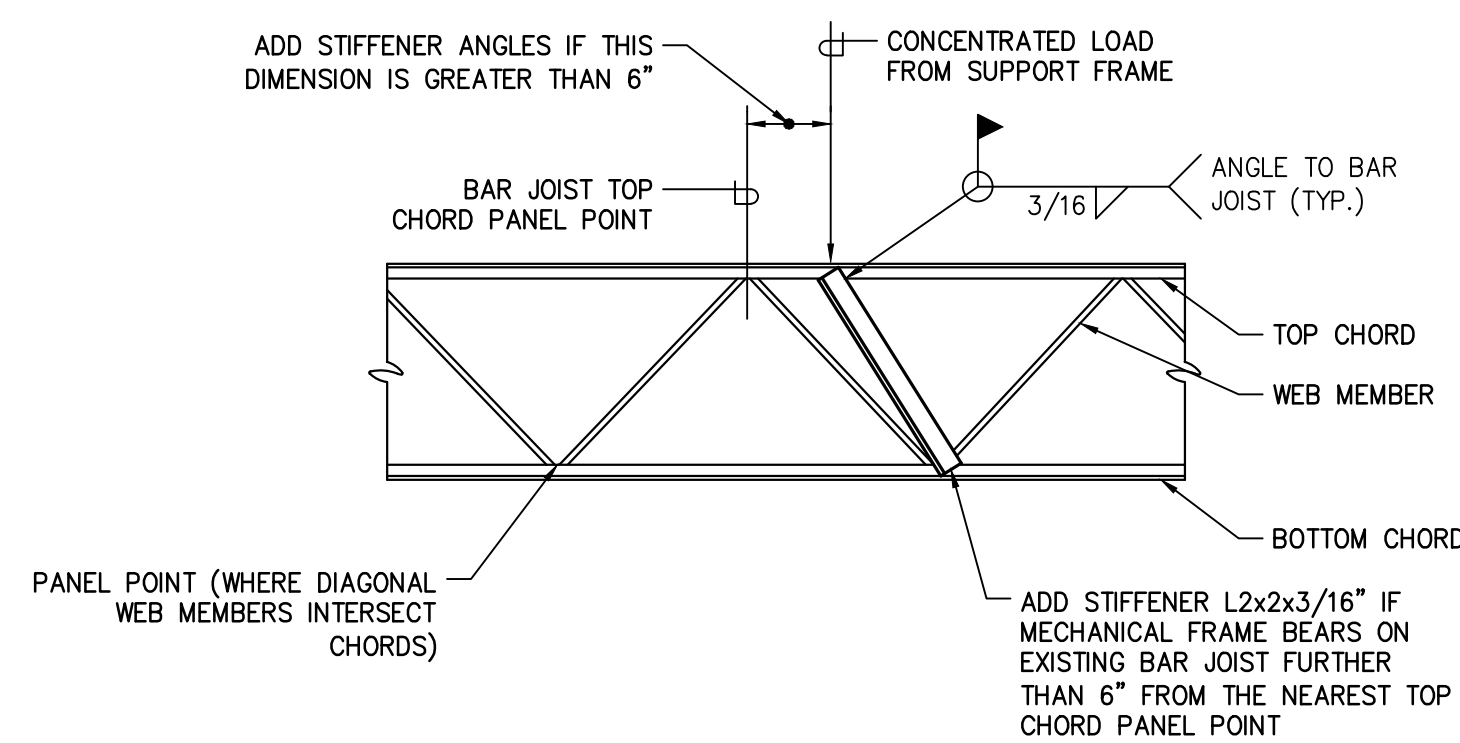
NOTES:

1. VERIFY DIMENSIONS AND DETAILS WITH MECHANICAL CONTRACTOR BEFORE FABRICATION.
2. STRUCTURAL FRAME DESIGN IS BASED ON MECHANICAL UNITS SHOWN ON PLANS. NOTIFY ENGINEER OF RECORD IF LOCATIONS CHANGE.
3. STRUCTURAL FRAME SHALL BE PROVIDED SO THAT THE ENTIRE PERIMETER OF THE MECHANICAL CURB IS SUPPORTED.

