

Foggy Waters Marina

Exterior Renovation - Commercial

58047 Hwy 433, Slidell, LA 70458



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE REGULATIONS AND REQUIREMENTS.
I AM _____ AM NOT ADMINISTERING THE CONSTRUCTION.

SHEET INDEX

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SQUARE FOOTAGE (GROSS)

Store/Office:	1184 sqft
Storage:	2410 sqft
Front Porch:	744 sqft
Conditioned Space Total:	1184 sqft
Building Total:	3594 sqft
Project Total:	4338 sqft



ZONING

ZONING DISTRICT: CBF-1 Community Based Facilities

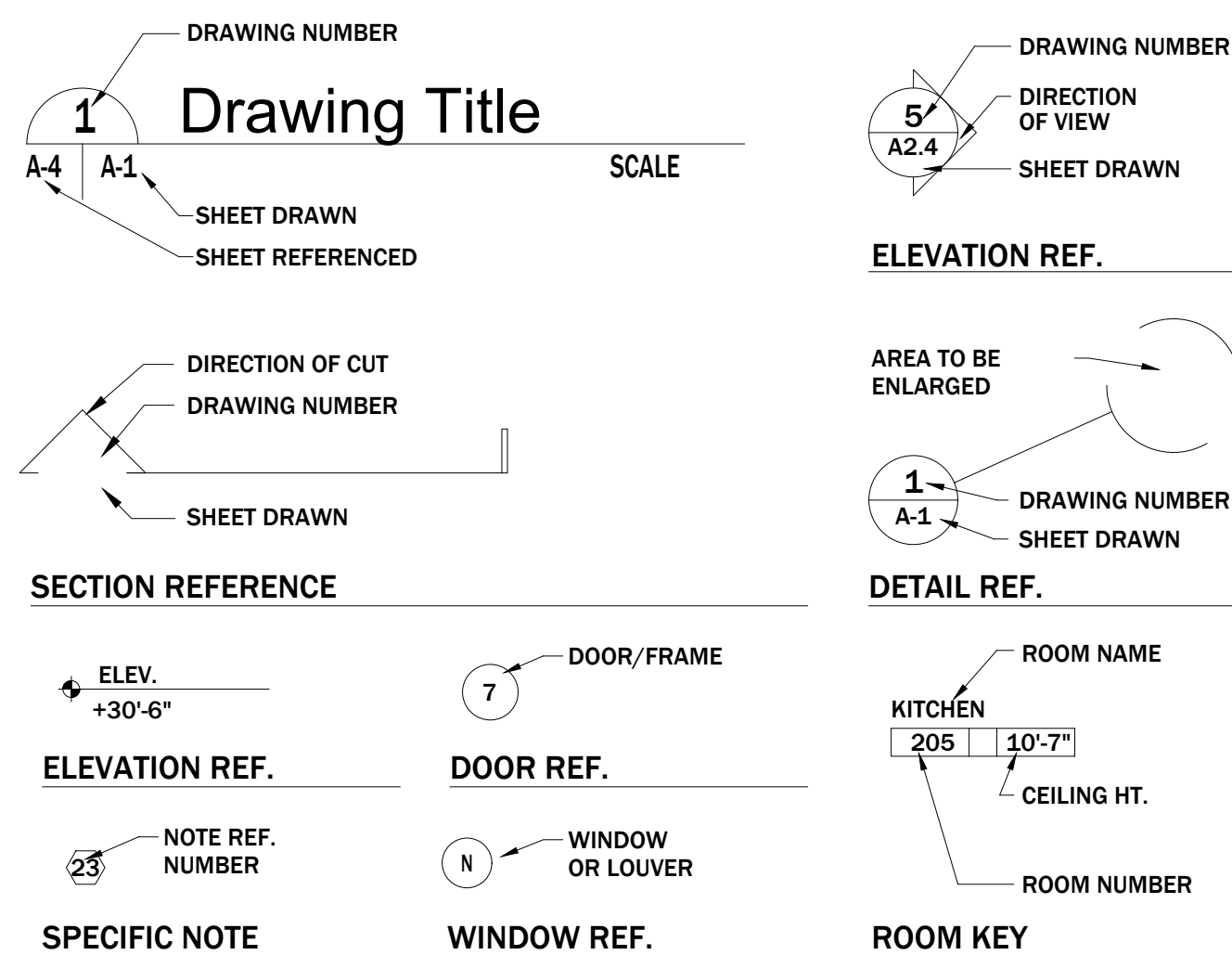
IBC CLASSIFICATION

Code:	IBC 2021
Construction Type:	Mixed
Retail /Office:	Type V
Storage Building:	Type III
Occupancy:	Mixed Use
	Retail/Office M Mercantile
	Storage S-1 Storage
Fire Suppression:	Non Sprinklered
Fire Separation:	No Separation Requirement

