

**AGENDA MEETING**  
**ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING**  
**DECEMBER 2<sup>ND</sup>, 2025 – 2 PM**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A**  
**21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS**  
**MANDEVILLE, LOUISIANA**

**CALL TO ORDER**

**ROLL CALL**

**APPOINTMENT OF ALTERNATE**

**ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Five (5) minutes each side and three (3) minutes for additional comments
- Please exit the building

**APPROVAL OF THE NOVEMBER 10<sup>TH</sup>, 2025 MINUTES**

**1- BOA CASE NO. 2025-4399-BOA**

Request by an applicant in a L-1 Large Lot Residential District to reduce the side yard setback from 15' to 0.8' to allow for an addition to an existing residence.

The property is located: 170 Country Club Drive, Covington, Louisiana

Owner & Representative: Maxwell Agnew

**POSTPONED FROM NOVEMBER 10<sup>TH</sup>, 2025 MEETING**

**2- BOA CASE NO. 2025-4404-BOA**

Request by an applicant in a CBF-1 Community Based Facilities District for a variance of the required 8' opaque screen on all sides of the property.

The property is located: 1846 LA Highway 22 West, Madisonville, Louisiana

Owner & Representative: Smith, Warshauer and Liner, LLC – Smitty Smith

**POSTPONED FROM NOVEMBER 10<sup>TH</sup>, 2025 MEETING**

**3- BOA CASE NO. 2025-4419-BOA**

Request by an applicant in a S-1 Suburban Residential District for an after-the-fact variance to reduce the front yard setback from 25' to 2' and to allow for an accessory building/carport to remain within the front yard.

The property is located: 213 Driftwood Street, Mandeville, Louisiana

Owner & Representative: Nanette Thorne

**POSTPONED FROM NOVEMBER 10<sup>TH</sup>, 2025 MEETING**

**4- BOA CASE NO. 2025-4449-BOA**

Request by an applicant in an I-1 Light Industrial District for a variance to reduce the depth of the required street landscape area from 20' to 4'6" and to reduce the depth of the side yard landscape area from 35' to 10'.

The property is located: northeast corner of Bosworth Street & Coast Blvd, Slidell, Louisiana  
Owner & Representative: Air Comfort Products, Inc. – Wilfred E. Lewis, Jr.

**5- BOA CASE NO. 2025-4460-BOA**

Request by an applicant in a S-2 Suburban Residential District for a variance to reduce the required front yard setback from 25' to 20'.

The property is located: 54499 Highway 433, Slidell, Louisiana  
Owner & Representative: Larry A. Westcott & Darleen W. McCormick

**6- BOA CASE NO. 2025-4461-BOA**

Request by an applicant in a HC-3 Highway Commercial District for a variance to remove 3 live oak trees.

The property is located: 68500 US Highway 190 Service Road, Covington, Louisiana  
Owner: Northshore Land Co. I, LP – Anthony Gullo  
Representative: Gulf States Construction Services, Inc. – Jason Reibert

**7- BOA CASE NO. 2025-4462-BOA**

Request by an applicant in an I-2 Industrial District for an after-the-fact variance to increase the width of the driveways from 35' to 45' and from 35' to 59'.

The property is located: 74890 Highway 25, Covington, Louisiana  
Owner & Representative: ARCK Properties, LLC – Richie Mitchell

**8- BOA CASE NO. 2025-4463-BOA**

Request by an applicant in a L-2 Large Lot Residential District for after-the-fact variance requests to reduce the required:

- landscape and natural buffers from 50' to 25' on the south and east sides of the property.
- landscape and natural buffer from 25' and to 13'7" on the west side, where the residence is located.

The property is located: 14390 Brewster Road, Covington, Louisiana  
Owner & Representative: Charles & Gina Bloodsworth

**OLD BUSINESS**

**NEW BUSINESS**

**ADJOURNMENT**

**MINUTES**  
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The November 10th, 2025, meeting of the St. Tammany Parish Board of Adjustment was called to order by the Chairwoman, Mrs. Kristie Thomas.

The roll was called as follows:

PRESENT: Mr. Blache, Mr. Swindell, Mrs. Thomas, Mr. Daly

ABSENT: Mr. Glockner, Mr. Horne & Mr. Sanders

STAFF PRESENT: Mrs. Lambert & Mrs. Couvillon

**APPROVAL OF THE MINUTES**

Moved by Mr. Swindell and seconded by Mr. Daly to approve the October 7<sup>th</sup>, 2025, minutes.

**MOTION CARRIES UNANIMOUSLY**

**1- BOA CASE NO. 2025-4399-BOA**

Request by an applicant in a L-1 Large Lot Residential District to reduce the side yard setback from 15' to 0.8' to allow for an addition to an existing residence.

The property is located: 170 Country Club Drive, Covington, Louisiana

Owner & Representative: Maxwell Agnew

Motion by Mr. Swindell seconded by Mr. Blache to postponed until the December 2, 2025 Board of Adjustment meeting, as per owner's request.

**MOTION CARRIES UNANIMOUSLY**

**2- BOA CASE NO. 2025-4404-BOA**

Request by an applicant in a CBF-1 Community Based Facilities District for a variance of the required 8' opaque screen on all sides of the property.

The property is located: 1846 LA Highway 22 West, Madisonville, Louisiana

Owner & Representative: Smith, Warshauer and Liner, LLC – Smitty Smith

Smitty Smith: We're developing a baseball training facility and feel that it does not make a lot of sense to build a fence in the middle of the woods. It would be very difficult to maintain. There are natural tree buffers that would be growing into the fence. We would have to bring heavy equipment in and clear a path to build the fence. There is an additional 15-foot buffer on our side of the property line. We would be destroying trees that exist along the property line to build a fence that can't be maintained at the property line. I understand the reason for the requirement and think that if a neighbor asks for the fence, we will build it. We feel that for our project the fence would be unnecessary and undue hardship, and we are asking for a variance.

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Mrs. Thomas: I do have a speaker card opposing. Would Mr. Albert Raiford, come forward.

Albert Raiford: The baseball facility was granted a permit with the requirement to build a fence. The owner attempted to get in touch with me to agree not to have to install the fence; we told him no. Owner then applied for this variance. If you grant the variance, it is subject to if any adjacent owner requests the fence. Owner must conduct it at owner's expense as originally agreed. As an adjacent owner, I am on record and saying that I request the fence and I have done so from the beginning. I own 18 acres next to the project, to the west and north. Some of my family owns property on the east side. We are surrounded by this new project, and it has to do with safety and privacy. One side is wide open to the parking lot. There is going to be a lot of noise coming from those bats. I have no problem with the baseball facility, but I just want a fence.

Smitty Smith: I did reach out to Mr. Raiford as well as all the property owners. He was the one property owner with an objection. And I do have pictures of the wooded area. He is right up in front where there is a narrow strip of wood. It's probably about 10 feet and it's been cleared from his side into the property line. And if he wanted a fence there, I would understand that. I know it can't go all the way to the street and DOTD and the parish have regulations of where we have to stop but in accordance with that, I think that's very reasonable. In addition to that I have an arborist report. There are many dead trees that pose danger. We would not be able to start on a fence prior to Mr. Raiford clearing these trees. Can I submit pictures to the Board members? My objection is not to forgo the construct the fence; it is to construct the fence in the middle of the woods. I would like to ask if we are required to build the fence that we have three requirements. One that we build a fence after the trees have been removed from a safety standpoint. It doesn't make sense for us to build a fence if it's going to be damaged by trees falling on it. Two, I would like to request that the neighbor maintain their side of the woods against the fence so that we don't have trees growing directly into the fence if we're going to spend all this money and time building it. Three, there's some equipment and trailers that Mr. Raiford had on the property line while my crew was clearing the property. He asked them to push that over into the property line and currently it sits on his property line. We asked that he removes the equipment prior to us building the fence. The other photos I included are the northeast and east property lines of Mr. Raiford's property line.

Mrs. Thomas: Mr. Raiford, you have a chance to rebuttal for three minutes.

Albert Raiford: There's a 15-foot buffer required along the property line. But common sense, why not just put the fence on the inside of the buffer instead of tearing down all the trees to put the fence on the outside of the buffer. As he says, he's going to have to take down the buffer to build the fence. It's property that's been in the family for a long time and it is an old farm. We raise cattle and have equipment scattered around. I do not have a problem moving the equipment on my property. But a fence along all sides of the property is needed for safety purposes and privacy, since it is a commercial development.

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Mr. Blache: Question for the applicant. Did you put the adjacent owner under formal notice that the trees need to be removed?

Smitty Smith: No. Mr. Raiford spoke to the arborist, but we did not send any official notice.

Mr. Blache: I don't know if the Board has the authority to make Mr. Raiford remove the dead trees.

Smitty Smith: I'm just asking for the variance. Obviously, I have to build the fence if he goes back and asks for one, right? I am asking for a variance so our project will not be delayed, while we are waiting on Mr. Raiford to cut the trees down.

Mr. Blache: I would like to ask Legal if that would be something that would have to be negotiated as a matter between those two parties?

Mrs. Couvillon: Correct. That's not something the Board would have oversight on.

Smitty Smith: I would like to clarify; we wouldn't be able to build the fence with the trees there.

Mr. Daly: Would the fence be on the property line or would it be on the inside of the 15-foot buffer?

Smitty Smith: It would be on the property line. We have no interest in losing 15 feet all the way around our property and donating it to the neighbor.

Mr. Swindell. What age children are going to be participating at this site?

Smitty Smith: Mainly 8- to 13-year-olds.

Mr. Swindell: I was that age before. Without restriction, I'd be tracking down my loose baseballs. What is your plan to address issues of those children trespassing onto the adjacent property owner sites?

Smitty Smith: We reached out to Mr. Raiford and offered to indemnify him, hold him harmless. We had an attorney reach out to him to do that to address that in case somebody goes over. Certainly, a fence won't stop trespassing because if you have a fence, you must have gates to have access. And I have about a 20-foot span along his property where the drainage goes through that's directly on the ground. Somehow there's going to be an opening there.

Mr. Swindell: It is a big concern on my part and especially hearing that one of the adjacent property owners is opposed. I don't know what accountability he's got for doing anything with the trees that are on his property relative to when and where you build the fence on your property. I think that's

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between the two of you to work out. I recall within the last two years we have probably had at least one case where a property owner had to build a fence and decided to do it within his buffer. But we did not allow him to cut his buffer down. We only allowed him to cut a minimal amount of clearing.

Smitty Smith: I didn't say I was going to cut my buffer. I must cut some portions of it to build a fence.

Mr. Swindell: I'm not going to vote in favor of this variance primarily because you have an adjacent property owner that is specifically requesting the fence be built. When you build that fence, you're probably going to have to come back in front of the Board to request to remove some trees within the 15-foot buffer, if that's where you want to build it.

Smitty Smith: To make sure that the project is not held up, can we get approval subject to getting the trees cut down and clearing the necessary path and we will, as stated in the affidavit, build the fence on that property line. And we will address the two other adjacent owners, one of which is living in Florida. It is very hard to get the affidavit from her.

Mr. Swindell: The Board gets variance requests on new developments, and the owner has planned on Board granting the variance for sake of budget and/or time. We get requests such as: Can I do this instead of that and it places the Board in difficult situations. Responsibility as Board member is to say no to that type of request. The other requests must be negotiated with adjacent property owners. That's not a function of the Board of Adjustment.

Mrs. Thomas: The staff report states: should the board not be in favor of the requested variance, it should be subject to construct of an 8-foot-high opaque fencing along all sides of the property. If we vote against the variance request, the owner will be able to go forward with the knowledge that he is going to have to construct an 8-foot-high opaque fence.

Smitty Smith: There are two other neighbors that I'd have to specifically seek out and get affidavit from.

Mr. Swindell: I suppose you could take that avenue: track down those neighbors and in a very specific support of your request and perhaps you could then come back in front of us and ask for the variance. But specifically, you've got at least one of three adjacent property owners that are against it. It's very hard for me to support the request.

Smitty Smith: I called the permitting office and let them know that Mr. Raiford was not in favor the variance of this fence.

Mrs. Thomas: You can request postponing for a month until you get letters of no objection from the other abutting property owners.

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Smitty Smith: I would like to request a postponement.

Motion by Mr. Swindell and seconded by Mr. Daly to postpone until December 2<sup>nd</sup>, 2025, Board of Adjustment meeting.

**MOTION CARRIES UNANIMOUSLY**

**3- BOA CASE NO. 2025-4411-BOA**

Request by an applicant in a PBC Planned Business Campus District for an after-the-fact request to allow for the replanting of the required number of trees within the front buffer as per the landscape plan submitted

The property is located: 15274 W. Ochsner Blvd, Covington, Louisiana

Owner: All State Financial Company -Josh Wainer

Representative: STOA Group, LLC – Blake Brinson and Heidi Spring

Blake Brinson: I'm with STOWA Group. We are the developers behind the project. When we submitted the variance application form, we were simply the developer, not the landowner. We have since closed on the property, so we are also the landowner at this time. As staff read, we had submitted land clearing plans that protected the buffers. We sent out a surveyor to go and stake the buffers to protect the oak trees with fencing. We sent pictures to staff, and I believe they walked the property to ensure that all the trees to be preserved were fenced. I brought some of those pictures today in case you all wanted to review them. Unfortunately, when we handed over that land clearing plan to the site contractor, He for whatever reason did not avoid the buffer stakes and cleared the front buffer. And at that time, we immediately went to staff and let them know that we needed to act. This was several months ago. Since that time, we have worked with staff, trying to figure out the best way to mitigate the trees. Fortunately, the staked live oak trees did not get removed but they did impact on the buffers, so we are here to ask for after-the-act variance to move forward and replant the buffers with class A and B trees. And as mentioned, if we would be overplanting, there would be risk of the trees dying by overplanting and if we did plant the required number of inches. We do not think that's the proper route to take, and we'd rather contribute to the bank and pay for those inches instead of risking future deterioration of the trees.

Mr. Blache: I just have a question for staff. If these are the requirements for the planting along the front buffer, do they deem this as an overplanting request?

Mrs. Lambert: Yes, they do and It's the best way to proceed, to make sure the front buffer is not overplanted.

Mr. Blache: I guess my question mainly focuses on this requirement for the planting to begin with. Is it deemed an overplanting? Is that something that needs to be reviewed in the future for other buffer areas?

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Mrs. Lambert: If we were dealing with a piece of property that would already be cleared, then they could plant it according to the regulations. However, they cut large trees, that must be mitigated. When you start comparing the large caliber of the trees and the number of trees that must be replanted to mitigate what was there before, it would end up with an overplanted buffer.

Mr. Blache: In the opinion of the Parish Landscape Architect, if we're going to be allowing some planting that will be feasible and would satisfy what we think is correct. I have no objection.

Mr. Daly: It is more of a comment, there is a sidewalk along the front of the property and that's part of the buffer area.

Mr. Swindell: I was just going to say I appreciate the fact that you owned up to the mistake and are coming back with a plan to remedy that.

Motion by Mr. Swindell seconded by Mr. Blache to approve the variance as requested subject to the plan submitted and payment to the tree bank.

**MOTION CARRIES UNANIMOUSLY**

**4- BOA CASE NO. 2025-4413-BOA**

Request by an applicant in a S-2 Suburban Residential District for a:

- Waiver of the 5' side yard pool setback, utilizing property chain wall as boundary for the pool & decking
- Variance to reduce the rear yard pool setback from 5' to 1'6"
- Variance to allow the pool and decking to be located within the Beau Chene drainage servitude, located on the property.

The property is located: 440 Marina Oaks Drive, Mandeville, Louisiana

Owner & Representative: Josh Campbell

Josh Campbell: As staff said, just requesting variance to reduce the rear and side setbacks. There is a chain wall boundary, which is the external perimeter of my yard. That chain wall boundary rises above the elevation of my yard. I'm within the interior of that chain wall boundary that already exists. The fence goes on top of that. Both adjacent property owners have submitted letters in support of me getting the variance on the setbacks. The HOA did not realize in advance that I would need to come to the parish to request variance. They took the approach that it was a privately owned and maintained servitude within the boundaries. I have letter of no objection from HOA as well, with their specific requirements. The only note that I could make is that there is a 12-inch minimum chain wall requirement and we increased it to 18 inches. It is a more robust chain wall than what is required.

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Mr. Blache: The only question I have is regarding the drainage servitude. Is it a required servitude? The reason I'm questioning this is that we must be very careful to follow the NFIP standards/ flood plain standards. You must maintain these drainage servitudes, or you can be in non-compliance. So that's my biggest concern. Is this servitude imposed by Beau Chene? Does it align with the parish requirements?

Josh Campbell: All the servitudes within Beau Chene are private servitudes that were designed and developed by Beau Chene. That's why I've got the letter in here from them supporting the encroachment on their servitude. Even on the back boundary line, It's not an adjacent servitude to a non-subdivision boundary. The parcel that's behind mine is part of the subdivision. It is wholly encompassed within Beau Chene.

Mr. Blache: I understand and I appreciate what you're saying. My concern is that you must meet certain requirements for drainage when you're when you're building. That servitude was set up for a reason obviously, right? To protect something, your neighbors, you or some something along that line. So, I'm just wondering if that's going to create any sort of problem or issue for neighbors or for the bigger broader plan because as you know when you stop water it has to go somewhere, right? What is the implication of where it's going to go from there? That's my questions.

Josh Campbell: No water is being stopped from passing through the servitude. There is a 15-inch culvert with three 12-inch inlet basin drains that are required. The three 12-inch inlet basin drains. It would require 72 hours or 72 inches of rain over a 24-hour period to overcome the intake ability of that drain. And with the external chain wall, above the elevation of the yard, no water can drain off the property. Everything would be caught into the drainage basins and then flow through the natural drainage, allowed to proceed through the property. The drainage servitude is not physically obstructed. The only request is the decking of the pool and the decking that's above the drainage servitude. It could present maybe a flood risk if you had nowhere for the water to go. The risk could be that it would overflow on Roger Storm Road. That is on the parcel behind us. But with it being encompassed inside of a chain wall and the catch basins being designed by Beau Chene per the requirements 72 inches of rain in a 24-h hour period. We would have other problems if we got that much rain.