ROOF TOP UNIT FRAME SCHEDULE					
UNIT DESIGNATION (MODEL #.)	UNIT WEIGHT (LBS.)	MEMBER "A"	MEMBER "B"	DIMENSION "C"	DIMENSION "D"
DH120C00B4AAA1A	1250	WT4x9	L4x4x3/8"	4'-0" (V.I.F.)	VERIFY W/ UNIT SPECIFICATIONS
50HJ-012G-661HQ	1000	WT4x9	L4x4x3/8"	4'-0" (V.I.F.)	VERIFY W/ UNIT SPECIFICATIONS
DH120C00B4AAA	1250	WT4x9	L4x4x3/8"	4'-0" (V.I.F.)	VERIFY W/ UNIT SPECIFICATIONS

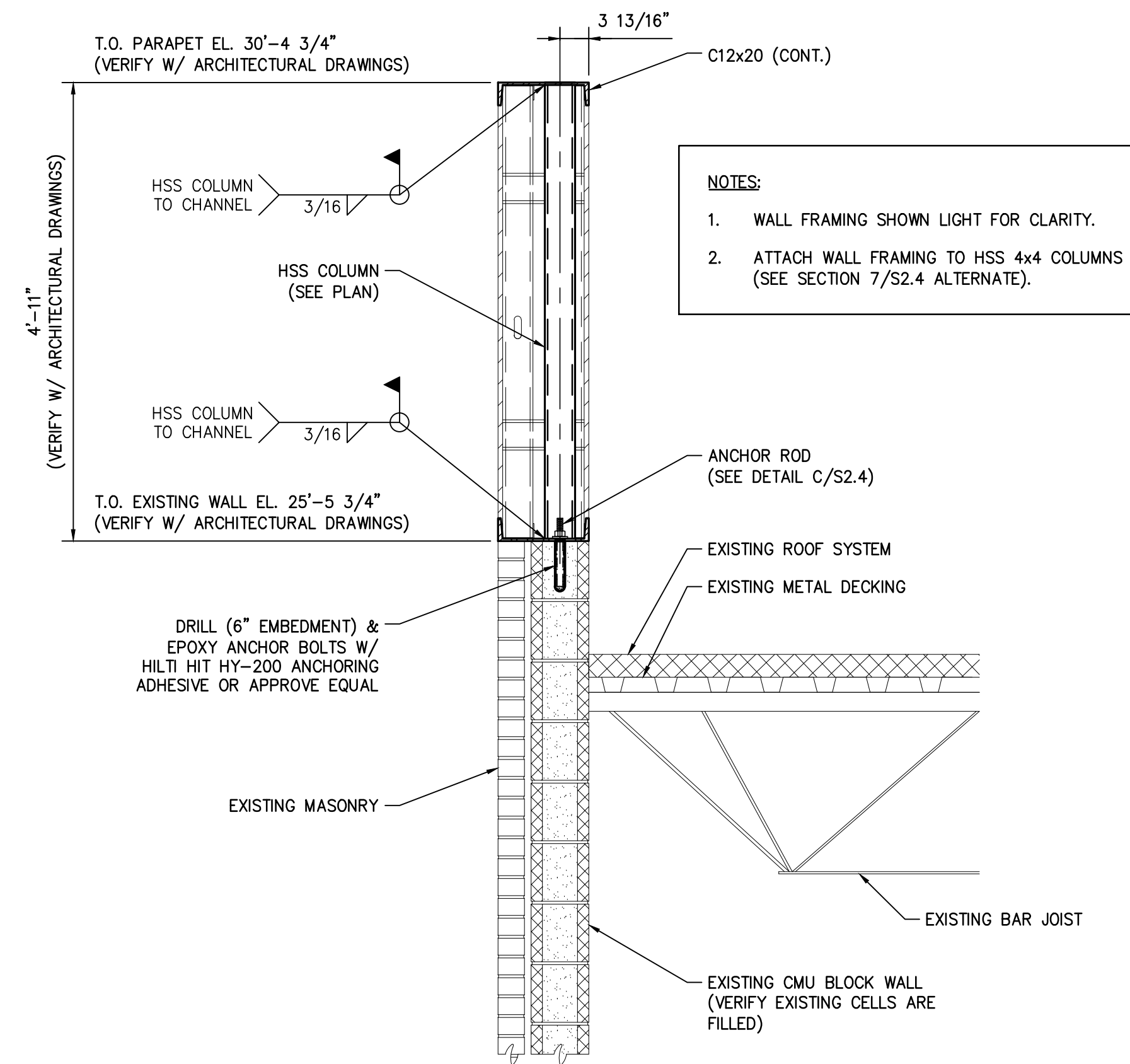


SECTION A-A

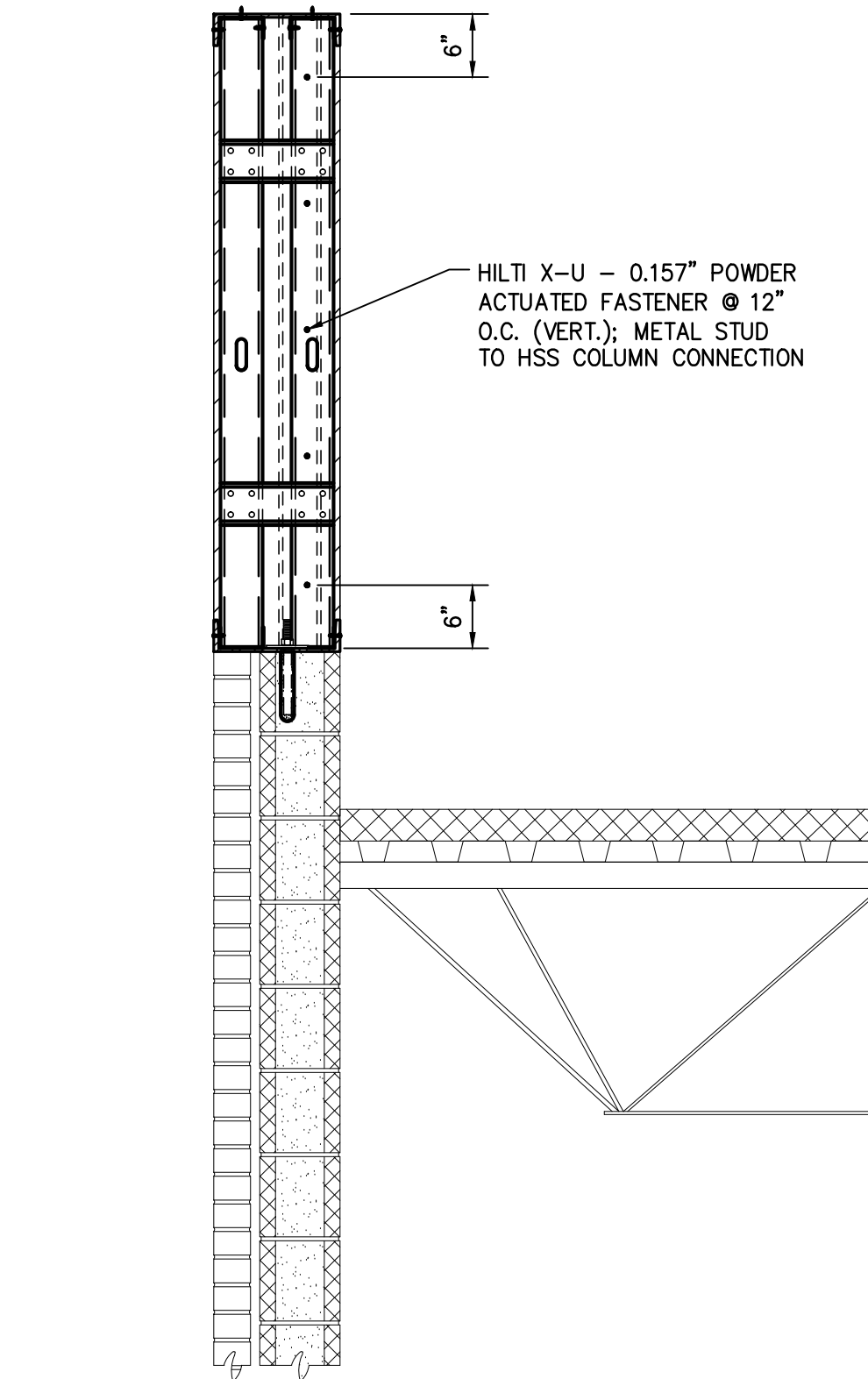


SECTION B-B

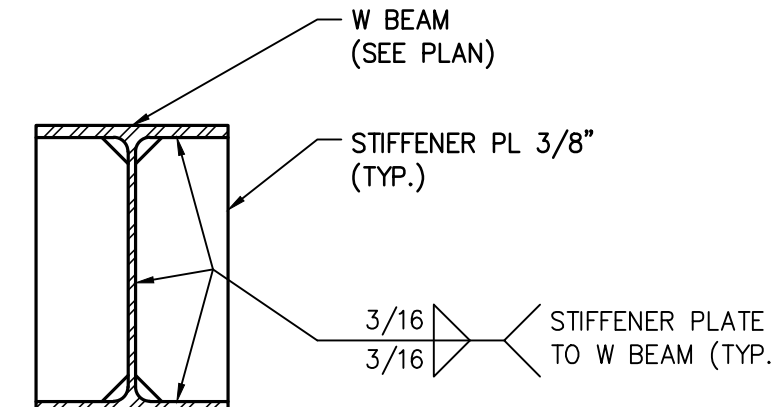