DESIGN STANDARDS

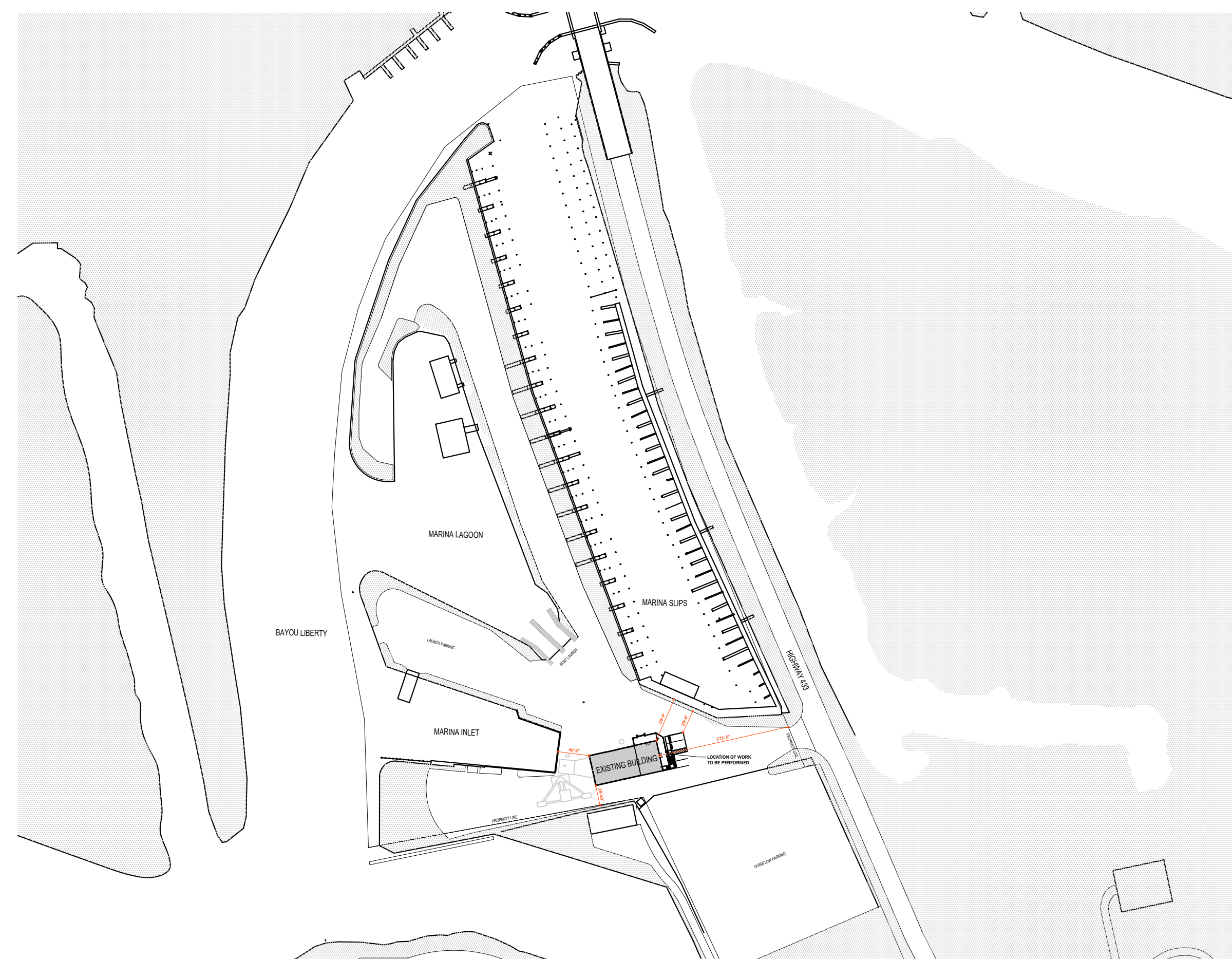
Standard:	ASCE-7
Exposure :	D
Risk Category:	II
Wind Speed:	140 mph
Fire Separation:	No Separation Requirement