Mrs. Thomas: Miss Lambert said that when Beau Chene started building, it was in conjunction with parish code as they put everything together. So technically while it is a gated community and a private community, it was in conjunction with parish code.

Mrs. Lambert: And to clarify, the only reason why the owner is here requesting a variance is because it is a private servitude. If it were a parish-maintained servitude, it would not be allowed.

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Mr. Daly: Question for staff: Can we make the variance subject to the requirements of the Beau Chene Director of Public Works? Isn't there any more of a requirement from Beau Chene subdivision, not a requirement that should be imposed by the Board? Can the Parish really enforce the Beau Chene Subdivision requirements?

Mrs. Couvillon: I would just clarify that the Board are only enforcing the variances in our code. Beau Chene could reject it based on their own servitudes that exist. The Board are simply looking at variances as they relate to the rear and side yard setbacks.

Mr. Daly: I view that more as context rather than a stipulation that we necessarily have to add.

Mrs. Couvillon: You can use that as a basis of evidence for denying a variance. In terms of enforcing that servitude, it is between Beau Chene and the homeowner.

Motion by Mr. Daly seconded by Mr. Blache to approve the variance request as submitted.

**MOTION CARRIES UNANIMOUSLY**

**5- BOA CASE NO. 2025-4419-BOA**

Request by an applicant in a S-1 Suburban Residential District for an after-the-fact variance to reduce the front yard setback from 25' to 2' and to allow for an accessory building/carport to remain within the front yard.

The property is located: 213 Driftwood Street, Mandeville, Louisiana

Owner & Representative: Nanette Thorne

Nanette Thorne: I'm just trying to get a permit today to meet the requirements to complete the construction of my carport.

Mrs. Thomas: You did not obtain a building permit prior to construction?

Nanette Thorne: I did not.

Mrs. Thomas: Were you unaware that you were required to get a permit?

Nanette Thorne: I don't know why no permit was applied for.

Mrs. Thomas: We do have pictures and a plot plan.

Nanette Thorne: I did get signatures from neighbors living around my house on my block.

Mrs. Thomas: We would like to see those please. Are you saying that these signatures indicate that there's no objection to what you're doing?

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Nanette Thorne: Yes.

Mr. Swindell: I think without letters of support from your neighbors, I have a difficult time just approving this request on the surface. I realize that you have signatures on a piece of paper. It's very difficult for us to ascertain that those signatures are for what you're asking for specifically. I would like to recommend that she postpone so she can get that definitively for us before proceeding.

Nanette Thorne: No objection.

Mrs. Thomas: You need to get no objection letters from your neighbors and one from your Homeowners Association if there is one. Not just signature but a statement that they have no objections. You can contact Mrs. Lambert if you need to obtain a sample.

Motion by Mr. Swindell seconded by Mr. Blache to postpone the variance request until December 2<sup>nd</sup>, 2025, Board of Adjustment meeting.

**MOTION CARRIES UNANIMOUSLY**

**OLD BUSINESS**

**6- BOA CASE NO. 2025-4369-BOA**

Request by an applicant in a S-1 Single Family Residential District for an after-the-fact variance to reduce the required side yard setback from 5' to 0.9' for an accessory building to remain on the property.

The property is located: 216 Bristol Place, Slidell, Louisiana

Applicant & Representative: Jonathan & Hilary Glass

**APPROVED AT THE OCTOBER 7<sup>TH</sup>, 2025 MEETING – MOTION TO RECONSIDER**

Brian Glorioso: Here on behalf of Mr. Glass. As mentioned, the board granted the variance based on two conditions. We appreciate the granting of the variance, and we did try to find a way to meet these conditions but after doing additional research it's become clear that the conditions are in fact legally impossible because the conditions asked us to get a letter of approval from the utility company and in fact there is no utility easement. The company "TELCO" is written in as a placeholder potentially for a company, but that's not an actual company. And to get a letter, I would need to have someone to go get it from. And the same thing is I can't file suit and get a judgment in court because you must have a party to sue. So, I think obviously the intent of the board was to make sure that we weren't interfering with somebody's actual easement. I went back and did additional research and in fact, the easement itself that's on everybody's lot was part of the building restrictions of the homeowners' association and that was in exhibit eight that we submitted. We did get a letter of approval from abutting property owners and no objection from the homeowners'

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association. There isn't any legal utility to get a letter from because it was just a placeholder for a potential servitude and it dates back to the 70's. We went back and checked to make sure that it was not an easement for AT&T or BellSouth. We are asking the Board to amend the granting of the variance being subject to those conditions. After it is granted, we will get the owner to apply for the after-the-fact permit. The owner has all the documents to show that the drainage was all done. We are asking the Board to remove those conditions based upon the evidence submitted and the fact that there isn't any way for us to legally comply because there isn't anyone to go ask for it.

Mrs. Couvillon: The Department of Planning & Development asked me to look into this and I just want to point out that there is no requirement that we get a letter of no objection from a servitude holder. But I do also want to make it clear on the record that if there is an entity or a person that has a servitude, the decision to grant the variance does not in any way affect their right to assert their servitude. You all are only granting a variance as to the setbacks based on the St. Tammany Parish Code of Ordinances.

Motion by Mr. Blache seconded by Mr. to approve the variance request as submitted subject to applying for the building permit and provide required drainage plan.

**MOTION CARRIES UNANIMOUSLY**

**NEW BUSINESS**

Mrs. Couvillon informs the Board members that some Board members reappointments are on the December Council Agenda for consideration.

ADJOURNMENT: Motion by Mr. Daly seconded by Mr. Blache to adjourn the meeting.

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MRS. KRISTIE THOMAS, CHAIRWOMAN  
ST. TAMMANY PARISH BOARD OF ADJUSTMENTS

*Disclaimer: These minutes are intended to represent an overview of the meeting and general representation of the testimony given; and therefore, does not constitute verbatim testimony or transcript*



**BOA STAFF REPORT**  
2025-4399-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

**Location:** 170 Country Club Drive, Covington, Louisiana; Ward 4; District 5

**Applicant & Representative:** Maxwell Agnew

**2<sup>nd</sup> Hearing Date:** December 2, 2025

**Posted:** November 18, 2025

**Initial Hearing Date:** November 10<sup>th</sup>, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant to reduce the side yard setback from 15' to 1' to allow for an addition to an existing residence.

**Zoning of Property:**

L-1 Large Lot Residential District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code Section 400-2.2 D. 4. d. Side yard. There shall be 2 side yards, one on each side of the building, having a minimum width of 15 feet each.

The objective of the request is to allow for an addition to the front and side of the existing residence. The side extension is proposed to be situated 0.8 feet from the adjacent property line. The total size of the addition will be 345 square feet and will include a closet and a bathroom.

Although no specific hardship has been identified, the proposed side addition borders a greenspace that features tennis courts and a golf course. The addition is not expected to cause any negative drainage issues or visual impacts to neighboring properties.

2025-4399-BOA

L-2

RIVERWOOD DR

CBF-1

COUNTRY CLUB DR

L-2

BERTEL DR



**REASON FOR VARIANCE/APPEAL:**

(Please state in box below your specific request for a variance or appeal)

I would like to expand the house on the west side of the property. The home was built in 1958 and portions are close to the property line. The home was build before setbacks were required. No portion of the addition will be closer to the property line than the existing home/structure. The adjacent property is tennis courts / golf course and would not interfere with the use of that property.

The current Code requires a minimum 15' side yard setback. I am requesting an approximate 1ft setback to accomidate a bathroom/closet expansion from the master bedroom. The existing home was built close to 0ft setback from the property line. The proposed expansion showing the ~1ft setback was provided in the drawings.

Since the home was built before setbacks were required, we feel that the same rule should be grandfathers in. There won't be any disruption to neighboring properties.

*I'm not part of HOA at 170 Country Club Dr.*

**Standards for Approval of Variances (UDC Sec. 200-3.9 – Variances, G)**

Before a variance is granted, the Board of Adjustment shall determine that all the following standards for approval are met:

1. The request for variance is not self-imposed. Variances may not be granted by the Board if the request is considered a "personal preference."
2. The variance request is not based solely on financial hardship. Variances may not be granted by the Board if the request is considered strictly a financial hardship.
3. The particular physical surroundings, shape or topographical conditions of the property would result in unnecessary hardship, as distinguished from a mere inconvenience, if the provisions of the UDC were literally enforced.
4. The variance request is based on ameliorating a practical difficulty or unnecessary hardship. If the applicant can prove through testimony and presentation of factual documentation or evidence to the Board that a practical difficulty or unnecessary hardship would be imposed if a variance was not granted, then the Board may consider granting the variance request.
5. The variance, if granted, would not impose an adverse effect on the adjacent neighbor's property or surrounding neighborhood. If the variance request adversely effects an adjacent property owner or the surrounding neighborhood in general, and testimony is forthcoming from same that can be proven within reason that an adverse effect would be imposed, the Board may decide not to grant the applicant's variance request.
6. The granting of the variance would not establish an undesirable precedent. The Board may deny the granting of a variance request which may result in the establishment of a dangerous or unfavorable precedent to the parish.
7. The variance, if granted, would not result in increased flood heights or additional threats to public safety.

*M. Agnew*

SIGNATURE OF OWNER/APPLICANT

9/18/2025

DATE OF APPLICATION

**Reference:**

- 1) A Survey Plat by Robert A. Berlin, Dated 9-1-1961, #J-61-194
- 2) A Survey Plat of 1.48 Acres by Robert A. Berlin, Dated 10-9-1962, #B-62-6
- 3) A Survey Plat of 1.17 Acres by Robert A. Berlin, Dated 5-3-1962, #J-62-93
- 4) A Survey Plat by Robert A. Berlin, Dated 5-18-1962, #J-62-108

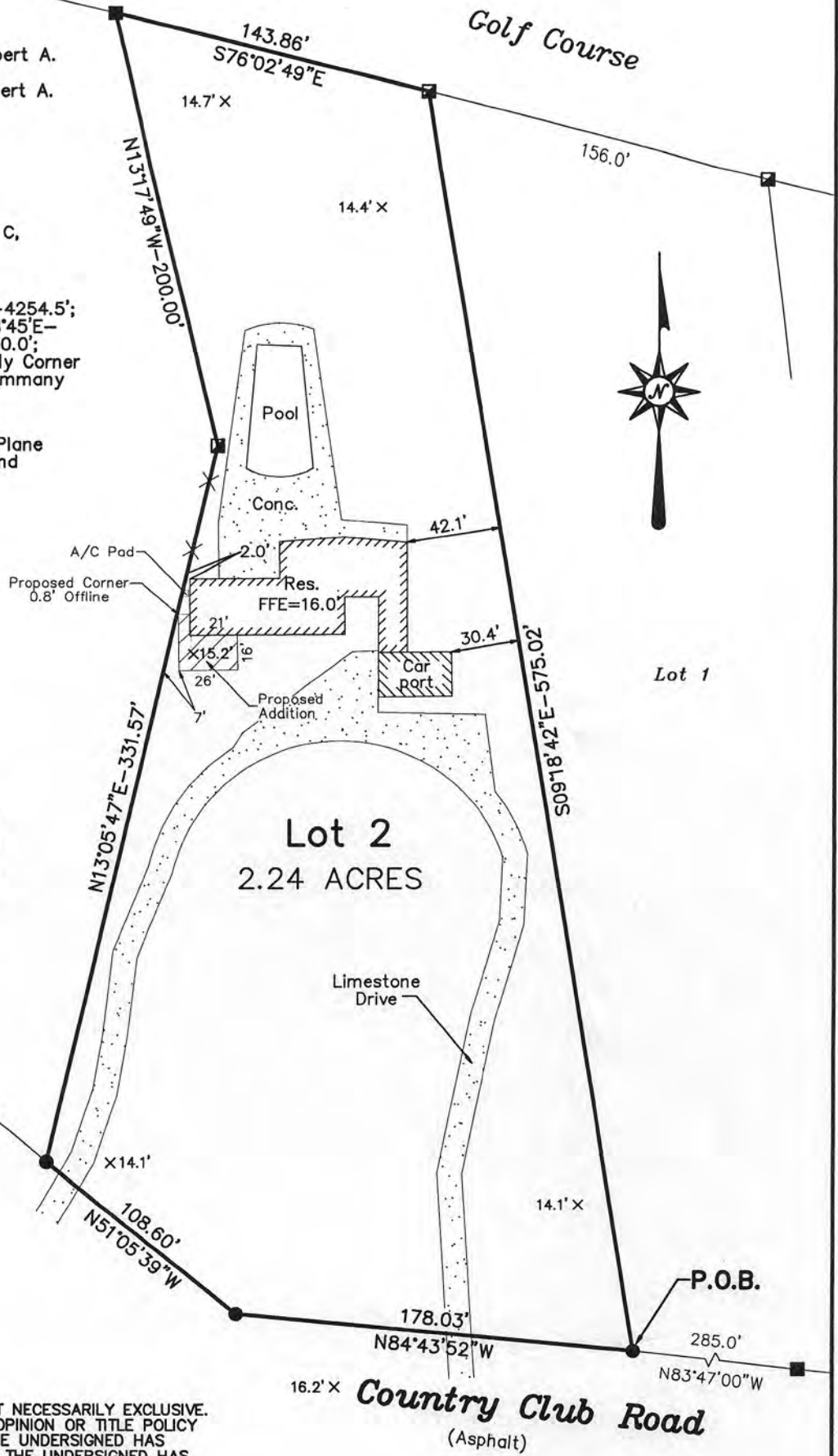
Plat calls are not shown

This property is located in Flood Zone C, per Fema Map No. 225205 0240E, Dated 8-16-1995

The P.O.B. is reported to be S45°15'W-4254.5'; N03°00'E-217.8'; N07°00'E-274.0'; N08°45'E-3178.0'; N83°15'W-4025.2'; N06°45'E-50.0'; N83°15'W-284.7' from the most Easterly Corner of Section 37, T-7-S, R-11-E, St. Tammany Parish, Louisiana

Bearings refer to the Louisiana State Plane Coordinate System (1702 La. South) and was observed by GPS

Elevations shown hereon refer to NAVD 88, Geoid 18



- LEGEND:**
- = Fnd. 1/2" Iron Pipe
  - = Fnd. 1/2" Iron Rod
  - ▣ = Fnd. 5/8" Iron Rod
  - x = Elevation (NAVD88)
  - X— = Stone Wall Fence

(Must verify prior to Construction)  
 Building Setbacks  
 Front:  
 Side:  
 Rear:  
 Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS. THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

MAP PREPARED FOR **MAXWELL AGNEW**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 37, T-7-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**  
 510 N. Columbia Street, Covington, LA 70433  
 (985) 892-6277 office (985) 898-0355 fax  
 landsurveyingllc@gmail.com

**BRUCE M. BUTLER, III**  
 LOUISIANA PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 4694

SCALE: 1" = 70'	DATE: 6-19-2025	NUMBER: 22066
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**Reference:**

- 1) A Survey Plat by Robert A. Berlin, Dated 9-1-1961, #J-61-194
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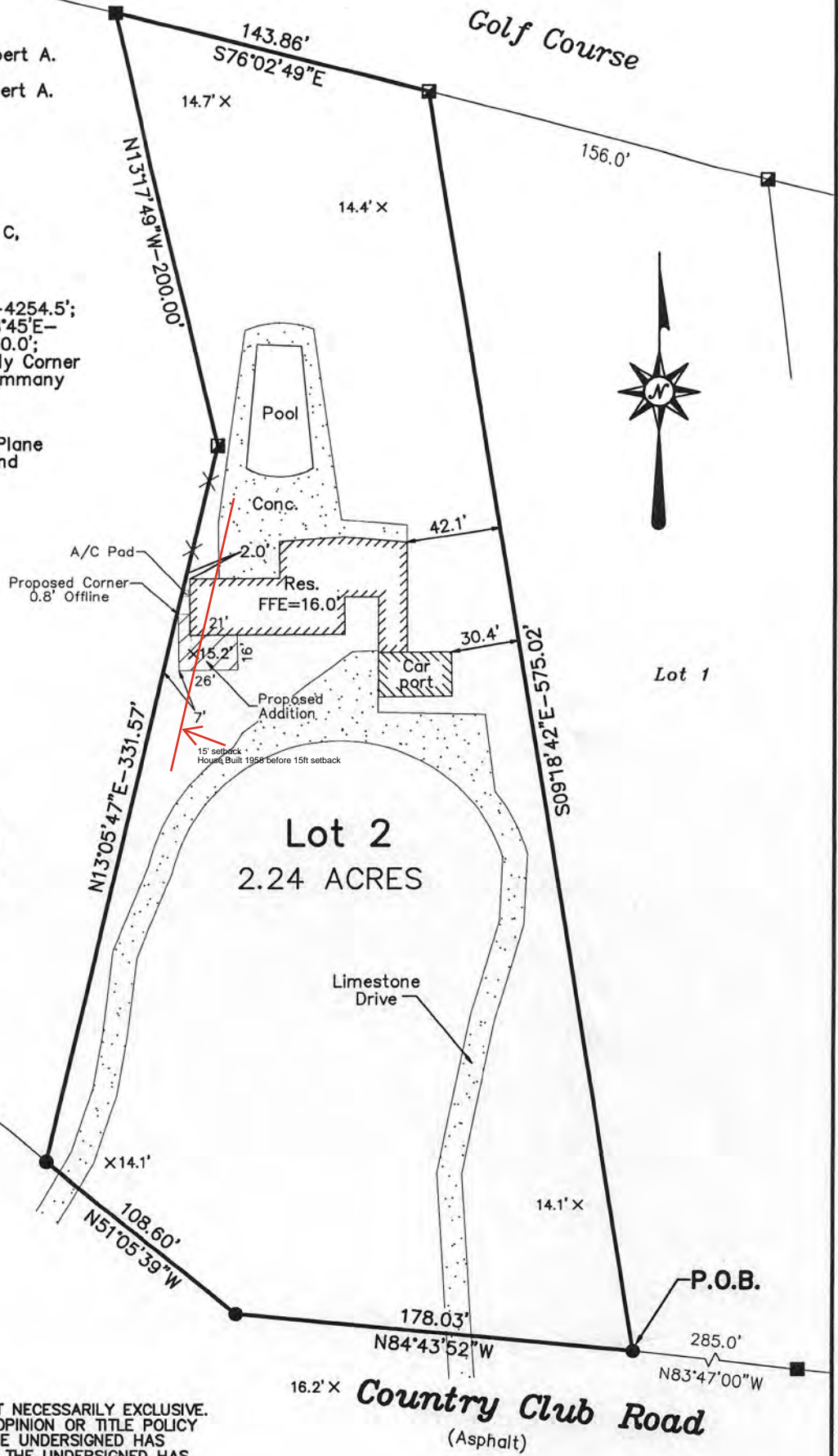
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**LEGEND:**