MECHANICAL UNIT ROOF TOP SUPPORT DETAIL
SCALE: N.T.S.



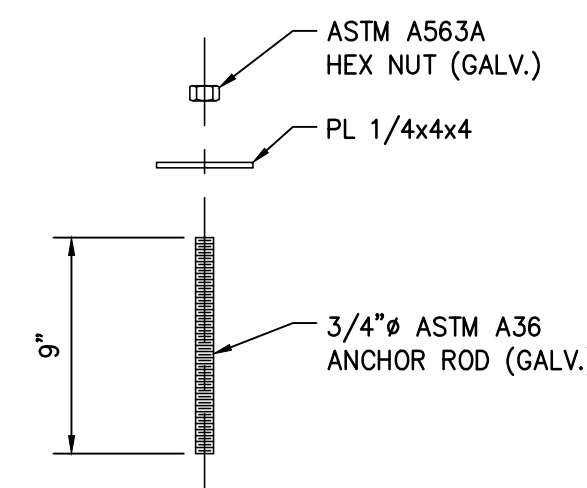
SECTION
SCALE: 3/4" = 1'-0" S2.1 | S2.4



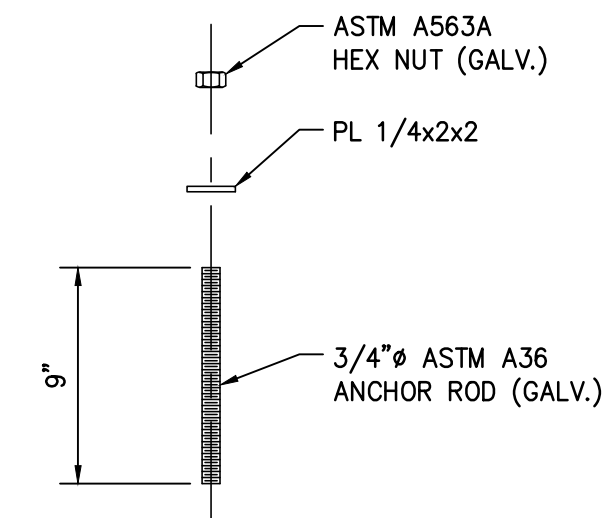
SECTION ALTERNATE
SCALE: 3/4" = 1'-0" S2.1 | S2.4