Architectural Symbols



2 RENDERING

SCALE: 1/4" = 1'-0"



1 Site Plan

SCALE: 1/128" = 1'-0"

ALL DESIGN TO MEET IRC 2021
 Scope of Engineering applies to Outside Parking, ADA Ramp, Handrails, Guardrails, & Porch Canopy Addition only. Applies to all Sheets.

FOGGY WATERS MARINA
 REHABILITATION
 58047 HWY 433, SLIDELL LA

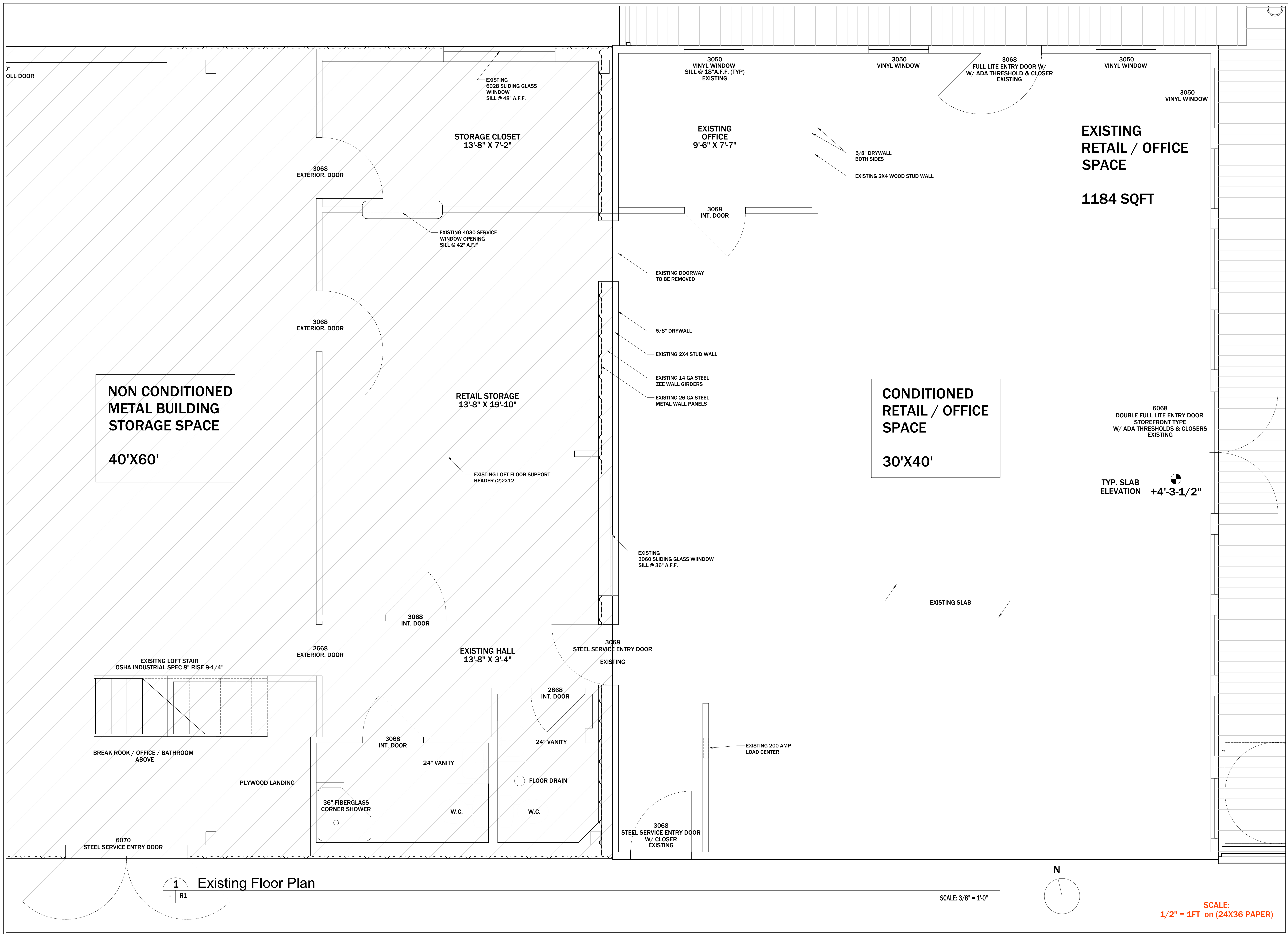
FOR:

PERMIT SET
 5/09/23

DRAWING SET:
 EXTERIOR RENOVATION
 SET:
 PERMIT
 REVISION:
 0
 REFERENCE:
 FIELD MEASURE

DATE: 5/09/23
 DRAWN BY: MT
 CHK'D BY: MT
 SCALE: NTS

SHEET:
 G-1



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FOR:
PRELIMINARY
5/22/23

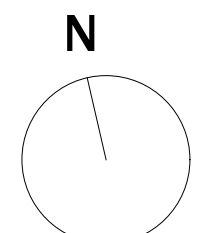
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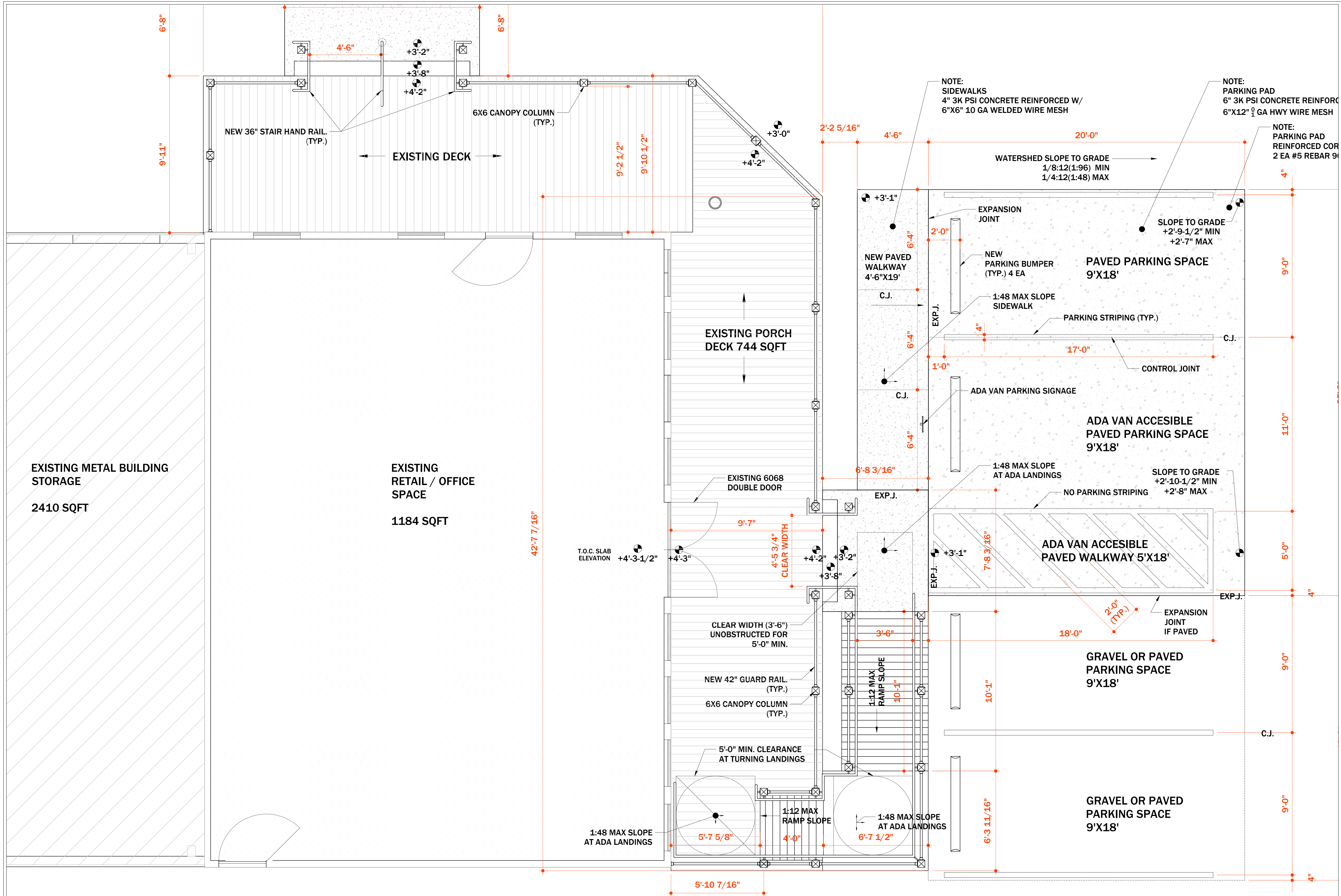
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R-1