- = Fnd. 1/2" Iron Pipe
- = Fnd. 1/2" Iron Rod
- ▣ = Fnd. 5/8" Iron Rod
- x = Elevation (NAVD88)
- X— = Stone Wall Fence

(Must verify prior to Construction)  
 Building Setbacks  
 Front:  
 Side:  
 Rear:  
 Side Street:

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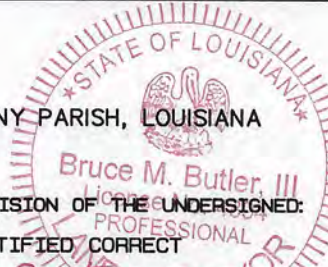
MAP PREPARED FOR **MAXWELL AGNEW**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 37, T-7-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

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**LAND SURVEYING LLC**

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 landsurveyingllc@gmail.com



**BRUCE M. BUTLER, III**  
 LOUISIANA PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 46894

SCALE: 1" = 70'

DATE: 6-19-2025

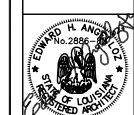
NUMBER: 22066

REVISIONS	BY

angeloz  
ARCHITECTS  
CORPORATION, INC. - L.L.P. 2014

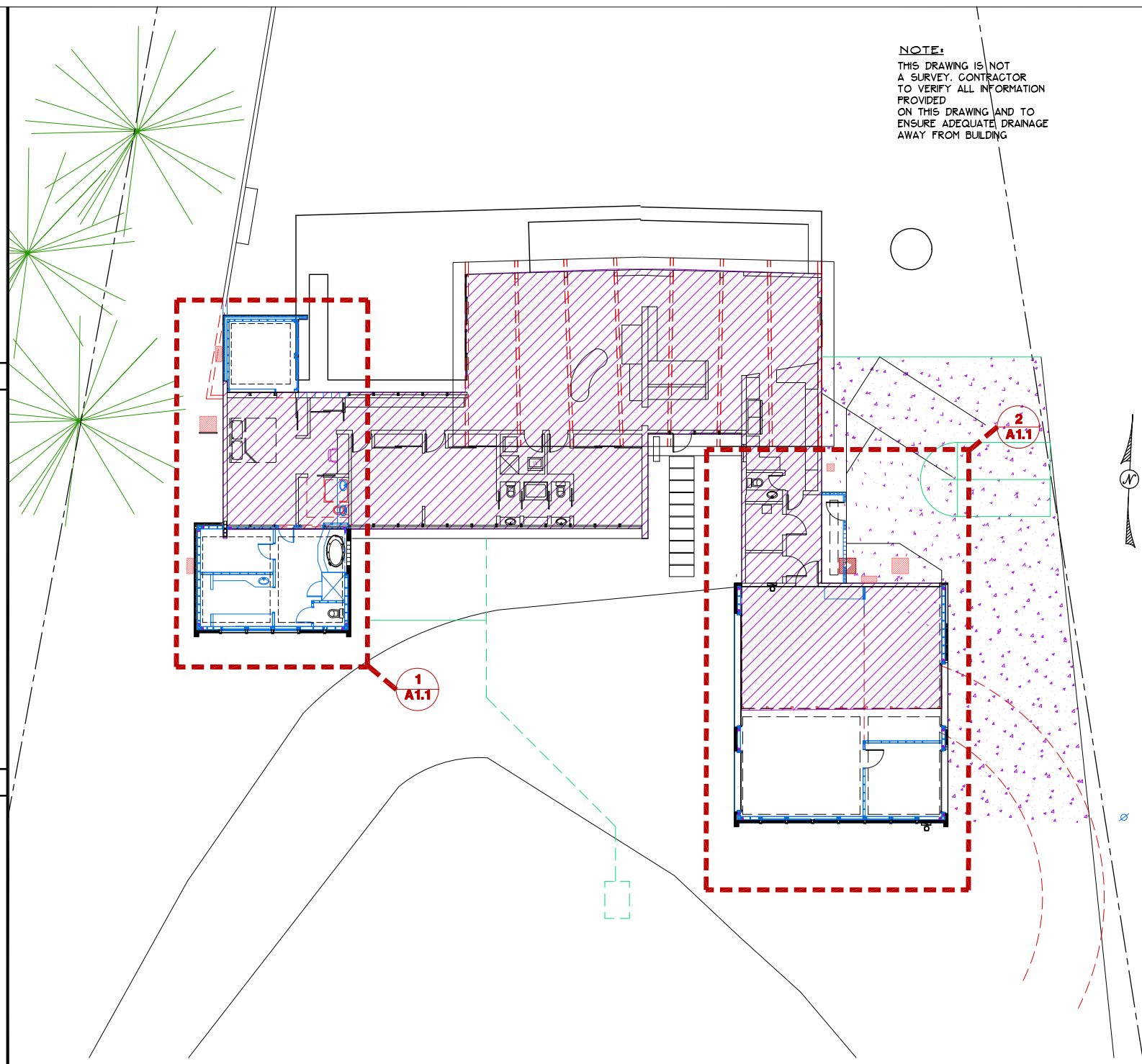


RENOVATIONS AND ADDITIONS  
TO THE  
**AGNEW RESIDENCE**  
COVINGTON, LOUISIANA



Date: 9-12-24  
Scale:  
Drawn: EA  
Job: 24-13  
Sheet:  
**G1.1**  
of Sheets

**NOTE:**  
THIS DRAWING IS NOT  
A SURVEY. CONTRACTOR  
TO VERIFY ALL INFORMATION  
PROVIDED  
ON THIS DRAWING AND TO  
ENSURE ADEQUATE DRAINAGE  
AWAY FROM BUILDING



AREA	
<b>BUILDING AREA</b>	
EXISTING BUILDING	
A/C AREA	3,080.6 S.F.
PORCH AREA	82.4 S.F.
CARPORT AREA	661.8 S.F.
SUBTOTAL	3,824.8 S.F.
NEW BUILDING AREA	
PHASE I ADDITION	
A/C AREA	345.1 S.F.
SUBTOTAL	345.1 S.F.
PHASE II ADDITION	
GARAGE	1,097.1 S.F.
ELECTRICAL	151.6 S.F.
SUBTOTAL	1,258.7 S.F.
PHASE III ADDITION	
A/C AREA	156.0 S.F.
SUBTOTAL	156.0 S.F.
TOTAL	5,584.6 S.F.
CONCRETE DRIVE	1,716.0 S.F.

- NOTES**
- 1 - DRIVES BY OTHERS
  - 2 - ELECTRICAL SERVICE BY OTHERS
  - 3 - CONTRACTOR IS TO COORDINATE ALL SITE WORK WITH OWNER BEFORE CONSTRUCTION
- INDICATES EXISTING HOUSE  
 - INDICATES NEW CONCRETE DRIVE

FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
RE: X

Richard S. Blossman  
Manager/Owner Heavy Moon LLC  
400 Country Club Dr.  
Covington, LA 70433

November 6, 2025

TO: [planning@STPGov.org](mailto:planning@STPGov.org)  
Board of Adjustment  
For Variance Appeal Request of Parish Regulations  
St. Tammany Parish Council Chambers, 214 Koop Dr, Mandeville, LA

RE: **CASE # 2025-4399-BOA**  
**Meeting 11/10/25 2:00 PM St. Tammany Council Chambers, Koop Dr**

I own the parcel of land directly adjacent to the side of this requested variance of subject property being 170 Country Club Dr. and owned by Max & Lauren Agnew. THE 15 ft. SETBACK IS ABSOLUTELY NECESSARY AND MUST REMAIN IN PLACE. The Agnew's purchased this property in 2018 with the 15 ft. side setback regulation. The home is on 2.2 acres so why should they encroach on my property when they are not crowded in any way. Their lot is one of the largest in Covington Country Club and they can add on to their house in any other direction without violating the setback regulations.

I trust you will keep the 15 ft. side setback regulation in place and the Agnew's appeal will be denied.

Thank you,



Richard S. Blossman

RSB/ab

## Helen Lambert

---

**From:** Dayna Luke <lukeassociates@aol.com>  
**Sent:** Monday, November 10, 2025 3:51 PM  
**To:** Planning  
**Subject:** 2025-4399-BOA

[EXTERNAL EMAIL] THINK BEFORE YOU CLICK

Want to express my concern about this applied variance. The set back of 15' should be adhered to.

Sent from my iPhone

Dayna Luke

Luke and Associates,LLC



**BOA STAFF REPORT**  
2025-4404-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

**Location:** 1846 LA Highway 22 West, Madisonville, Louisiana; Ward 1; District 1

**Applicant & Representative:** Smith, Warshauer and Liner, LLC – Smitty Smith

**2<sup>nd</sup> Hearing Date:** December 2<sup>nd</sup>, 2025

**Posted:** November 20, 2025

**Initial Hearing Date:** November 10<sup>th</sup>, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**  
Request by an applicant for a variance of the required 8’ opaque screen on all sides of the property.

**Zoning of Property:**  
CBF-1 Community Based  
Facilities District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code and the attached Exhibit 600-3-13: Landscape Area Requirements, an 8-foot high, 100% opaque wood or masonry fence is required for all Commercial Developments abutting residentially zoned or a property developed with residential uses.

According to the St. Tammany Parish Unified Development Code and the attached Exhibit 600-3.4 E. 4.e. iv. Fences. When fences are required, as listed in Exhibit 600-3-13 Landscape Area Requirements, they shall be 8 feet in height and 100 percent opaque. Fences may be constructed of wood or other opaque materials approved by the department of planning and development.



**BOA STAFF REPORT**  
2025-4404-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

The applicant is requesting a variance from the requirement to install an 8-foot-high opaque fence along all sides of the property. The 7.003-acre site is currently being developed as a baseball training facility, which will include two baseball fields, a batting cage, and an associated parking area. As illustrated in the attached aerial image, the property is predominantly bordered by undeveloped, residentially zoned land, with the exception of two existing single-family homes to the east and one to the west.

Significant natural buffers exist between the eastern residences and the proposed facility. On the west side, the nearest single-family home is located approximately 18 feet from the property line and an additional 15 feet from the parking lot. The site and landscape plan indicates the planting and preservation of numerous Class A and Class B trees throughout the property, and within a 15-foot buffer zone along all boundaries.

Staff do not object to the waiver request, given the presence of substantial natural buffering around the site. Additionally, a letter of no objection has been submitted by the adjacent property owner.

Should the Board not be in favor of the requested variance, it should be subject to:

- Construct an 8-foot-high, 100% opaque fence along all sides of the property.

Should the Board be in favor of the requested variance, it should be subject to:

- Submission of a recorded notarized acknowledgment stating that, should any adjacent property owner request the installation of the required 8-foot opaque fence along shared property lines, the applicant/owner will construct the fence at their own expense.



**Exhibit 600-3-13 Landscape Area Requirements.**

<b>Landscape Type</b>		<b>Depth of Landscape Area</b>	<b>Plant Requirement per 100' Linear Frontage</b>
<b>A - Street</b>		25'	Class A Trees = 4
			Class B Trees = 6
			Shrubs = 20
<b>Aa – Multiple Street Frontages</b>		20'	Class A Trees = 4
			Class B Trees = 4
			Shrubs = 20
<b>B - Interstate</b>		35'	Class A Trees = 5
			Class B Trees = 5
			Shrubs = 0
<b>Side or Rear Yard Landscape Areas</b>	<b>C - Commercial Use to Commercial or Industrial Use</b>	10'	Class B Trees = 3 Shrubs = 10
	<b>D – Commercial Use to Residential Use</b>	25'	Class A Trees = 4 Class B Trees = 6 8 ft. high, 100 % opaque wood or masonry fence
	<b>E – Industrial Use to Industrial Use</b>	10'	Class B Trees = 3
	<b>F – Industrial Use to Non- Industrial Use</b>	35'	Class A Trees = 5 Class B Trees = 5 8 ft. high, 100 % opaque wood or masonry fence

**REASON FOR VARIANCE/APPEAL:**

(Please state in box below your specific request for a variance or appeal)

We are writing to request a variance for fence requirement in order to maintain the property's natural screen. The property is completely bordered by a dense natural screening from the surrounding forestry. There is no cleared and inhabited property that abuts any portion of the property line. The installation of a fence would require the destruction of the natural and dense wooded area with heavy equipment. This will result in an unnecessary hardship without any benefit to the surrounding property owner. We are maintaining a 15 ft property buffer that abuts a pre-existent densely wooded privacy screen.

In summary, the site is substantially screened with natural vegetation and surrounded by undeveloped land. I have included a 360 degree panoramic photo attached in a separate email which clearly shows the current buffer and densely wooded areas. A fence within the woods would provide an obvious unnecessary hardship.

**Standards for Approval of Variances (UDC Sec. 200-3.9 – Variances, G)**

Before a variance is granted, the Board of Adjustment shall determine that all the following standards for approval are met:

1. The request for variance is not self-imposed. Variances may not be granted by the Board if the request is considered a "personal preference."
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5. The variance, if granted, would not impose an adverse effect on the adjacent neighbor's property or surrounding neighborhood. If the variance request adversely effects an adjacent property owner or the surrounding neighborhood in general, and testimony is forthcoming from same that can be proven within reason that an adverse effect would be imposed, the Board may decide not to grant the applicant's variance request.
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7. The variance, if granted, would not result in increased flood heights or additional threats to public safety.



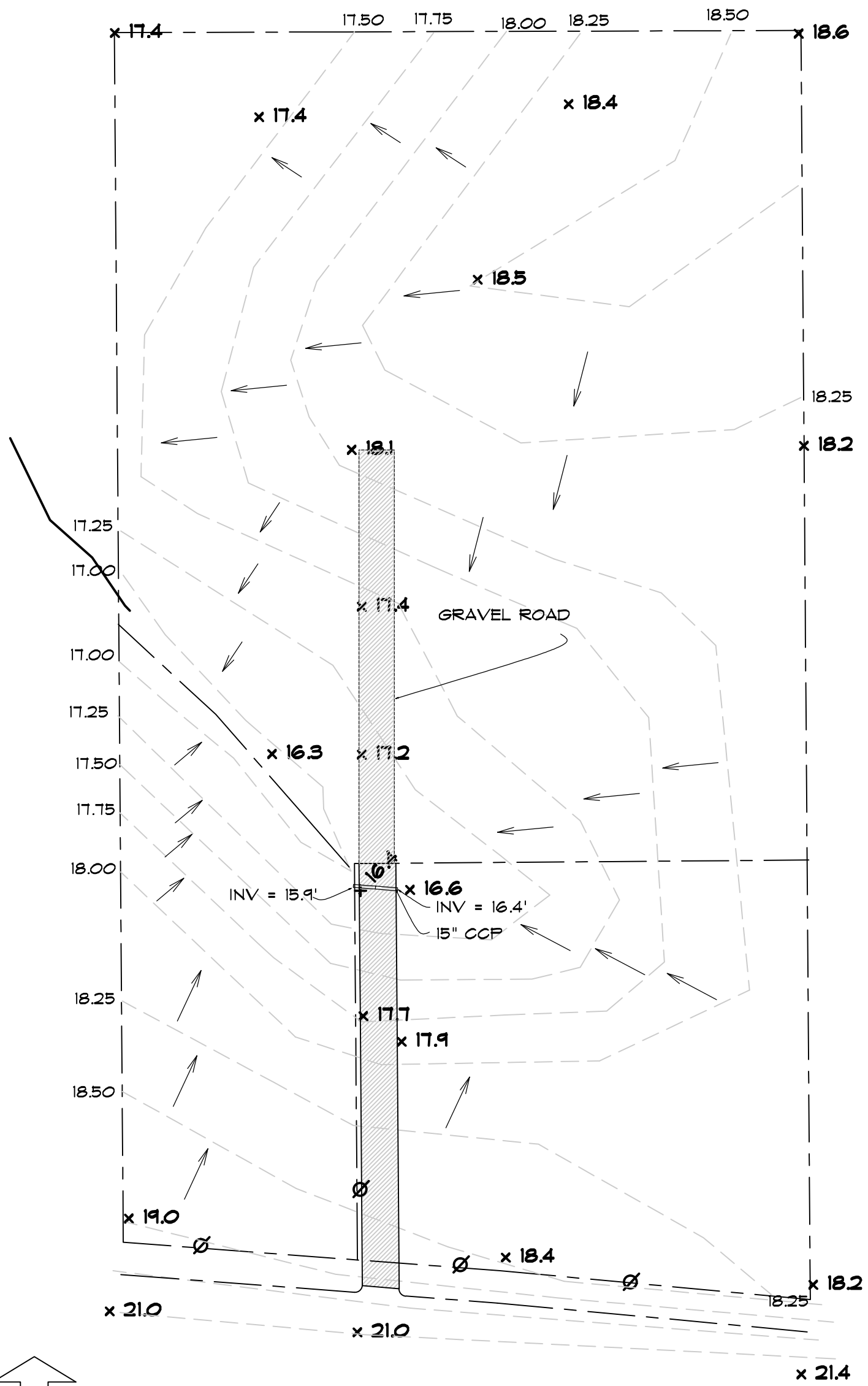
SIGNATURE OF OWNER/APPLICANT

9/23/25

DATE OF APPLICATION

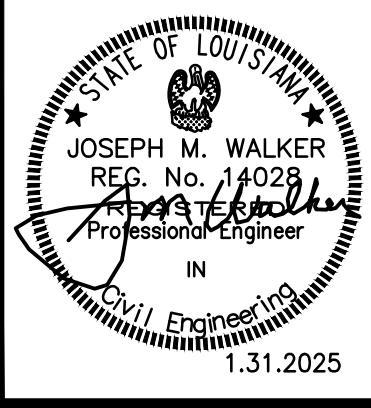
Commercial Plans  
 RECEIVED  
 3/25/2025  
 DEPARTMENT OF  
 ENGINEERING