DETAIL A
SCALE: 1 1/2" = 1'-0" S2.3 | S2.4

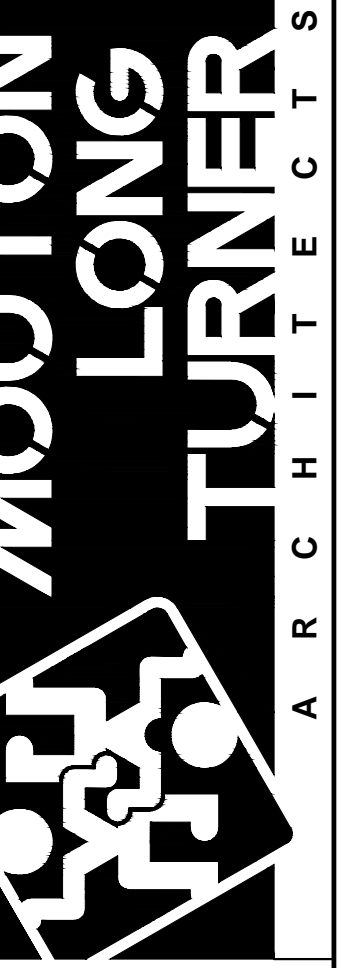


DETAIL B
SCALE: 1 1/2" = 1'-0" S2.3 | S2.4



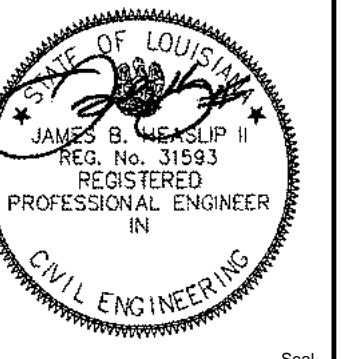
DETAIL C
SCALE: 1 1/2" = 1'-0" S2.4

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Drawing No.

S2.4

FRAMING SECTIONS AND DETAILS



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LICENSE NUMBER: 31593

EXTERIOR SHEATHING
<ul style="list-style-type: none"> 5/8" EXTERIOR GRADE DENSGLASS SHEATHING (ATTACHED ACCORDING TO IBC STANDARDS) REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

CEMENT BACKER BOARD

<p>CEMENTITIOUS BACKER UNITS USG DUROCK CEMENT BOARD OR EQUAL</p> <ul style="list-style-type: none"> THICKNESS: 5/8 INCH MOLD RESISTANCE: ASTM D 3273, SCORE OF 10 AS RATED ACCORDING TO ASTM D 3274. PROVIDE FASTENERS OF SIZE AND TYPE INDICATED THAT COMPLY WITH MFRS.REQUIREMENTS
--