1 Existing Floor Plan

SCALE: 3/8" = 1'-0"

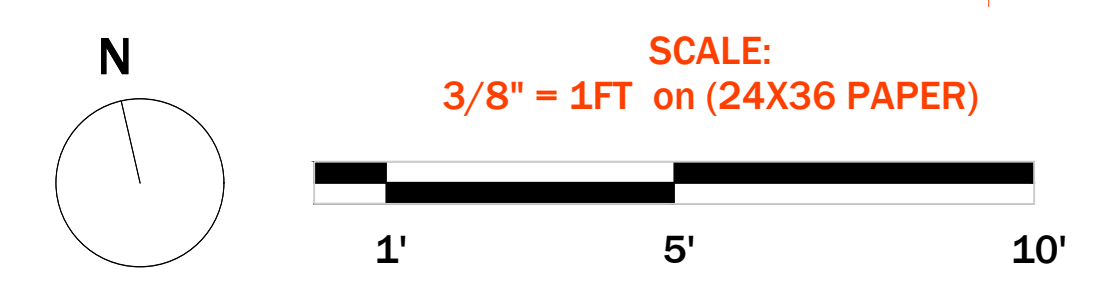


SCALE:
 1/2" = 1FT on (24X36 PAPER)



1 Descriptive Plan - Porch Canopy, Access & Parking

SCALE: 3/8" = 1'-0"



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REVISION:	0
REFERENCE:	FIELD MEASURE

DATE: 4/3/23

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SCALE: 3/8" = 1'

SHEET:

A-1

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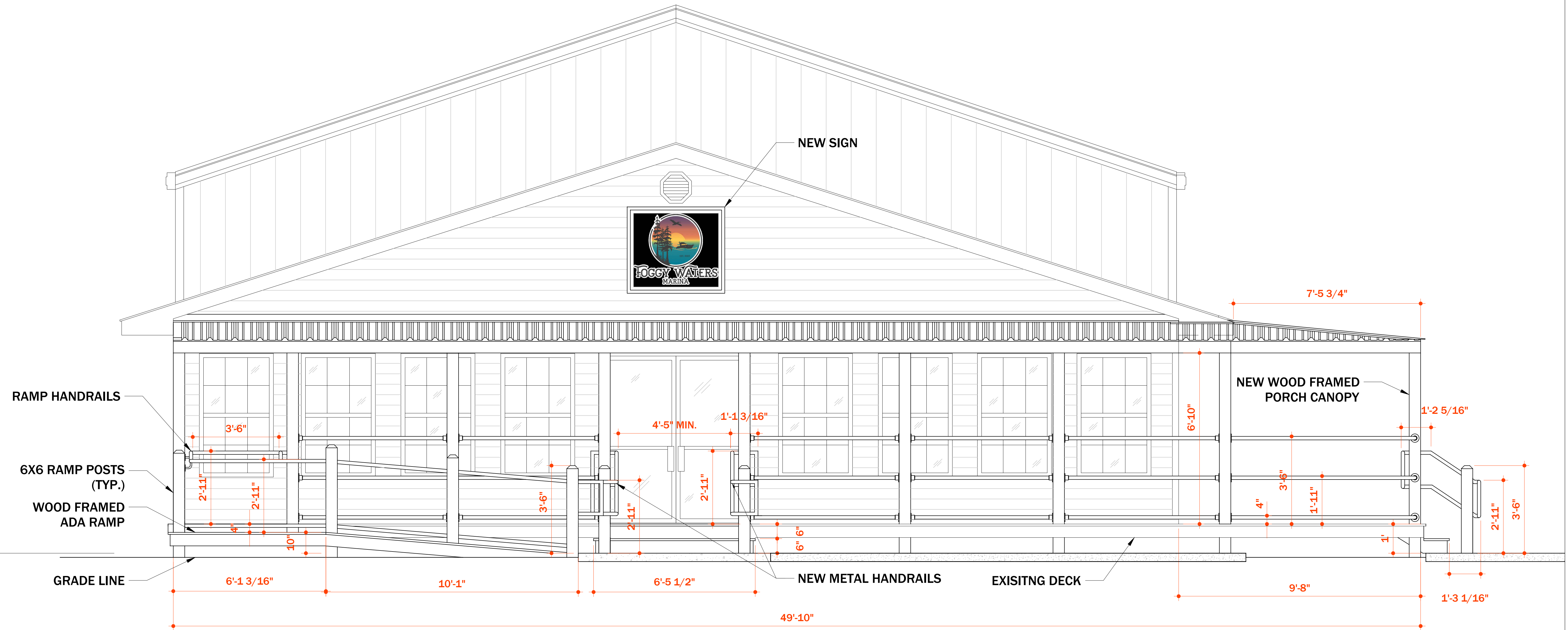
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SHEET:

A-2



1 East Elevation
 A-2

SCALE: 1/2" = 1'-0"

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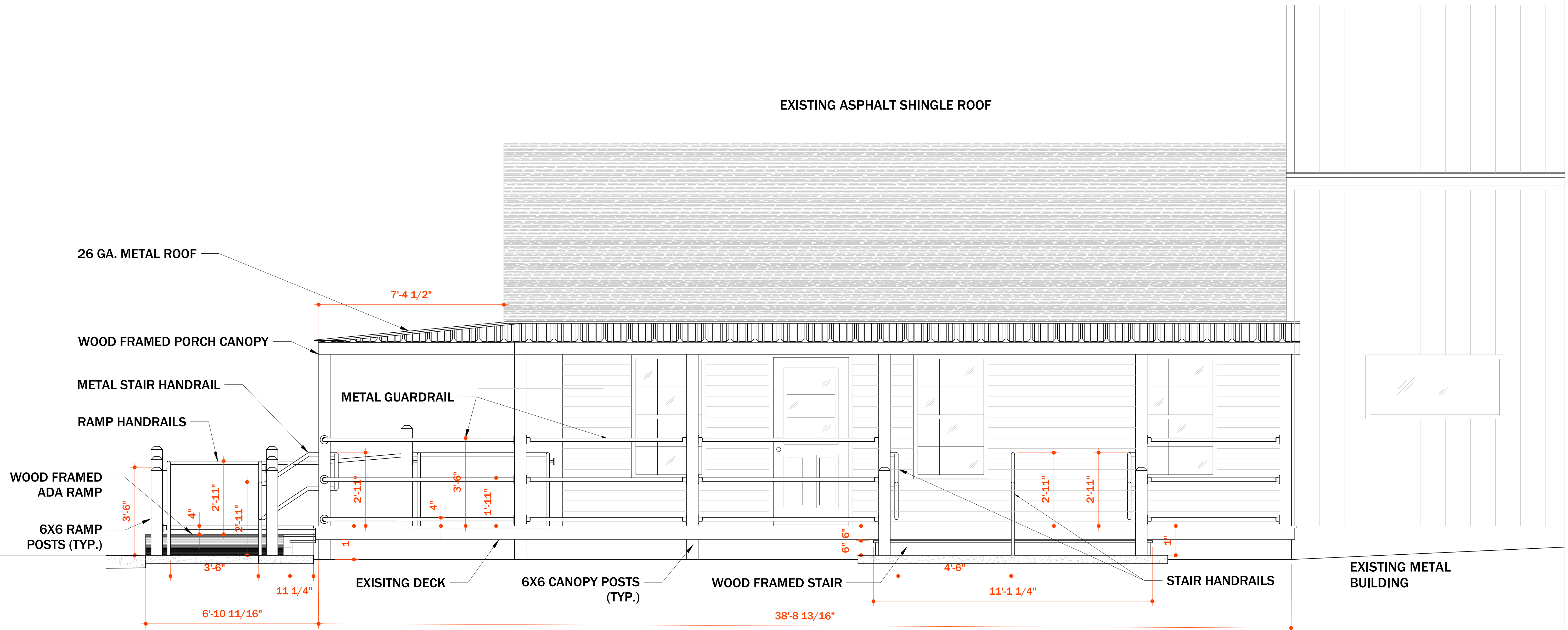