**ENGINEERING  
 REVIEW COPY**



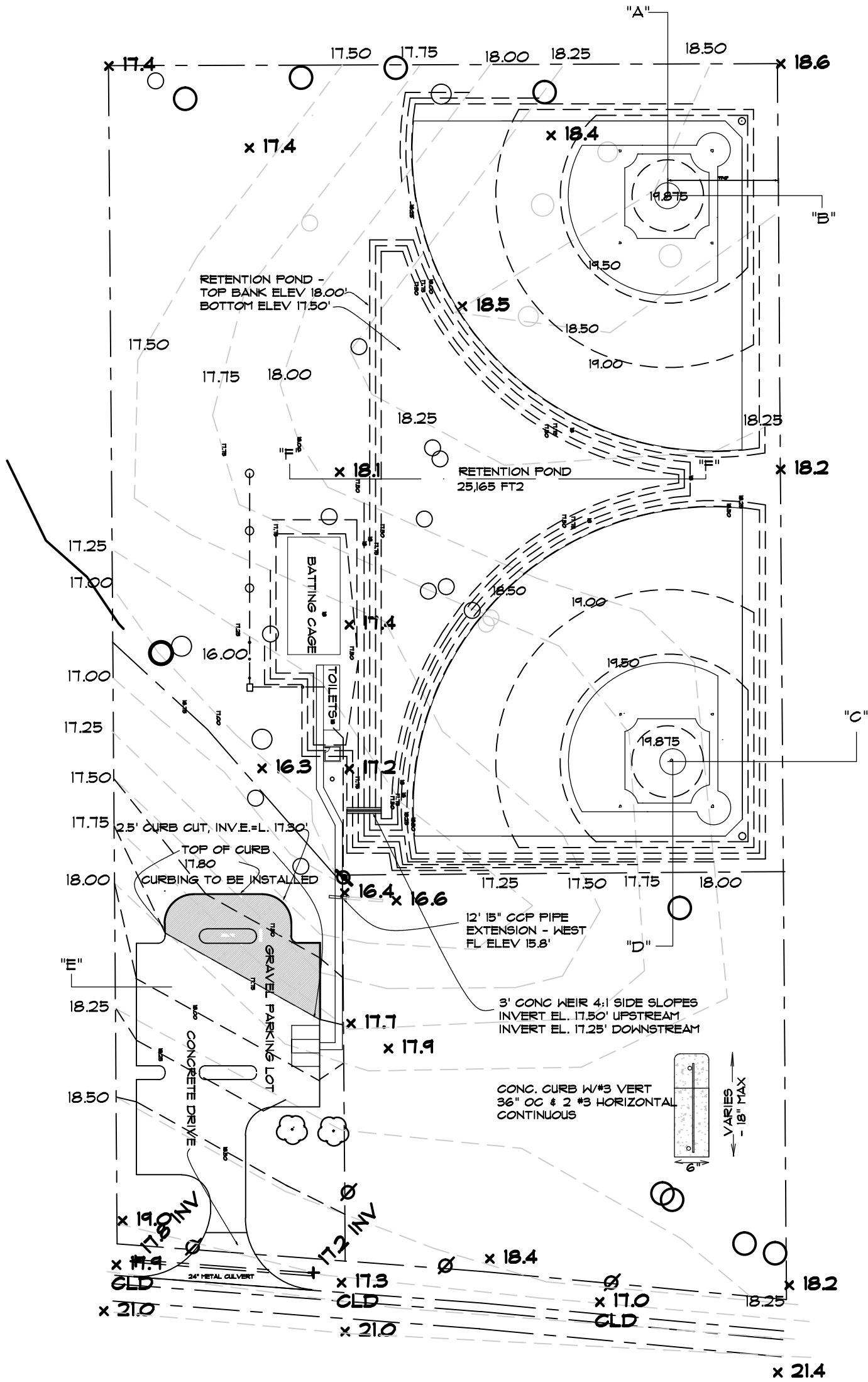
SCALE 1" = 80'

REVISED 3.24.25



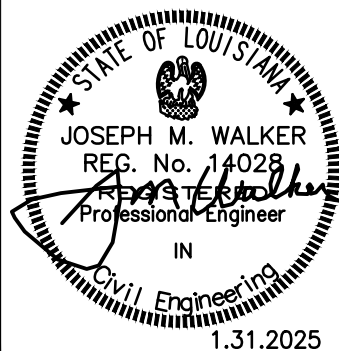
PRE DEVELOPMENT DRAINAGE  
 MADISONVILLE SPORTS  
 1846 HIGHWAY 22  
 MADISONVILLE, LOUISIANA

Date: JAN. 31, 2025	Job Number: 2024-06
Drawn: JMW	Chk. By: JMW
Sheet: C-1 OF 6 C	



SCALE 1" = 80'

REVISED 5.30.2025

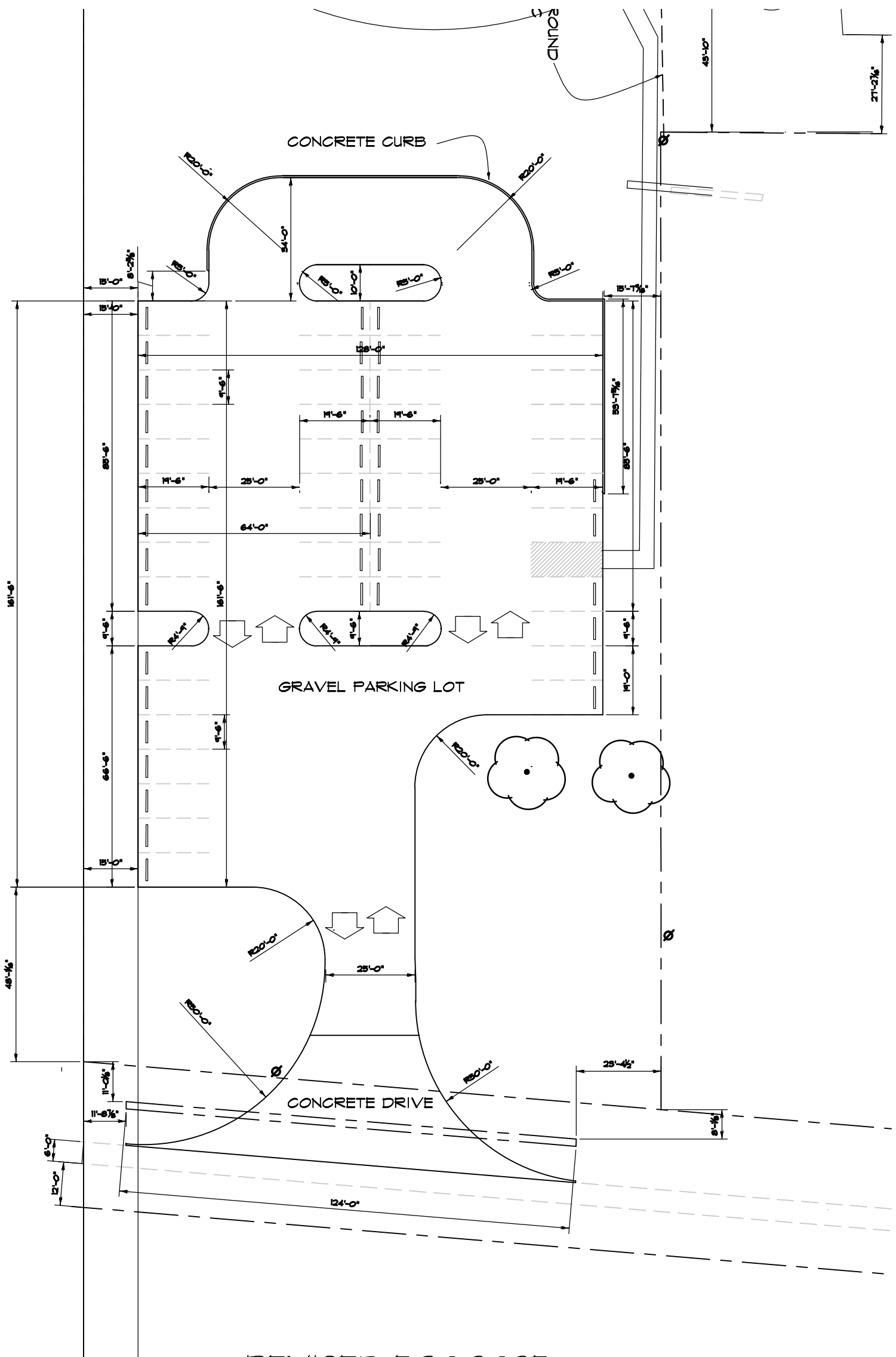


POST DEVELOPMENT  
 MADISONVILLE SPORTS  
 1846 HIGHWAY 22  
 MADISONVILLE, LOUISIANA

Date: JAN. 31, 2025 Job Number: 2024-06

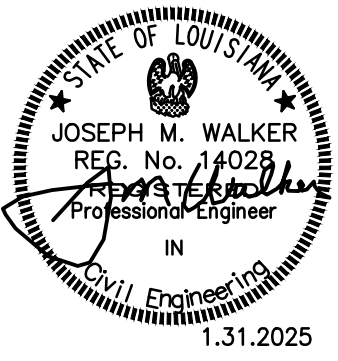
Drawn: JMW Chk. By: JMW

Sheet: C2



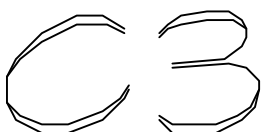
REVISED 5.30.2025

SCALE 1" = 30'



GEOMETRIC SITE PLAN  
 MADISONVILLE SPORTS  
 1846 HIGHWAY 22  
 MADISONVILLE, LOUISIANA

Date: JAN. 31, 2025	Job Number: 2024-06
Drawn: JMW	Chk. By: JMW

Sheet:  


STANDARD FOR SILT FENCE

DEFINITION

TEMPORARY BARRIER FENCE MADE OF BURLAP OR POLYPROPYLENE MATERIAL WHICH IS WATER PERMEABLE BUT WILL TRAP WATER-BORNE SEDIMENT.

PURPOSE

TO INTERCEPT AND DETAIN WATER-BORNE SEDIMENT FROM UNPROTECTED AREA OF LIMITED EXTENT.

CONDITIONS WHERE PRACTICE APPLIES

SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY.

DESIGN CRITERIA

SILT FENCE SHALL NOT BE CONSTRUCTED OUTSIDE THE PROPERTY LINES WITHOUT OBTAINING EASEMENTS FROM THE AFFECTED PROPERTY OWNERS. A DESIGN IS NOT REQUIRED FOR THE INSTALLATION OF SILT FENCE, HOWEVER THE FOLLOWING CRITERIA SHALL BE OBSERVED:

- DRAINAGE AREA - LESS THAN 2 ACRES
- HEIGHT - 36 INCH MINIMUM HEIGHT MEASURED FROM THE EXISTING OR GRADED GROUND.
- MATERIAL - BURLAP WEAVING APPROXIMATELY 7-1/2 OUNCES PER SQUARE YARD OR APPROVED JUTE FABRIC OR GEOTEXTILE FABRIC.
- SUPPORT - STEEL OR WOOD FENCE POSTS SPACED A MAXIMUM OF 8 FEET APART. POST SHALL HAVE A MINIMUM LENGTH OF 5 FEET AND BE SET AT LEAST 18 INCHES DEEP. WOVEN LIVESTOCK WIRE TO SUPPORT THE MATERIAL SHALL BE AT LEAST 36 INCH HIGH WITH A MAXIMUM MESH OPENING OF 6 INCHES AND FABRICATED FROM 14 GAGE WIRE OR LARGER.

OUTLET

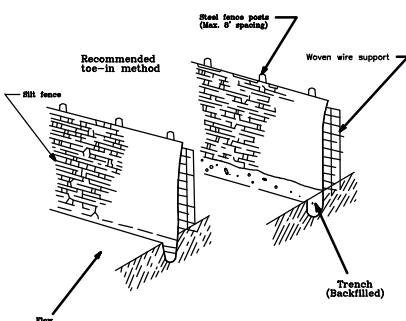
SILT FENCE SHALL BE PLACED AND CONSTRUCTED IN SUCH A MANNER THAT RUNOFF FROM A DISTURBED OR EXPOSED UPLAND AREA SHALL BE INTERCEPTED, SEDIMENT TRAPPED AND THE SURFACE RUNOFF ALLOWED TO PERCOLATE THROUGH THE STRUCTURE.

SILT FENCE SHALL BE PLACED IN SUCH A MANNER THAT SURFACE RUNOFF WHICH PERCOLATES THROUGH WILL FLOW ONTO AN UNDISTURBED STABILIZED AREA OR STABILIZED OUTLET. IF PLACED IN SERIES, THE FURTHEST DOWNSTREAM FENCE WILL FLOW ONTO AN UNDISTURBED STABILIZED AREA OR STABILIZED OUTLET.

GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
  2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
  3. THE TRENCH SHOULD BE A MINIMUM OF 6 INCHES DEEP AND 3-4 FEET WIDE TO ALLOW FOR THE SILT FENCE TO BE LAD IN THE GROUND AND BACKFILLED.
  4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
  5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN NO. 7 ABOVE.
- \* TO BE REMOVED BY CONTRACTOR WHEN PERMANENT EROSION MEASURES ARE DEEMED TO BE EFFECTIVE.

SILT FENCE



STANDARDS FOR HAY BALE DIKE

DEFINITION

A TEMPORARY BARRIER CONSTRUCTED WITH HAY BALES WITH A LIFE EXPECTANCY OF 3 MONTHS OR LESS, INSTALLED ACROSS OR AT THE TOE OF A SLOPE.

PURPOSE

A PURPOSE OF A HAY BALE DIKE IS TO INTERCEPT AND DETAIN SMALL AMOUNTS OF SEDIMENT FROM UNPROTECTED AREAS OF LIMITED EXTENT.

CONDITIONS WHERE PRACTICE APPLIES

THE HAY BALE DIKE IS USED WHERE:

1. NO OTHER PRACTICE IS FEASIBLE AND
2. THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE DIKE AND
3. EROSION WOULD OCCUR IN THE FORM OF SHEET AND RILL EROSION AND
4. CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE-HALF ACRE AND THE LENGTH OF SLOPE ABOVE THE DIKE AND LESS THAN 100 FEET. THE PRACTICE MAY ALSO BE USED FOR ALONG SINGLE FAMILY LOTS IF THE SLOPE IS LESS THAN 10 PERCENT. THE CONTRIBUTING DRAINAGE AREA IN THIS INSTANCE SHALL BE LESS THAN 1 ACRE AND THE LENGTH OF SLOPE ABOVE THE DIKE SHALL BE LESS THAN 200 FEET.

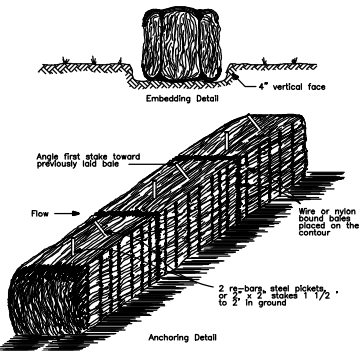
DESIGN CRITERIA

A DESIGN IS NOT REQUIRED. ALL BALES SHALL BE PLACED ON THE CONTOUR AND SHALL BE EITHER WIRE BOUND OR WOVEN STRING TIED. SEE STANDARD DRAWING FOR HAY BALE DIKE FOR DETAILS.