TERMITE PRE TREATMENT
<p>PROVIDE SOIL PRE TREATMENT BELOW SLAB BY LICENSED AND INSURED PEST CONTROL CONTRACTOR.</p>

PAINTING

<p>GENERAL PROVISIONS</p> <p>1. SCOPE: SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE PROPER PAINTING AND FINISHING OF THE BUILDING.</p> <p>MATERIALS</p> <p>1. PAINT BRANDS AND COLORS ARE BASED ON SHERWIN WILLIAMS AND BENJAMIN MOORE SCHEDULE TO SHOW EXACT COLOR REQUIRED. ALL MATERIALS SHALL BE USED WITHOUT ALTERATIONS AND ONLY AS SPECIFIED BY THE PAINT MANUFACTURER.</p> <p>2. PUTTY AND FILLERS SHALL BE AS RECOMMENDED BY THE PAINT MANUFACTURER.</p> <p>3. CAULKING MATERIAL SHALL BE "MONO" ACRYLIC TERPOLYMER SEALANT, WHITE COLOR, BY TREMCO MANUFACTURING CO., CLEVELAND, OH, OR APPROVED EQUAL.</p> <p>4. SURFACE PREPARATION SHALL BE AS PER PAINT MFG. RECOMMENDATIONS</p> <p>PERFORMANCE</p> <p>1. WORKMANSHIP: ALL SURFACES TO BE PAINTED SHALL BE CLEAN AND FREE OF DIRT, DUST, OR GRIT BEFORE PAINTING IS STARTED. PAINTING SHALL NOT BE DONE WHEN THERE IS SWEEPING OR EXCESSIVE DUST IN THE AIR. ALL PITCH STREAKS, RESIN, SPOTS, ETC., SHALL BE CLEANED OF ALL RESIDUE AND TOUCHED UP WITH SHELLAC BEFORE PAINTING. PUTTY ALL NAIL HOLES, CRACKS, ETC., AFTER THE FIRST COAT IS APPLIED. WHERE THE WOOD DOES NOT DRY TO A UNIFORM SHEEN OVER THE ENTIRE SURFACE, SPOT PRIME THE AREAS THAT INDICATE SUCTION BEFORE APPLYING FINISH COATS. UNDERCOATS OF PAINT SHALL BE TINTED TO A COLOR APPROXIMATING THE FINISH COATS, WITH ENOUGH VARIATION IN COLOR TO PERMIT VISUAL INSPECTION OF MATERIALS DURING THIS WORK. ALL MATERIALS SHALL BE EVENLY SPREAD AND FLOWED ON WITHOUT RUNS, SAP, OR EXCESSIVE BRUSH MARKS.</p> <p>2. STEEL DOORS, FRAMES, GATES, PIPE GUARDS, LIGHT POLES, EXPOSED SIGN SUPPORTS, GAS PIPES, HANDRAILS, AND OTHER FREESTANDING METAL ACCESSORIES:</p> <p style="padding-left: 20px;">A. PRE-PRIMED: TWO (2) ADDITIONAL COATS OF EXTERIOR WATER BASED INDUSTRIAL ENAMEL OVER FINELY-SANDED PRIMER. SEE SCHEDULE FOR COLOR.</p> <p>3. DRYWALL. 1 COAT PREP RITE 200 LATEX PRIMER, 2 COATS PRO MAR 200 EG-SHELL</p> <p>4. CEMENTIOUS STUCCO. WATERPROOF ACRYLIC SYSTEM FLAT FINISH 1st COAT S-W LOXON CONCRETE & MASONRY PRIMER SEALER, A24W8300 2ND COAT S-W LOXON XP WATERPROOFER 3RD COAT S-W LOXON XP WATERPROOFER THICKNESS AS RECOMENDED BY MFG.</p>
<p>PRIME & PAINT ALL STEEL LINTELS PRIOR TO INSTALLATION</p>