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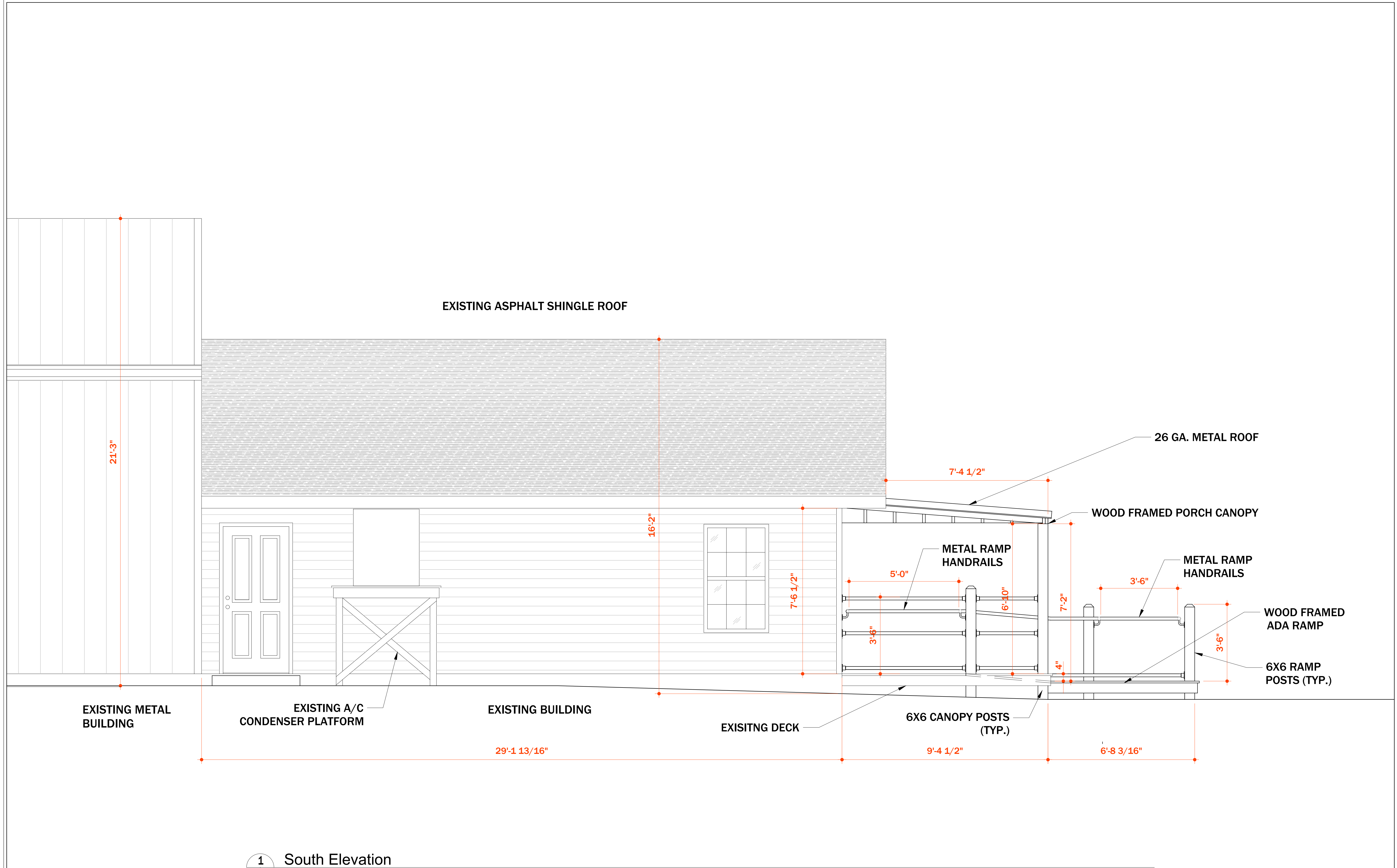
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A-3