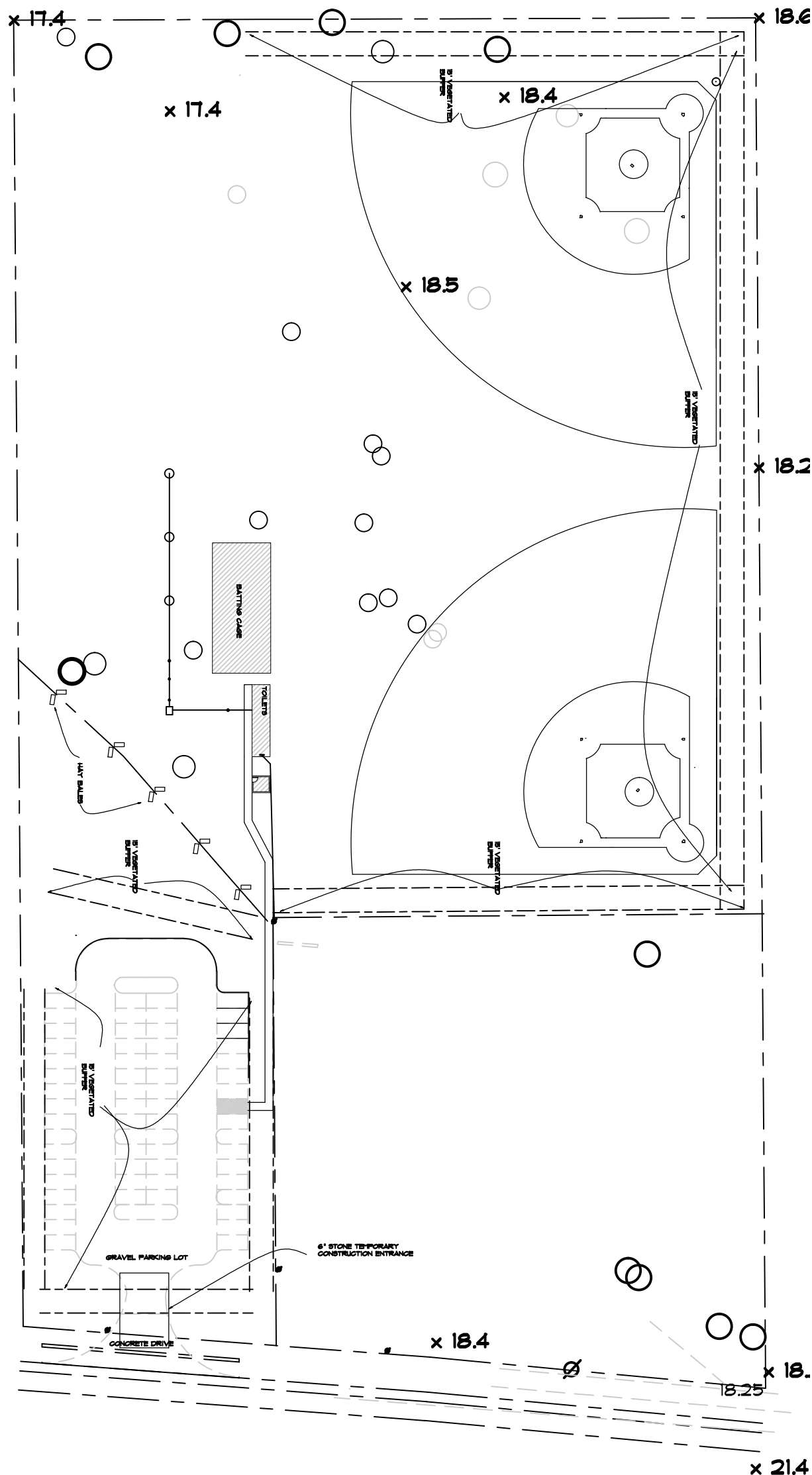
GENERAL NOTES

1. BALES SHALL BE PLACED IN A ROW WITH END TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL. A MINIMUM OF FOUR INCHES, WHERE POSSIBLE.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED BY CONTRACTOR.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
6. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES.

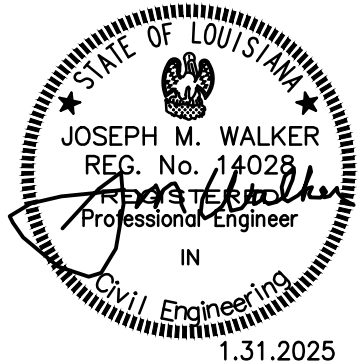
HAY BALE DIKE



SCALE 1" = 80'

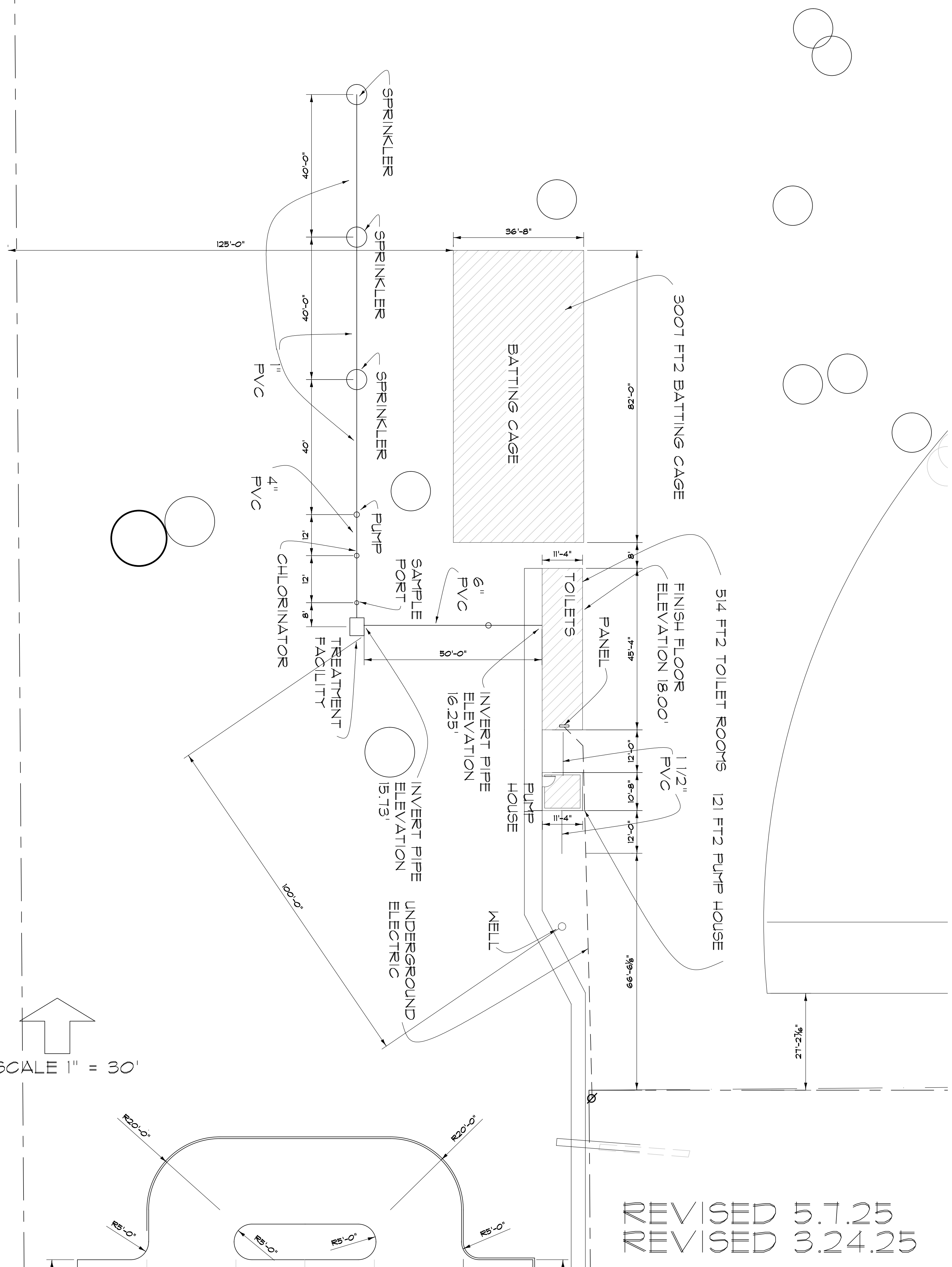


REVISED 3.24.25

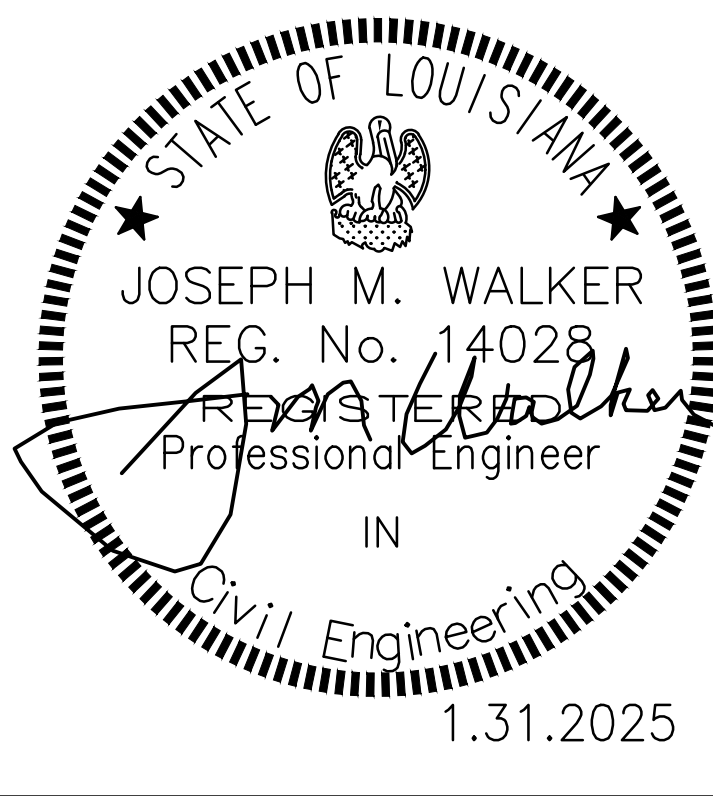


TEMP EROSION CONTROL PLAN  
MADISONVILLE SPORTS  
1846 HIGHWAY 22  
MADISONVILLE, LOUISIANA

Date: JAN. 31, 2025	Job Number: 2024-06
Drawn: JMW	Chk. By: JMW
Sheet: C-4 OF 6 C	

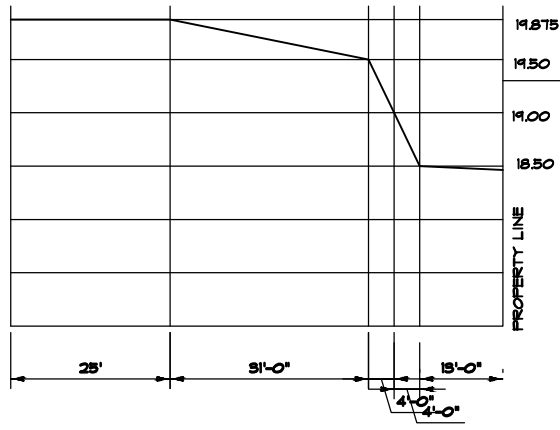


REVISED 5.7.25  
 REVISED 3.24.25

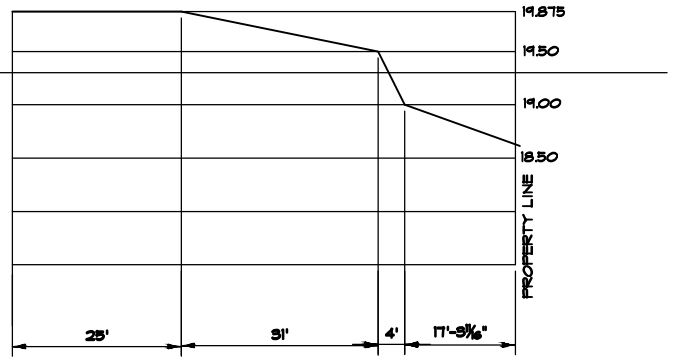


WATER/SEWER UTILITY PLAN  
 MADISONVILLE SPORTS  
 1846 HIGHWAY 22  
 MADISONVILLE, LOUISIANA

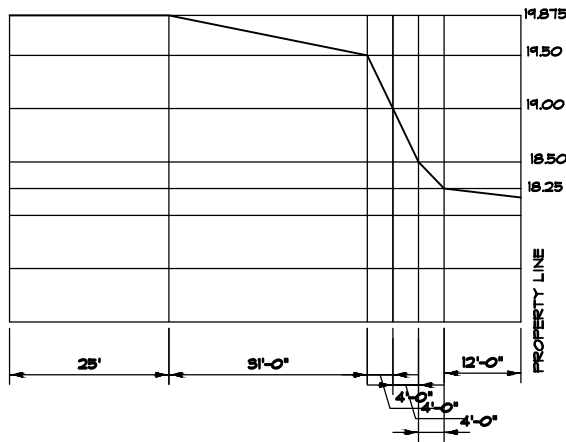
Date: JAN. 31, 2025	Job Number: 2024-06
Drawn: JMW	Chk. By: JMW
Sheet: C-5 OF 6 C	



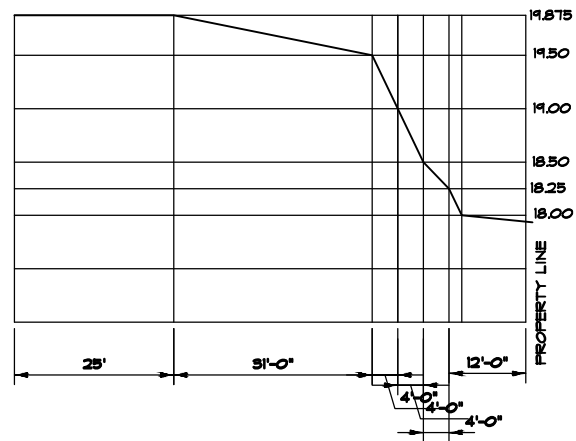
SECTION "A"



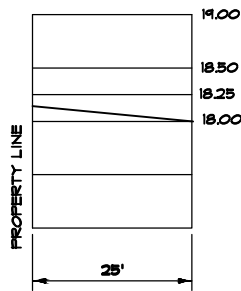
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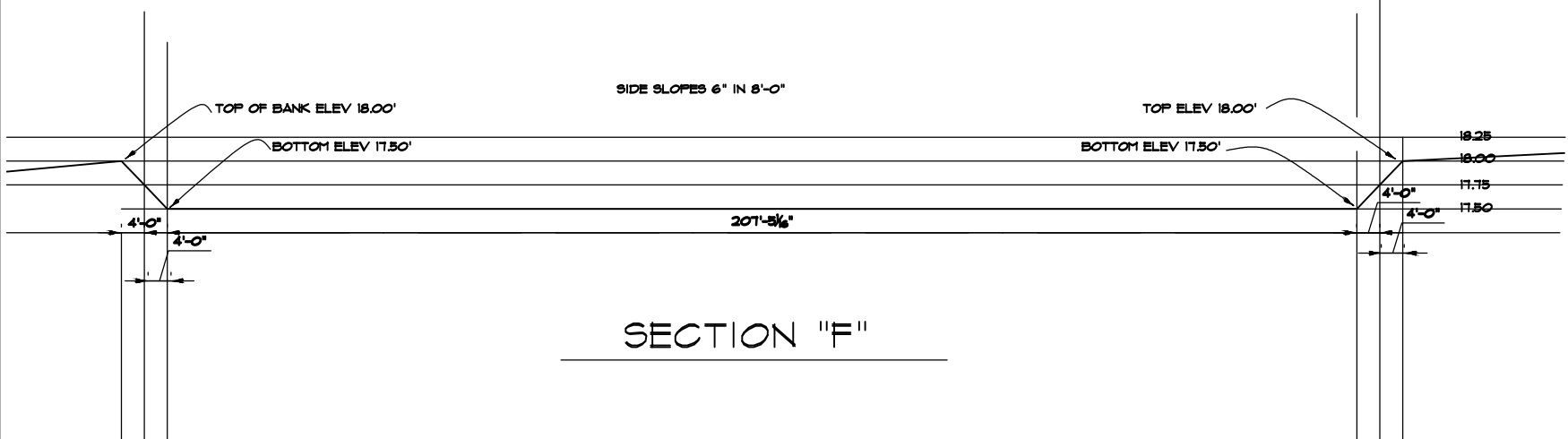
SECTION "C"



SECTION "D"

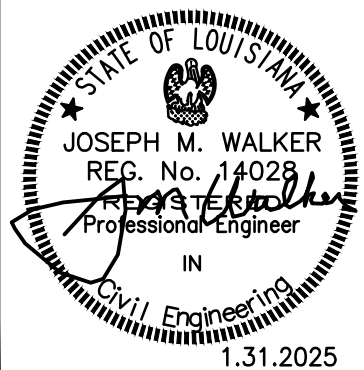


SECTION "E"



SECTION "F"