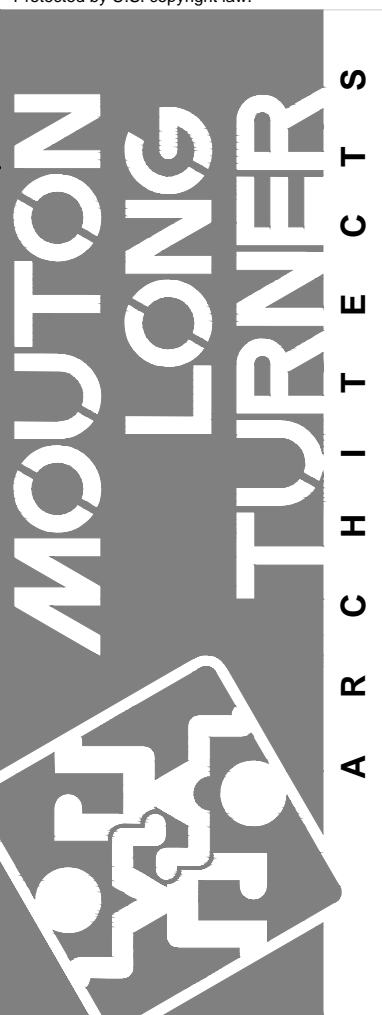
GYPHUM WALLBOARD <small>(FINISH SHALL BE LEVEL 4)</small>
<p>GENERAL PROVISIONS</p> <p>SCOPE: FURNISH AND INSTALL GYPSUM WALLBOARD AS A SUBSTRATE FOR OTHER FINISH MATERIALS ON ALL INTERIOR WALLS AND THE INTERIOR PORTIONS OF EXTERIOR WALLS. FURNISH AND INSTALL GYPSUM BOARD SUSPENDED CEILING WITH HANGERS AND SUPPORTS.</p> <p>MATERIALS MATERIAL NAMES ARE BASED ON A NATIONAL GYPSUM GOLD BOND STA-SMOOTH BEVEL EDGE SYSTEM. USE GOLD BOND OR EQUAL SYSTEM BY U.S. GYPSUM.</p> <p style="padding-left: 20px;">WALLS (EXCEPT WHERE NOTED): 5/8" STA-SMOOTH GYPSUM WALLBOARD</p> <p style="padding-left: 20px;">WALLS WHERE NOTED: 5/8" THICK TAPERED EDGE M/R (MOISTURE RESISTANT) GYPSUM WALLBOARD</p> <p style="padding-left: 20px;">DROPPED CEILING WHERE NOTED: 5/8" STA-SMOOTH GYPSUM WALLBOARD</p> <p style="padding-left: 20px;">FIRE RATED WHERE NOTED OR REQUIRED BY CODE: 5/8 FIRE SHIELD (GYPSUM WALLBOARD)</p> <p>FASTENERS</p> <p style="padding-left: 20px;">A. GWB-54 1-5/8" LONG ANNULAR RING SHANK NAILS MEETING THE REQUIREMENTS OF ASTM C-380.</p> <p style="padding-left: 20px;">B. 1-1/4" LONG TYPE-W DRYWALL SCREWS TO WOOD STUDS.</p> <p style="padding-left: 20px;">C. 1-1/4" LONG TYPE-S DRYWALL SCREWS TO INTERIOR METAL STUDS.</p> <p style="padding-left: 20px;">D. 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR GYPSUM SHEATHING TO METAL STUDS.</p> <p>JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED, FEATHER EDGED. CORNER BEADS SHALL BE GALVANIZED STEEL ROLL-FORMED U-SHAPED CHANNELS.</p> <p>HANGERS AND SUPPORTS: 1-1/2" CARRYING CHANNELS, 3/4" FURRING CHANNELS, 8 GAGE HANGER WIRES, 16 GAGE TIE WIRES, AND 1" TYPE S SCREWS.</p> <p>PERFORMANCE</p> <p>1. INSTALLATION</p> <p>A. CUTTING WALLBOARD: GYPSUM WALLBOARD SHALL BE CUT BY SCORING AND BREAKING, OR BY SAWING, WORKING FROM THE FACE SIDE. WHERE BOARD MEETS PROJECTING SURFACES, IT SHALL BE SCRIBED NEATLY.</p> <p>B. INSTALLING WALLBOARD: GYPSUM WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO FRAMING MEMBERS. BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF END JOINTS OCCUR. WALLBOARD JOINTS AT OPENINGS SHALL BE LOCATED SO THAT NO END JOINT SHALL ALIGN WITH EDGES OF OPENINGS. END JOINTS SHALL BE STAGGERED.</p> <p>C. FASTENING WALLBOARD: ATTACH WITH SCREWS OR NAILS SPACED APPROXIMATELY 8" O.C. THE NAILS SHALL BE DRIVEN HOME WITH THE HEAD SLIGHTLY BELOW THE SURFACE OF THE BOARD IN A DIMPLE FORMED BY THE DRIVING TOOL.</p> <p>D. FASTENING EXTERIOR GYPSUM SHEATHING: ATTACH TO METAL STUDS WITH SCREWS @ 12" o.c. WITH HEAD FLUSH WITH SURFACE.</p> <p>E. JOINTS FINISHING: JOINT COMPOUND, QUICK-TREAT, AND TOPPING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH PRINTED INSTRUCTIONS CONTAINED IN THE PACKAGE. A UNIFORMLY THIN LAYER OF JOINT COMPOUND SHALL BE APPLIED OVER THE JOINT UNDER THE TAPE TO PROVIDE PROPER BOND. CEILING AND WALL ANGLES AND INSIDE CORNER ANGLES SHALL BE REINFORCED WITH THE TAPE FOLDED TO CONFORM TO THE ANGLE AND EMBEDDED IN THE COMPOUND</p> <p>AFTER THE COMPOUND IS THOROUGHLY DRY, APPROXIMATELY TWENTY FOUR (24) HOURS FOR REGULAR COMPOUND, 2-1/2 HOURS FOR QUICK TREAT, THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND OR TOPPING COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF TAPE, AND FEATHERED OUT AT THE EDGE. AFTER THOROUGHLY DRY, APPLY ANOTHER CROWN OVER JOINTS. THIS COAT SHALL BE SMOOTH AND THE EDGES FEATHERED APPROXIMATELY 3" BEYOND THE PRECEDING COAT.</p> <p>ALLOW EACH APPLICATION OF COMPOUND TO JOINTS AND NAIL HEADS TO DRY, THEN SAND IF NECESSARY. ALL WALLBOARD AND TREATED AREAS SHALL BE SMOOTH AND READY FOR PAINTING OR WALLCOVERING.</p>