1 North Elevation
 A-3

SCALE: 1/2" = 1'-0"



1 South Elevation
A-4

SCALE: 1/2" = 1'-0"

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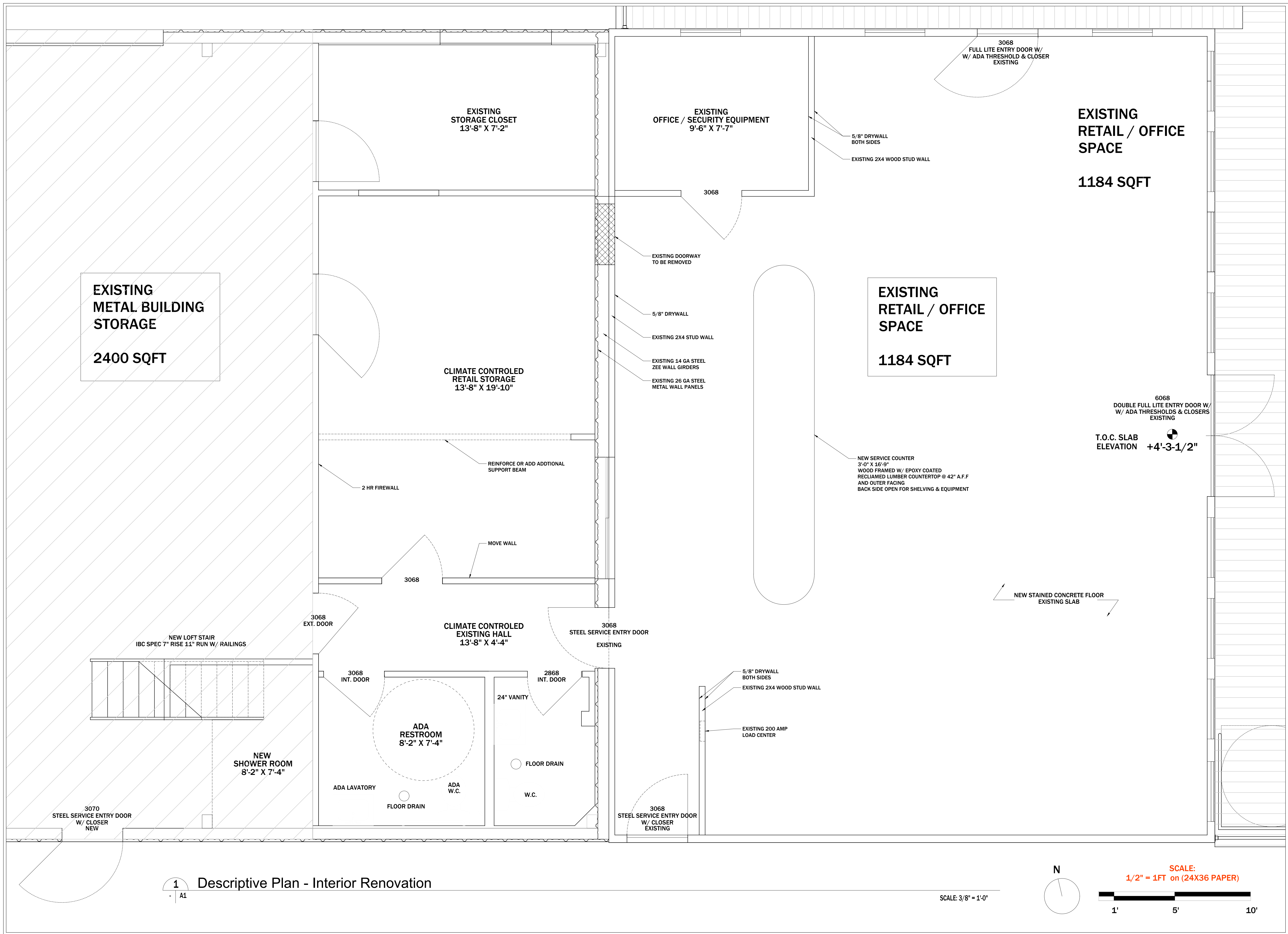
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A-4



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SCALE: NTS

SHEET:

A-6

1 Descriptive Plan - Interior Renovation

SCALE: 3/8" = 1'-0"