REVISED 3.24.25

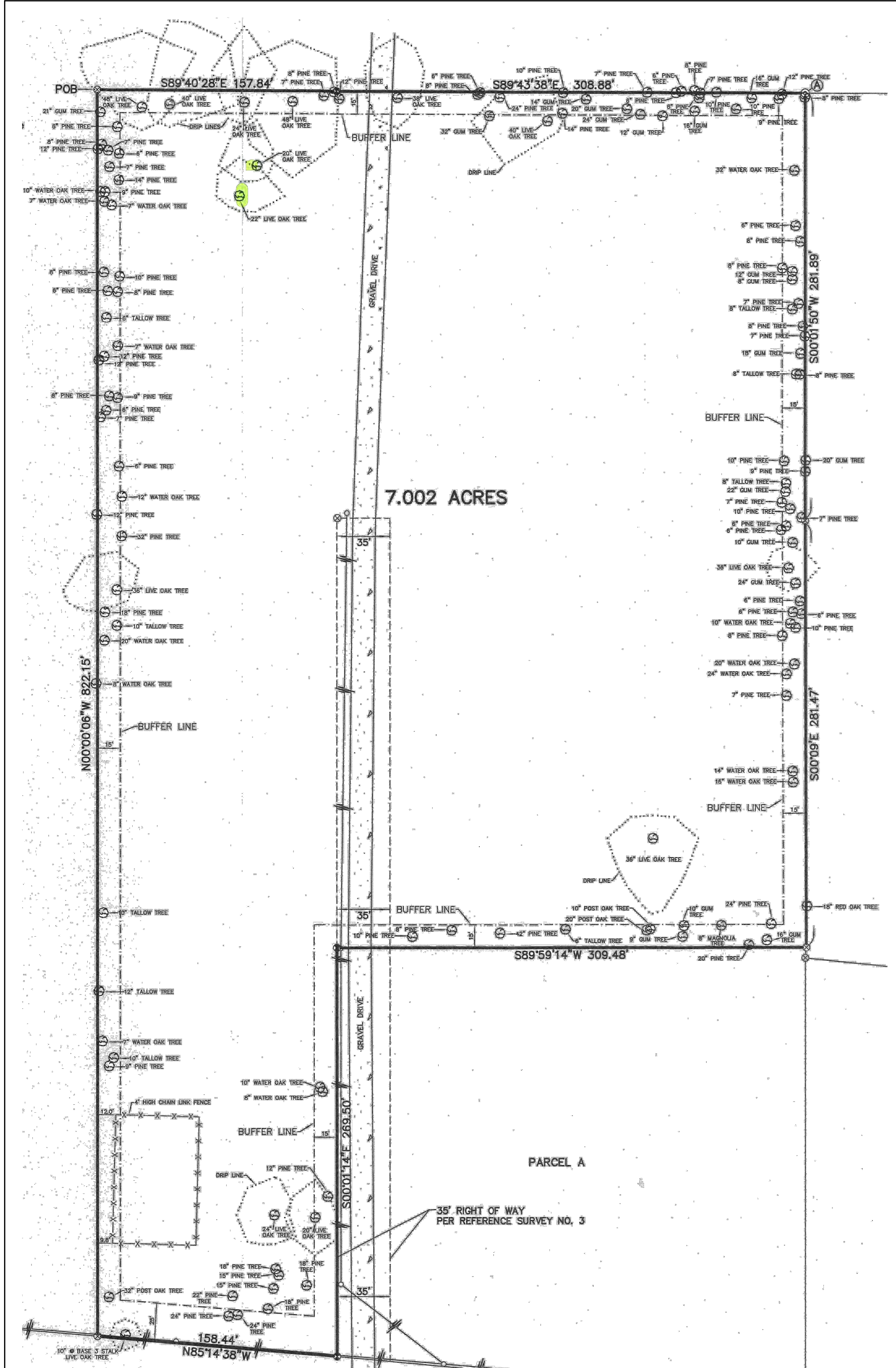


MADISONVILLE SPORTS  
 1846 HIGHWAY 22  
 MADISONVILLE, LOUISIANA

Date: JAN. 31, 2025 Job Number: 2024-06

Drawn: JMW Chk. By: JMW

Sheet: C-6 OF 6 C



7.002 ACRES

STREET BUFFER

SIZE	SPECIES	CREDITS
10"	LIVE OAK	1
24"	PINE	4
24"	PINE	4
TOTAL		9

WEST BUFFER

SIZE	SPECIES	CREDITS
21"	GUM	3
5"	PINE	1
8"	PINE	1
12"	PINE	2
7"	PINE	1
6"	PINE	1
7"	PINE	1
14"	PINE	2
10"	WATER OAK	1
7"	WATER OAK	1
9"	PINE	1
7"	WATER OAK	1
8"	PINE	1
10"	PINE	1
6"	PINE	1
8"	PINE	1
6"	TALLOW	1
7"	WATER OAK	1
12"	PINE	2
12"	PINE	2
8"	PINE	1
9"	PINE	1
6"	PINE	1
7"	PINE	1
6"	PINE	1
12"	WATER OAK	2
12"	PINE	1
32"	PINE	5
36"	LIVE OAK	6
18"	PINE	3
10"	TALLOW	1
20"	WATER OAK	3
8"	WATER OAK	1
10"	TALLOW	1
12"	TALLOW	2
7"	WATER OAK	1
10"	TALLOW	1
9"	PINE	1
32"	POST OAK	5
TOTAL		64

NORTH BUFFER

SIZE	SPECIES	CREDITS
48"	LIVE OAK	8
40"	LIVE OAK	6
24"	LIVE OAK	1
48"	LIVE OAK	8
7"	PINE	1
8"	PINE	1
12"	PINE	2
38"	LIVE OAK	6
8"	PINE	1
6"	PINE	1
24"	PINE	4
10"	PINE	1
14"	PINE	2
14"	GUM	2
20"	GUM	3
24"	GUM	4
7"	PINE	1
12"	GUM	2
6"	PINE	1
6"	PINE	1
7"	PINE	1
6"	PINE	1
16"	GUM	2
16"	GUM	2
9"	PINE	1
12"	PINE	2
8"	PINE	1
TOTAL		70

EAST BUFFER (NORTH)

SIZE	SPECIES	CREDITS
32"	WATER OAK	5
6"	PINE	1
8"	PINE	1
6"	PINE	1
12"	GUM	2
8"	PINE	1
7"	TALLOW	1
18"	GUM	3
8"	TALLOW	1
8"	PINE	1
10"	PINE	1
20"	GUM	3
9"	PINE	1
8"	TALLOW	1
22"	GUM	3
7"	PINE	1
10"	PINE	1
7"	PINE	1
6"	PINE	1
6"	PINE	1
10"	GUM	1
36"	LIVE OAK	6
24"	GUM	4
6"	PINE	1
6"	PINE	1
6"	PINE	1
10"	WATER OAK	1
10"	PINE	1
8"	PINE	1
20"	WATER OAK	3
24"	WATER OAK	4
7"	PINE	1
14"	WATER OAK	2
16"	WATER OAK	2
18"	RED OAK	3
TOTAL		66

EAST BUFFER (SOUTH)

SIZE	SPECIES	CREDITS
10"	WATER OAK	1
8"	WATER OAK	1
12"	PINE	2
20"	LIVE OAK	3
TOTAL		7

SOUTH BUFFER

SIZE	SPECIES	CREDITS
10"	PINE	1
8"	PINE	1
42"	PINE	7
6"	TALLOW	1
20"	POST OAK	8
10"	POST OAK	1
9"	GUM	1
10"	GUM	1
8"	MAGNOLIA	1
20"	PINE	3
16"	GUM	2
24"	PINE	4
TOTAL		31

NOTE: CALCULATIONS BASED UPON TREE SURVEY CONDUCTED BY JOHN G. CUMMINGS & ASSOCIATES 11/19/2024. SEE SURVEY

LANDSCAPE REQUIREMENTS

AREA	SIZE	TREE CREDITS	CLASS A		CLASS B		SHRUBS	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
STREET PLANTING (HWY 22): 158.44	25' WIDTH	9	6	0	6	3	16	16
WEST BUFFER: 822.15'	15' WIDTH	64	28	0	28	0	N/A	N/A
NORTH BUFFER: 308.88'	15' WIDTH	70	11	0	11	0	N/A	N/A
EAST BUFFER (NORTH): 281.89'	15' WIDTH	66	10	0	10	0	N/A	N/A
SOUTH BUFFER: 309.48'	15' WIDTH	31	11	0	11	0	N/A	N/A
EAST BUFFER (SOUTH): 269.50'	15' WIDTH	7	9	0	9	7	N/A	N/A
INTERIOR/PARKING (ONE CLASS A/12 PARKING SPACES AND AT END OF ROWS)			6	6	NA/		N/A	

Commercial Plans RECEIVED 5/23/2025 DEPARTMENT OF ENGINEERING ENGINEERING REVIEW COPY

- General Notes
- This plan is based upon a site plan and Tree Survey developed by a third party and provided by the client. Discrepancies and errors may exist.
  - All measurements, quantities and volumes are based upon information provided to or gathered by the landscape architect. Actual measurements and quantities may vary and should be confirmed by contractor prior to estimating or construction.
  - All preserved existing trees shall be protected with barrier fences in conformance with Sec. 130-1975(d.) of St Tammany Parish Code prior to construction.
  - All plant material to be installed per industry standards in raised planting beds using a high quality planting mix that is properly incorporated into the existing soil. Individual trees located in lawn areas shall be installed by pit planting method in the same manner. All newly planted material shall be mulched with 2-3" of organic mulch unless otherwise specified or called out.
  - All newly planted material shall be fertilized with an appropriate general purpose fertilizer incorporated into backfill material and shall further receive individual fertilizer in the form of time-released fertilizer like 'Best Paks' or 'Agriform' per manufacturer instructions.
  - Trees over 8' shall be staked with a loose staking product like 'ArborBrace' or similar per instructions.
  - Tree staking **MUST** be removed after one calendar year by the contractor to prevent damage to the trees and unsightly circumstances.
  - All areas that are **NOT** part of the proposed site improvements or planting beds shall be restored, graded and hydroseeded with an appropriate turf grass.
  - Planting should occur in the autumn when plant material has the best chance of successful establishment. Automated irrigation is **NOT** required however the owner should provide proper water as needed. The owner should consult with the contractor on watering options.
  - To insure a successful landscape, periodic maintenance must be performed. This might include: Weed removal or suppression, pruning, trimming, fertilization, mowing, mulch replacement or other tasks.
  - To further insure the long term success of the landscape, proper periodic professional maintenance is required. If desired or requested the Contractor **MAY**, at their discretion, provide the owner with a one, or multi-year, maintenance schedule and/or service contract.
  - While every effort has been taken to develop this plan to achieve a successful and long term landscape solution, it should be understood that plants are living organisms and are subject to many environmental conditions that are beyond the control of the designer and/or installer. No guarantee or warranty should be expected or given.

No.	Revision/Issue	Date
3	Version 4.0	10/14/24
4	Version 5.2	12/18/24
5	Version 5.6	4/24/25
6	Version 6.0	4/30/25

Designed By:  
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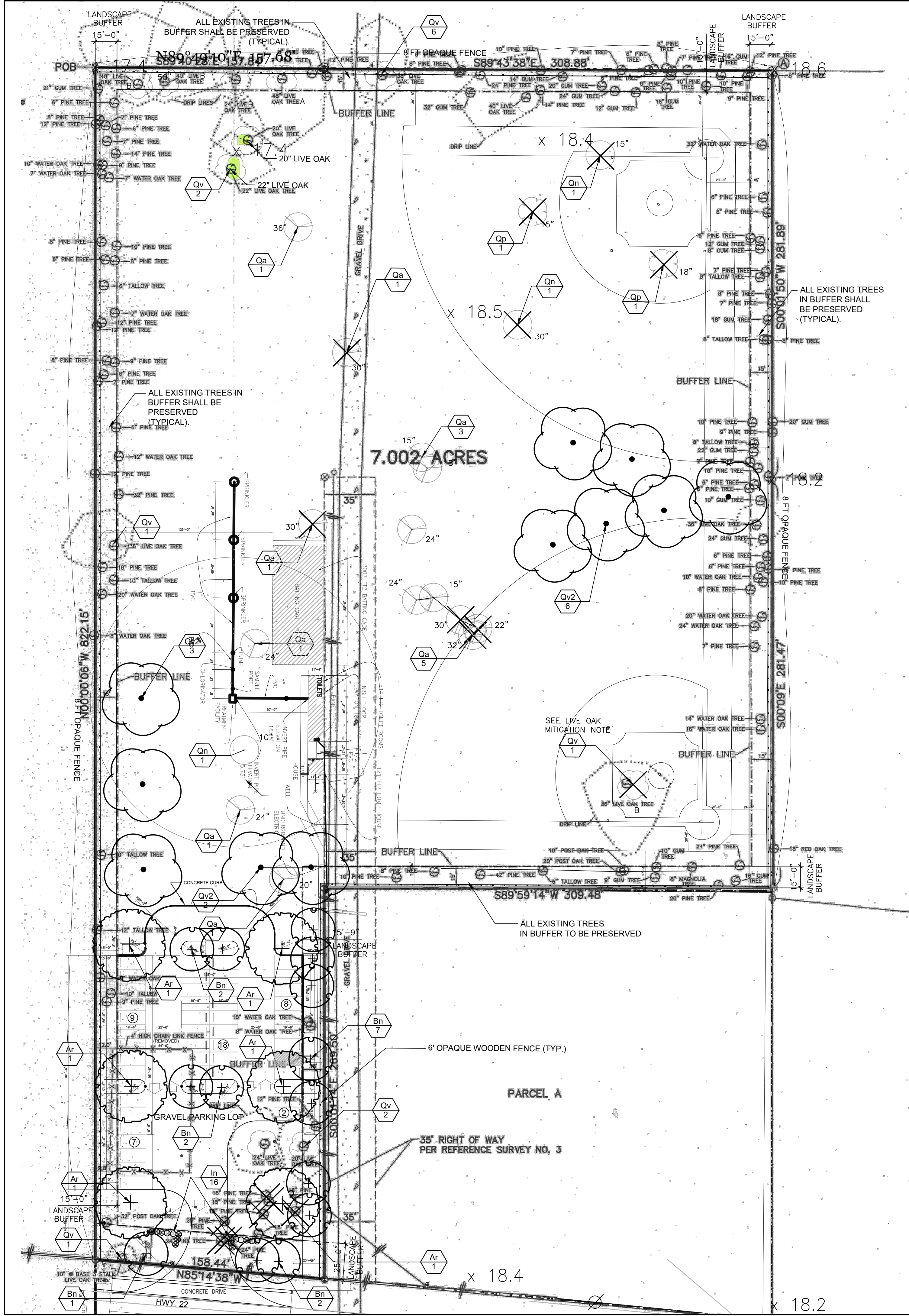
Eric R. McQuiston, PLA  
Landscape Architect  
License #: 24-0624  
Registration #: M-310  
Landscape Horticulturist  
License #: 24-3963

Project:  
HWY. 22 BALLFIELDS  
WARSHAUER CONSTRUCTION COMPANY, LLC  
PO BOX 973  
MADISONVILLE, LOUISIANA 70447

Project	Sheet
HWY. 22 BALLFIELDS	L1
Date	7/10/2024
Scale	1" = 40'



1 L1 TREE SURVEY (John G Cummings & Assoc. 2/11/2025)  
SCALE: 1" = 40' - 0"



**LANDSCAPE REQUIREMENTS**

AREA	SIZE	TREE CREDITS	CLASS A		CLASS B		SHRUBS	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
STREET PLANTING (HWY 22): 158.44	25' WIDTH	9	6	0	6	3	16	16
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NORTH BUFFER: 308.88'	15' WIDTH	70	11	0	11	0	N/A	
EAST BUFFER (NORTH): 281.89'	15' WIDTH	66	10	0	10	0	N/A	
SOUTH BUFFER: 309.48'	15' WIDTH	31	11	0	11	0	N/A	
EAST BUFFER (SOUTH): 269.50'	15' WIDTH	7	9	0	9	7	N/A	
INTERIOR/PARKING (ONE CLASS A/12 PARKING SPACES AND AT END OF ROWS)			6	6	4	4	N/A	

**PLANT SCHEDULE LANDSCAPE PLAN**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	CLASS	QTY
<b>TREES</b>							
	Qp	Quercus palustris / Pin Oak	Existing				2
	Ar	Acer rubrum / Red Maple	N/A	Min. 2.5"	Min. 10'	Class A	6
	Bn	Betula nigra / River Birch Multi-Trunk	N/A	Min. 1.5"	8' - 10'	Class B	14
	Qv	Quercus virginiana / Southern Live Oak	Existing				13
	Qv2	Quercus virginiana / Southern Live Oak	N/A	Min. 2.5"	Min. 10'	Class A	11
	Qn	Quercus nigra / Water Oak	Existing				3
	Qa	Quercus alba / White Oak	Existing				14
<b>SHRUBS</b>							
	In	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	N/A	>24"			16

TREES IN BUFFERS EXCEPT LIVE OAKS ARE AS NOTED ON PLAN.

**LIVE OAK MITIGATION NOTE**

Per UDC Sec. 600-3.3 - TREE PROTECTION AND MITIGATION of The St Tammany Parish Code the existing 30" Live Oak that is in poor condition will be removed and replaced with new 2.5" Live Oak trees. These will be located in the interior of the site.

**CALCULATIONS**

ONE LIVE OAK : 36" Grade B (75% replacement inches) = 27 inches of mitigation trees at 2.5" minimum each. 27/2.5 = 11 - 2.5" Live Oak trees

**ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH A BARRIER FENCE PER UDC 600-3.3 (G) OF THE ST TAMMANY PARISH CODE (THIS SHEET GENERAL NOTES # 3).**

**PROPERTY INFORMATION**

PROPERTY ADDRESS: HWY 22, MADISONVILLE, LA.  
 PROPERTY USE: RECREATION  
 PROPERTY ZONING: CB-1 COMMUNITY BASED FACILITY  
 ADJACENT PROPERTY ZONING: A-2  
 PROPERTY SIZE: 6.32 ACRE  
 AVERAGE DEPTH OF PROPERTY: 630.0'

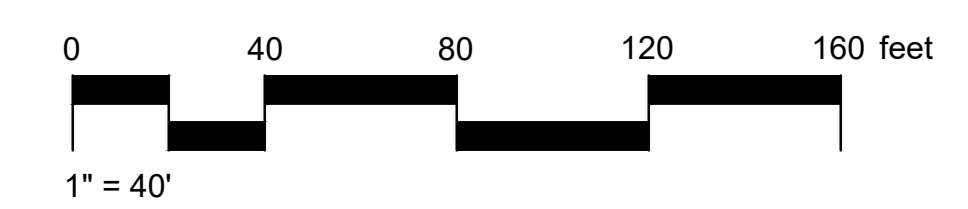
**PARKING CALCULATION**

REQUIRED: AS DETERMINED BY DEPT. OF PLANNING AND DEVELOPMENT  
 44 SPACES PROVIDED



1 LANDSCAPE PLAN

SCALE: 1" = 40' - 0"



**General Notes**

- This plan is based upon a site plan developed by a third party and provided by the client. Discrepancies and errors may exist.
- All measurements, quantities and volumes are based upon information provided to or gathered by the landscape architect. Actual measurements and quantities may vary and should be confirmed by contractor prior to estimating or construction.
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No.	Revision/Issue	Date
5	Version 5.6	4/24/25
6	Version 6.0	4/30/25
7	Version 7.0	5/20/25
8	Version 8.0	5/22/25
9	Version 9.0	6/3/2025

Designed By:  
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 Registration #: M-310  
 Landscape Horticulturist  
 License #: 24-3963

Project:  
 HWY. 22 BALLFIELDS  
 WARSHAUER CONSTRUCTION COMPANY, LLC  
 PO BOX 973  
 MADISONVILLE, LOUISIANA 70447

Project	Sheet
HWY. 22 BALLFIELDS	L2
Date	
7/10/2024	
Scale	
1" = 40'	

JENEVEIN FAMILY, L.L.C.