GLAZING
<p>GLAZING SHALL BE LOW-E INSULATED DOUBLE PANE UNITS SUPER NEUTRAL 68 ON CLEAR BY SUNGUARD/GUARDIAN 68% TRANSMITTANCE, 0.29 U-VALUE, 0.38 SHGC.</p>

TOILET PARTIONS

<p>TOILET PARTITIONS AND URINAL SCREENS SHALL BE CONSTRUCTED OF SOLID COLOR REINFORCED COMPOSITE (SCRC) SUBSTRATE. STANDARD HEIGHT, 12" FLOOR CLEARANCE.</p> <p>GAP FREE INTERLOCKING DOORS, FLOOR MOUNTED OVERHEAD BRACED, CONTINUOUS ANGLE WALL CONNECTORS AT URINAL SCREENS. ONE PIECE STAINLESS STEEL STILE SHOES, HARDWARE SHALL BE CHROME PLATED ALUMINUM, INCLUDE ALL HINGES, LATCHES, COAT HOOKS,AND OTHER ITEMS AS REQUIRED FOR A COMPLETE INSTALLATION.</p> <p>SMOKE AND FIRE RATED PER APPLICABLE CODES.</p> <p>PROVIDE SHOP DRAWINGS AND COORDINATE COLORS AND DETAILS WITH OWNER PRIOR TO ORDERING.</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>GC SHALL PROVIDE SOLID BLOCKING IN WALLS FOR ATTACHMENT. NO EXPANSION ANCHORS.</p> </div> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>COORDINATE COLORS, MATERIALS, AND STYLE WITH I.D.</p> </div>


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Revisions

A	10-23-25 SIGN BAND	B	10-11-25 UPDATED LANDLORD LETTER
C		D	

10/13/25	25-1885
Date	Project No.
Drawing No.	
SP1.0	
SPECIFICATIONS	