N89°48'09"E 466.79'

5/8" I. ROD

157.71'  
(157.68)

309.08'  
(308.97')

OLD 3/4" I. PIPE WITH COUPLING

(281.83')  
N00°28'21"W 281.76'

PARCEL "C"  
1.999 AC.

PARCEL C-1  
7.003 AC.

S00°22'55"E 282.13'  
(281.98')

(308.87')  
S89°52'17"W 308.64'

JAMES TONYAM

JENEVEIN FAMILY L.L.C.

3.001 AC.

PARCEL "B"  
2.003 AC.

S00°33'16"E 281.53'

(821.81')  
N00°25'36"W 821.83'

(283.11')  
N00°23'57"W 283.14'

35' PASSAGE R/W (SCALED FROM REF. PLAT)

S00°23'57"E 282.96'

(308.77')  
S89°34'15"W 309.40'

3/4" I. ROD  
S05°01'21"W 6.88'  
3/4" I. ROD  
0.64' W. OF LINE

OLD 3/4" I. PIPE S72°55'50"E 0.25' FROM OLD 3/8" I. ROD

35.00'

(269.30')  
S00°27'02"E 269.40'

S00°27'02"E 272.31'

MANUEL G. ESTRADA, ET AL  
PARCEL "A"

SCOTT E. RAIFORD, ET AL

OLD 3/4" I. PIPE IN OLD 1 1/2" I. PIPE

(159.60')  
158.45'

35.12'

(97.15')  
198.27'

(211.81')  
N84°40'49"W 211.85'

APPROVAL:

DIRECTOR/DEPARTMENT OF ENGINEERING

SECRETARY/PARISH PLANNING & ZONING COMMISSION

CLERK OF COURT

12-12-2024

6358E

DATE FILED

FILE NO.

• - FOUND 1/2" IRON ROD (UNLESS LABELED)

( ) - CALL/RECORD DISTANCE

NO SERVITUDES, EASEMENTS OR RIGHT-OF-WAYS OTHER THAN THOSE SHOWN HEREON (IF ANY) HAVE BEEN LOCATED, NOR IS THE INTENT OF THIS SURVEY TO LOCATE ANY SERVITUDES, EASEMENTS OR RIGHT-OF-WAYS. NO VISIBLE ENCROACHMENTS EXIST ACROSS THE PROPERTY LINES BEING SURVEYED UNLESS SHOWN.

BEARINGS BASED ON THE LOUISIANA COORDINATE SYSTEM SOUTH ZONE NAD83 AS PER G.P.S. OBSERVATIONS.

THIS PROPERTY IS SITUATED IN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) AS PER PRELIMINARY F.I.R.M. 22103C0290F DATED 04-03-2008. PRELIMINARY F.I.R.M. SHOWS MOST UP-TO-DATE FLOOD RISK INFORMATION.

NO ATTEMPT HAS BEEN MADE TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHT-OF-WAYS, OR ANY OTHER BURDENS ON THIS PROPERTY (OTHER THAN INFORMATION FURNISHED BY THE CLIENT).

REFERENCE SURVEYS:

1. SURVEY BY EDWARD J. MURPHY, CIVIL ENGINEER DATED 01-25-1995, FILED ST. TAMMANY PARISH CLERK OF COURT INSTRUMENT NO. 942527.
2. SURVEY BY JOHN G. CUMMINGS & ASSOC. DATED 12-06-2016, FILED ST. TAMMANY PARISH CLERK OF COURT INSTRUMENT NO. 2046628.
3. SURVEY BY SEAN M. BURKES DATED 09-10-2019, FOR CROSBY DEV. CO, L.L.C.

PLAT OF SURVEY

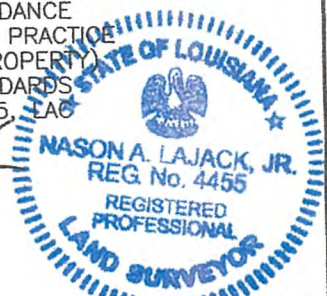
FOR

SMITH, WARSHAUER & LINER, L.L.C.

SHOWING MINOR SUBDIVISION OF 3.001 AC. & PARCEL B (2.003 AC.) & PARCEL C (1.999 AC.) INTO PARCEL C-1 (7.003 AC.), LOCATED IN SECTION 17, T-7-S, R-10-E ST. TAMMANY PARISH, LOUISIANA

I CERTIFY PLAT TO BE IN ACCORDANCE WITH GROUND SURVEY AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "D" SURVEY (RURAL PROPERTY) AS STIPULATED IN THE MINIMUM STANDARDS FOR PROPERTY SURVEYS, CHAPTER 25, LA& TITLE 46:LXI.

NASON A. LA JACK, JR.  
REGISTERED LAND SURVEYOR  
OPELOUSAS, LOUISIANA  
337-945-4995



SCALE: 1" = 100'

DATE: 10-15-24

PROJECT: 24-23B

Monique T. Bringsol, Deputy Clerk



**BOA STAFF REPORT**  
2025-4419-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

**Location:** 213 Driftwood Street, Mandeville, Louisiana; Ward 4; District 10

**Applicant & Representative:** Nanette Thorne

**2<sup>nd</sup> Hearing Date:** December 2<sup>nd</sup>, 2025

**Posted:** November 18, 2025

**Initial Hearing Date:** November 10<sup>th</sup>, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant for and after the fact variance to reduce the front yard setback from 25' to 2'

**Zoning of Property:**

S-1 Suburban Residential District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code Section 500-2.1 A.2.c. The following minimum setback requirements are required for substandard lot of record: i. Front yard setback: 25 feet.

The objective of the request is to allow for a 529 square foot carport addition (23-foot-wide X 23-foot-long) to remain 2 feet from the front property line.

No hardship has been presented to justify the support of the requested after the fact variance.

Should the Board be in favor of the after the fact variance request, it should be subject to:

- Submit required plans for the addition of the carport to the Building Permit's office.

Should the Board not be in favor of the after the fact variance request, it should be subject to:

- Removal of the addition.



SANDALWOOD CT

S-1

GOLDENWOOD ST

S-1

RICHLAND DR S

DRIFTWOOD ST

TEAKWOOD CIR

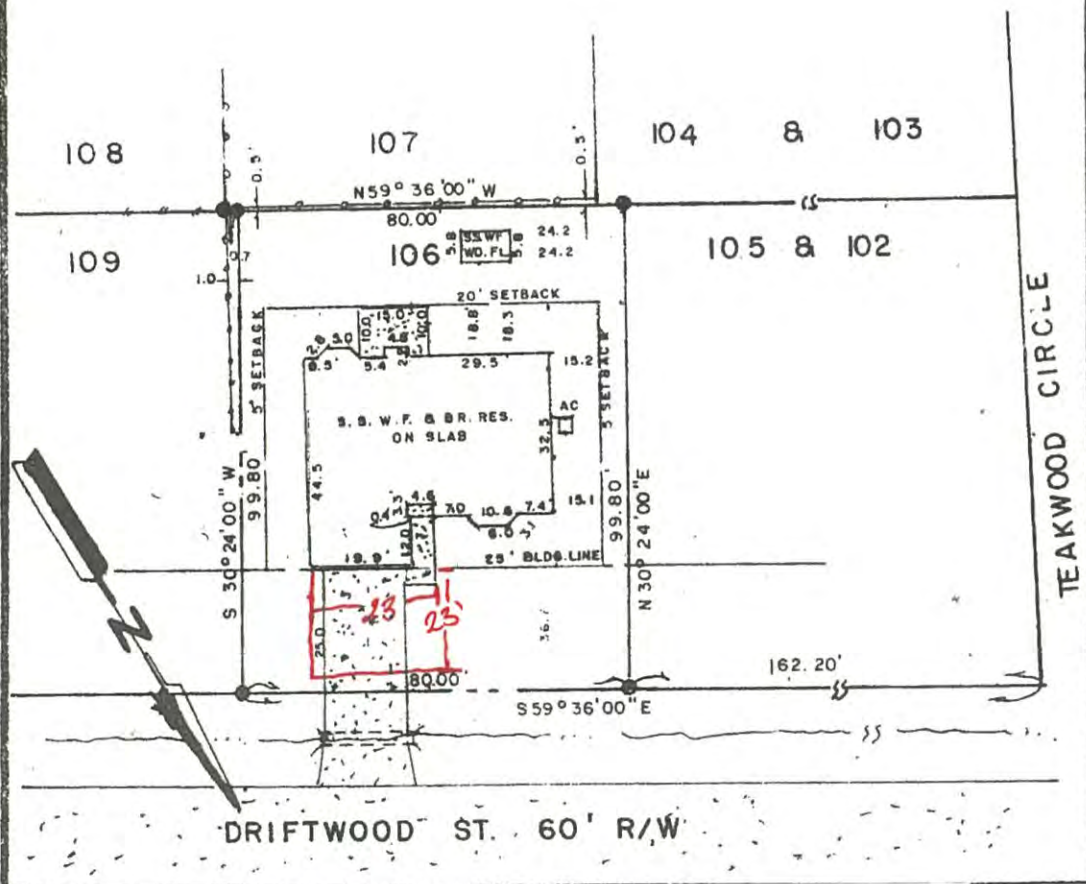
ELMWOOD ST

OAKWOOD DR

CEDARWOOD ST

NOTE: ACCORDING TO H.U.D. F.T.A. FLOOD HAZARD BOUNDARY MAP... 225,205 -02408 THIS PROPERTY IS:

NOT IN A FLOOD PRONE AREA  
 IS LOCATED IN FLOOD ZONE C



- SET IRON
- FOUND IRON
- FENCE POST

SCALE: 1" = 30'

MAP SHOWING SURVEY OF LOT NO. 106 # 213 DRIFTWOOD ST.

SUBDIVISION TANGLE WOOD II

LOCATED IN SEG'S 39 & 47, T8S-R11E, G.L.D.

NEAR MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA.

FOR FIRST AMERICAN TITLE INSURANCE CO. &

FOR DONNA RUIZ w/o CRAIG SEXTON ST- 1289 - NB



TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I HEREBY CERTIFY THAT THE ABOVE SHOWN SURVEY WAS ACTUALLY MADE ON THE GROUND, AS PER RECORD DESCRIPTION, AND IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES, EXCEPT AS MAY BE NOTED ABOVE.

SLIDELL, LOUISIANA

DATE: MARCH 15, 1988

JOB NO. 100142

*Albert A. Lovell*  
**ALBERT A. LOVELL & ASSOCS., INC.**  
 CONSULTING ENGINEERS







**BOA STAFF REPORT**  
2025-4449-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

**Location:** Northeast corner of Bosworth Street & Coast Blvd, Slidell, Louisiana; Ward 8; District 12

**Applicant & Representative:** Air Comfort Products, Inc. – Wilfred E. Lewis, Jr.

**Hearing Date:** December 2, 2025

**Posted:** November 17, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant for a variance to reduce the depth of the required street landscape area from 20' to 4'6" and to reduce the depth of the side yard landscape area from 35' to 10'.

**Zoning of Property:**

I-1 Light Industrial District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code Section 600-3.4 E.2. Requirements. Landscape areas shall be provided in plantable soil in accordance with the requirements set forth in Exhibit 600-3-13 Landscape Area Requirements (see attached).

- 1- Request to reduce portions of the required street landscape area depth to 10', and to 4'6" at locations where emergency exit door landings are proposed. While no hardship has been demonstrated the following factors should be considered:
  - Under UDC Section 600-3.4 E.3.f, the required depth of the street planting area may be reduced to a minimum of 10 feet for up to 20% of its length, provided that compensating depth of street landscape area is added elsewhere to maintain the overall required area. This provision allows for a reduction of approximately 220 square feet of greenspace.



**BOA STAFF REPORT**  
2025-4449-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

- Although the proposed reduction of the depth of the landscape area along Bosworth Street exceeds the allowable 20% adjustment, the required greenspace is offset by additional landscape area along Coast Blvd. The depth of the street landscape area, along Coast Blvd, is increased by 10 feet, resulting in a total depth of 30 feet.
- Other than the required emergency exit doors, the façade of the building along Bosworth Street will not include windows, driveway access, or parking spaces. Business activities, parking, and driveway access will be concentrated along Coast Blvd.

Should the Board be in favor of the requested variance it should be subject to:

- Submitting a landscape plan detailing the total square footage of reduction of greenspace along Bosworth Street and provided along Coast Blvd and meeting the required number of Class A & Class B trees and shrubs.

Should the Board not be in favor of the requested variance, it should be subject to:

- Submitting a revised plan meeting the 20' in depth landscape area along Bosworth Street.
- 2- Request to reduce the depth of the landscape area abutting residential zoning from 35' to 10' along the proposed parking area and from 35' to 30' along the driveway. While no hardship has been demonstrated, the following factors should be considered:
- An 8-foot opaque fence will be provided as required.
  - The required number of Class A & Class B trees will be provided.
  - The reduction of the total square footage of greenspace is mainly along the parking lot and to where the driveway is proposed to be located.

Should the Board be in favor of the requested variance it should be subject to:

- Submitting a landscape plan meeting required number of Class A & B trees.

Should the Board not be in favor of the requested variance, it should be subject to:

- Submitting a revised plan meeting the 35' in depth landscape area along the east side of the property.

Additional information: The lots fronting Coast Blvd, between Old Spanish Trail and Cass Street, are currently developed with commercial uses that do not conform to the development standards outlined in the Unified Development Code. In contrast, the proposed office warehouse will be subject to all applicable commercial development requirements, including parking, landscaping, and drainage. Although variances are being requested to reduce the required depth of greenspace, the project will enhance and improve the overall character of Coast Blvd.

2025-4449-BOA

S-2

Central Park

BOSWORTH ST

CASS ST

I-1

COAST BLVD

COAST BLVD

COAST BLVD

HC-2

SLIDELL

BOSWORTH ST

BOSWORTH ST

CBF-1

433

BOSWORTH ST



**Exhibit 600-3-13 Landscape Area Requirements.**

<b>Landscape Type</b>		<b>Depth of Landscape Area</b>	<b>Plant Requirement per 100' Linear Frontage</b>
<b>A - Street</b>		25'	Class A Trees = 4
			Class B Trees = 6
			Shrubs = 20
<b>Aa – Multiple Street Frontages</b>		20'	Class A Trees = 4
			Class B Trees = 4
			Shrubs = 20
<b>B - Interstate</b>		35'	Class A Trees = 5
			Class B Trees = 5
			Shrubs = 0
<b>Side or Rear Yard Landscape Areas</b>	<b>C - Commercial Use to Commercial or Industrial Use</b>	10'	Class B Trees = 3 Shrubs = 10
	<b>D – Commercial Use to Residential Use</b>	25'	Class A Trees = 4 Class B Trees = 6 8 ft. high, 100 % opaque wood or masonry fence
	<b>E – Industrial Use to Industrial Use</b>	10'	Class B Trees = 3
	<b>F – Industrial Use to Non- Industrial Use</b>	35'	Class A Trees = 5 Class B Trees = 5 8 ft. high, 100 % opaque wood or masonry fence





**BOA STAFF REPORT**  
2025-4460-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

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985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

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**Location:** 54499 Highway 433, Slidell, Louisiana; Ward 9; District 13

**Applicant & Representative:** Larry A. Westcott & Darleen W. McCormick

**Hearing Date:** December 2, 2025

**Posted:** November 18, 2025

**Date of Report:** November 24, 2025

**Variance(s) Requested:**

Request by an applicant for a variance to reduce the required front yard setback from 25' to 20'.

**Zoning of Property:**

S-2 Suburban Residential District



**FINDINGS**

According to the St. Tammany Parish Unified Development Code Section 500-2.1 A.2.c. The following minimum setback requirements are required: i. Front yard setback: 25 feet.

The objective of the request is to reduce the required front yard setback from 25 feet to 20 feet to maintain 10-foot of land between the rear of the proposed single-family residence and the adjacent canal. While the property technically extends into the canal and could accommodate the full 25-foot setback, doing so would leave only 5 feet behind the home for the staircase and access to the elevated structure. This minimal clearance would position the staircase almost at the canal's edge, raising potential safety concerns for residents entering or exiting the residence.



PUD

S-2

433

PF-2

REASON FOR VARIANCE/APPEAL:

(Please state in box below your specific request for a variance or appeal)

We are requesting a variance of 5' on the frontage setback on the property. The main reason for the request is for additional space in the back of the property. With the current additional 5' added we are only 6 feet off the water. Any variance granted would be appreciated to get us more room in the back. All of the houses in the area have about 10'-20' setbacks in the front.

**Standards for Approval of Variances (UDC Sec. 200-3.9 – Variances, G)**

Before a variance is granted, the Board of Adjustment shall determine that all the following standards for approval are met:

1. The request for variance is not self-imposed. Variances may not be granted by the Board if the request is considered a "personal preference."
2. The variance request is not based solely on financial hardship. Variances may not be granted by the Board if the request is considered strictly a financial hardship.
3. The particular physical surroundings, shape or topographical conditions of the property would result in unnecessary hardship, as distinguished from a mere inconvenience, if the provisions of the UDC were literally enforced.
4. The variance request is based on ameliorating a practical difficulty or unnecessary hardship. If the applicant can prove through testimony and presentation of factual documentation or evidence to the Board that a practical difficulty or unnecessary hardship would be imposed if a variance was not granted, then the Board may consider granting the variance request.
5. The variance, if granted, would not impose an adverse effect on the adjacent neighbor's property or surrounding neighborhood. If the variance request adversely effects an adjacent property owner or the surrounding neighborhood in general, and testimony is forthcoming from same that can be proven within reason that an adverse effect would be imposed, the Board may decide not to grant the applicant's variance request.
6. The granting of the variance would not establish an undesirable precedent. The Board may deny the granting of a variance request which may result in the establishment of a dangerous or unfavorable precedent to the parish.
7. The variance, if granted, would not result in increased flood heights or additional threats to public safety.

Darleen McCormick

SIGNATURE OF OWNER/APPLICANT

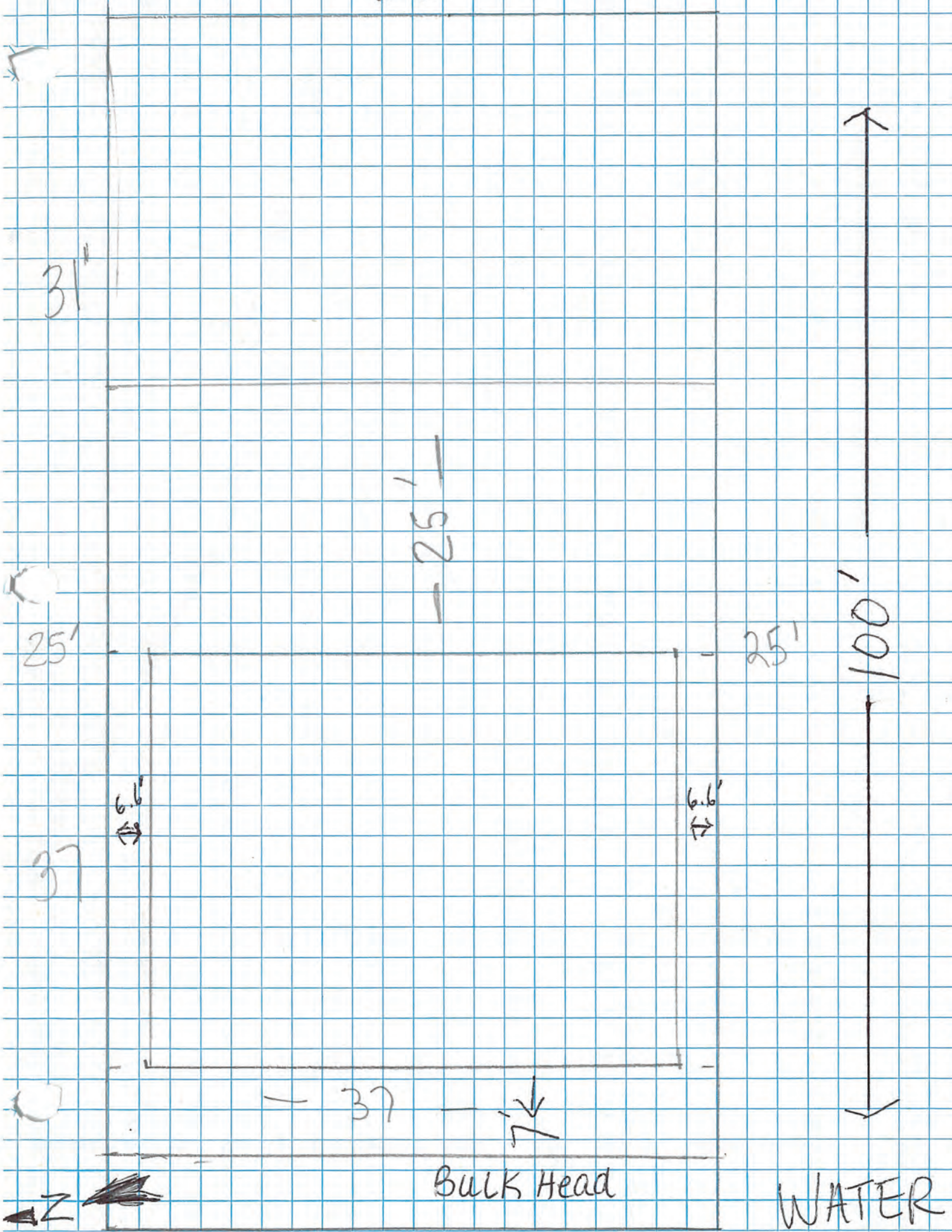
10/31/25

DATE OF APPLICATION

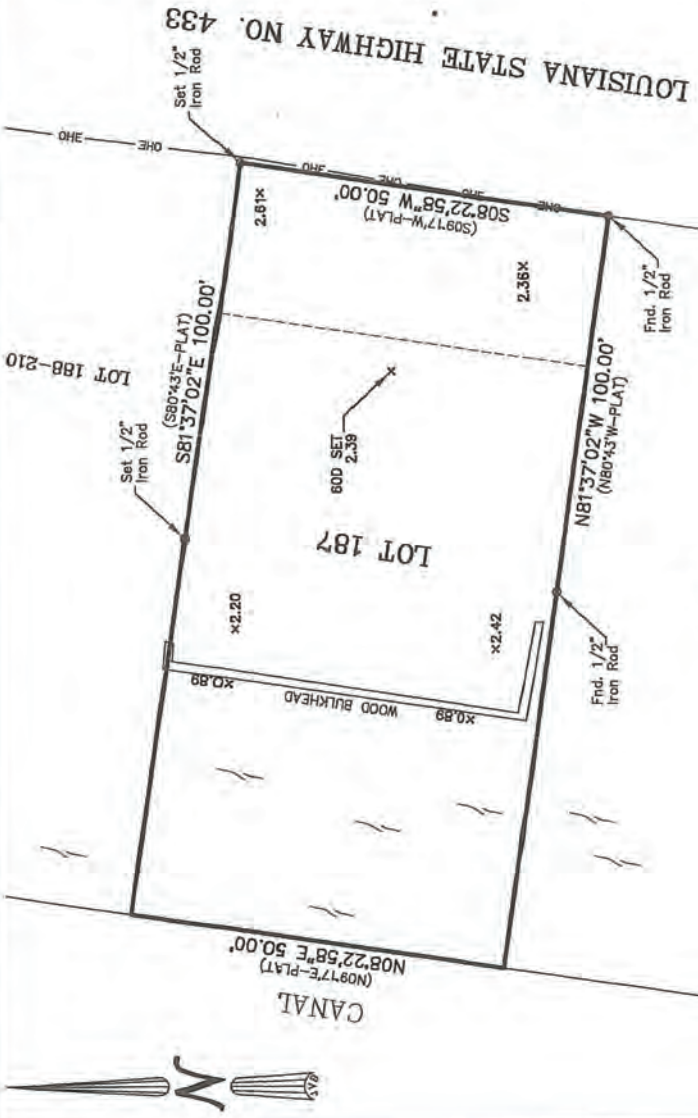
Scale = 1" = 10'

50'

Highway 433

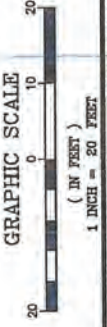






REFERENCE 1: PIRATE'S HARBOR PLAT BLOCKS 4, 5, 6, & 7 SHEET 3 OF 3  
 REFERENCE 2: A SURVEY MAP BY THIS FIRM, DATED 7/10/17, SURVEY # 20170418  
 NOTE: BEARINGS AND COORDINATES REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702 GEOD 18) BASED ON NAD83 WITH GPS RTN ACCESSED ON 10/02/2025.

LAFITTE STREET  
 (NOT CONSTRUCTED)



BUILDING SETBACKS  
 (\* Verify Prior to Construction)  
 Front Setback.....20'  
 Side Setback.....00'  
 Rear Setback.....00'

LEGEND  
 ○ 1/2" Iron Rod Set  
 ● 1/2" Iron Rod Found  
 ⊕ Cross  
 --- Fence  
 -w- Power Line  
 ⊕ Power Pole  
 ADDRESS: 54503 LA HWY. 433  
 I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.  
 ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES AS SHOWN ON TITLES OR RECORDS WILL BE NOTED OTHERWISE.  
 VERIFY PRIOR TO CONSTRUCTION WITH LOCAL GOVERNING BODY.

DRAWING NO. 20250389  
 DATE: 10/02/2025  
 J.V. Burkes & Associates, Inc.  
 SURVEYING ENVIRONMENTAL  
 1805 Shortcut Highway  
 Slidell, Louisiana, 70458  
 E-mail: jvbassoc@jvburkes.com  
 Phone: 985-849-0075 Fax: 985-849-0154  
 DRAWN BY: JN  
 CHECKED BY: MAC  
 SCALE: 1" = 20'

A SURVEY MAP OF  
 LOT 187, BLOCK 7, PIRATES HARBOR  
 IN SECTION 36, T-9-S, R-14-E.



DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

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**Variance Acceptance Letter from Abutting Neighbor**

**Date:** 11/12/2025

**To:** St Tammany Parish Department of Planning & Development Planning Department  
**Address:** P.O. BOX 628, Covington, LA 70434

**Subject:** Neighbor Consent for Variance Request – 54499 Highway 433

Dear Board of Adjustments,

I, Louie Sotherman  
[Neighbor's Full Name], residing at 54511 Highway 433, am the owner of the property directly adjacent to 54499 Highway 433.

I have been informed by Darleen McCormick


of their request for a variance to **reduce the front setback from 25 feet to 20 feet to allow for more room behind the house away from the waters' edge.**

After reviewing the proposed change and understanding its impact, I hereby state that I have **no objection** to the requested variance and support its approval.

This consent is given voluntarily and with full understanding of the proposed modification.

Sincerely,

Signature

  
Louie Sotherman  
Printed Name

54511 Highway 433, Slidell LA 70461  
Address

504 957 3180  
[Phone Number]

LouieSotherman@gmail.com  
[Email Address]

---

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**Variance Acceptance Letter from Abutting Neighbor**

**Date:** 11/12/2025

**To:** St Tammany Parish Department of Planning & Development Planning Department  
**Address:** P.O. BOX 628, Covington, LA 70434

**Subject:** Neighbor Consent for Variance Request - 54499 Highway 433

Dear Board of Adjustments,

I, John Scott Taylor

[Neighbor's Full Name], residing at **54519 Highway 433**, am the owner of the property directly adjacent to **54499 Highway 433**.

I have been informed by **Darleen McCormick**

of their request for a variance to **reduce the front setback from 25 feet to 20 feet to allow for more room behind the house away from the waters' edge.**

After reviewing the proposed change and understanding its impact, I hereby state that I have **no objection** to the requested variance and support its approval.

This consent is given voluntarily and with full understanding of the proposed modification.

Sincerely,

  
Signature

John Scott Taylor  
Printed Name

54519 Highway 433, Slidell LA 70461  
Address

504-450-8005  
[Phone Number]

rocket dancer 397 at hotmail . com  
[Email Address]

---

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**Variance Acceptance Letter from Abutting Neighbor**

**Date:** 11/12/2025

**To:** St Tammany Parish Department of Planning & Development Planning Department  
**Address:** P.O. BOX 628, Covington, LA 70434

**Subject:** Neighbor Consent for Variance Request – 54499 Highway 433

Dear Board of Adjustments,

I, Kevin Rodehorst  
[Neighbor's Full Name], residing at **54491 Highway 433**, am the owner of the property directly adjacent to **54499 Highway 433**.

I have been informed by **Darleen McCormick**

of their request for a variance to **reduce the front setback from 25 feet to 20 feet to allow for more room behind the house away from the waters' edge.**

After reviewing the proposed change and understanding its impact, I hereby state that I have **no objection** to the requested variance and support its approval.

This consent is given voluntarily and with full understanding of the proposed modification.

Sincerely,



Signature

Kevin Rodehorst

Printed Name

54491 Highway 433, Slidell LA 70461  
Address

(504) 284-8916

[Phone Number]

brenda.rodehorst6@gmail.com  
[Email Address]

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**BOA STAFF REPORT**  
2025-4461-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

**Location:** 68500 US Highway 190 Service Road, Covington, Louisiana; Ward 3; District 5

**Applicant:** Northshore Land Co. I, LP – Anthony Gullo

**Representative:** Gulf States Construction Services, Inc. – Jason Reibert

**Hearing Date:** December 2, 2025

**Posted:** November 17, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant for a variance to remove 3 live oak trees.

**Zoning of Property:**

HC-3 Highway Commercial  
District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code Section 600-3.3 C. Removal of Protected Trees, Cypress, and Live Oak. No more than 50 percent of all existing live oak trees and cypress trees on a site shall be removed for nonresidential developments as identified in Exhibit 600-3-7 (see attached). Consideration shall be given to the healthier live oaks on the site as well as the live oaks which contribute to the street canopy of St. Tammany Parish.

As shown in the attached plans, the property, currently developed as an automotive retail site, is proposed to be developed with an additional building and a parking area designated for vehicle storage. The tree survey identifies three live oak trees located within the footprint of the proposed vehicle storage area. The attached narrative explains that these trees cannot be preserved due to their proximity to the new building, their incompatibility with vehicle inventory areas, and the substantial fill required to meet grade and drainage requirements.



**BOA STAFF REPORT**  
2025-4461-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

<b>Live Oaks Grades and Mitigation Required</b>			
<b>Caliper</b>	<b>Grade</b>	<b>Mitigation</b>	<b>Mitigation Inches Required</b>
34	B	75%	25.5"
36	B	75%	27"
48	B	75%	36"
			Total Mitigation Inches: 88.5"
			Proposed mitigation: plant 18 live oak trees: 2.5" caliper Payment to tree bank: 44.5"

The above chart indicates that the three live oaks proposed for removal are graded as “B/Fair,” defined as follow: trees with a live crown ratio between 50% and 77% and minor structural defects that could be corrected through arborist intervention. Under parish requirements, Grade B live oaks must be replaced at 75% of their total caliper inches, equating to 88.5 inches. The applicant’s landscape plan proposes planting 18 live oak trees onsite, each with a 2’5” inch caliper, and contributing the remaining 44.5 inches to the tree bank at a rate of \$150 per caliper inch. The 18 live oak trees are proposed to be located around the pond. Due to the change in grade between the existing and proposed sites, staff does not object to the proposed solution.

Should the Board be in favor of the variance as requested, it should be subject to:

- Planting the required number of Live Oak trees to meet the required number of inches to be mitigated as per the attached landscape plan and pay the required amount to the tree bank. Additionally, the live oaks must be installed in suitable planting soil per American Nursery Standards (ANSI) and irrigated per Sec 600 3.4 Landscape Requirements.

Should the Board not be in favor of the variance as requested, it should be subject to:

- Require the preservation of the 3 live oak trees and submit a revised landscape plan.

2025-4461-BOA

HELENBIRD RD

HC-2

NC-1

Wayne Cliff Farm and Home Sites

SALLES

HC-3

Six G's

HC-2

HC-3

Birg Boulevard, The

12

HWY 190 SERVICE RD



**Exhibit 600-3-7 Protected Trees and Tree Survey Requirements.**

Requirement Criteria: Land Use, Lot Size and Number of Lots	Natural Area or Landscaped Area Required	Tree Survey Required	Protected Trees*	
			All non- invasive trees ≥ 8"	≥ 8" Live Oak & Cypress
<b>Residential</b>				
Single Family and Duplex > 5 acres (Outside of Platted Subdivision)	NAT	No	N/A	
Subdivision (Single Family and Duplex) 6-24 Lots ≥ 5 acres	NAT	No	N/A	
Subdivision (Single Family and Duplex) ≥ 25 lots	NAT	No	N/A	
Multifamily (up to 3 units)	LA	Yes	N/A	50% preserved
Multifamily (3+ units)	LA	Yes	Limited to Landscape Area	50% preserved
<b>Nonresidential</b>				
Commercial, Medical, Institutional, & Industrial	LA	Yes	Limited to Landscaped Area	50% preserved
Forestry/Agriculture > 5 acres	NAT	No	N/A All noninvasive trees and vegetation in SMB are protected per Sec. 600-3.2.D.3	
"N/A" = Not applicable				
"LA" = Landscape Area as required per Sec. 600-3.4.D				
Natural Area per Sec. 600-3.2.D				



October 27, 2025

Ms. Helen Lambert  
Senior Planner  
St. Tammany Parish - Department of Development  
P. O. Box 628  
Covington, LA 70434

Re: Variance Request  
Northshore Toyota- Service Expansion  
68500 Highway 190 Service Rd., Covington, LA

Dear Helen,

On behalf of Northshore Land Co | LP, enclosed you will find the completed Board of Adjustment (BOA) Variance Request application for the referenced project, per our recent discussions with Parish staff, to be placed on December 2, 2025, agenda.

I have enclosed an updated site plan for the Northshore Toyota Service Expansion project showing the location of the three existing (3) live oaks in relation to site improvements that we are requesting to be removed and mitigated.

All three live oaks trees present significant difficulties in incorporating them into final site planning without substantial impact to the intended project. The location of two of the oak trees (48" and 36") fall within very close proximity to the proposed building expansion and large oak trees are not preferred around the proposed vehicle inventory locations. Additionally, all the live oaks are in areas where large amounts of fill and/or excavation are needed for grade and drainage requirements on the project. The 34" live oak at the southwest corner of the property has an approximate 3' grade difference between natural grade and the existing parking lot so there are concerns about exposing these roots during construction activities. In consultation with the project landscape architect (Reich Landscape Architecture), they do not see the health of these trees improving or being maintained at any point in the future given the site constraints.

As mentioned, our intent is to mitigate these live oaks trees per the attached Landscape Ordinance Design (LOD) plan. The site plan provides for a large greenspace adjacent to the detention pond where these mitigated trees can be planted and thrive. Due to site constraints, we are proposing to mitigate the balance of the required caliper inches to the St. Tammany Parish Tree Bank that cannot be planted in this area.

We appreciate you and your staff's time to date regarding this request and please advise if you have any additional questions or need anything further to fully process this application.

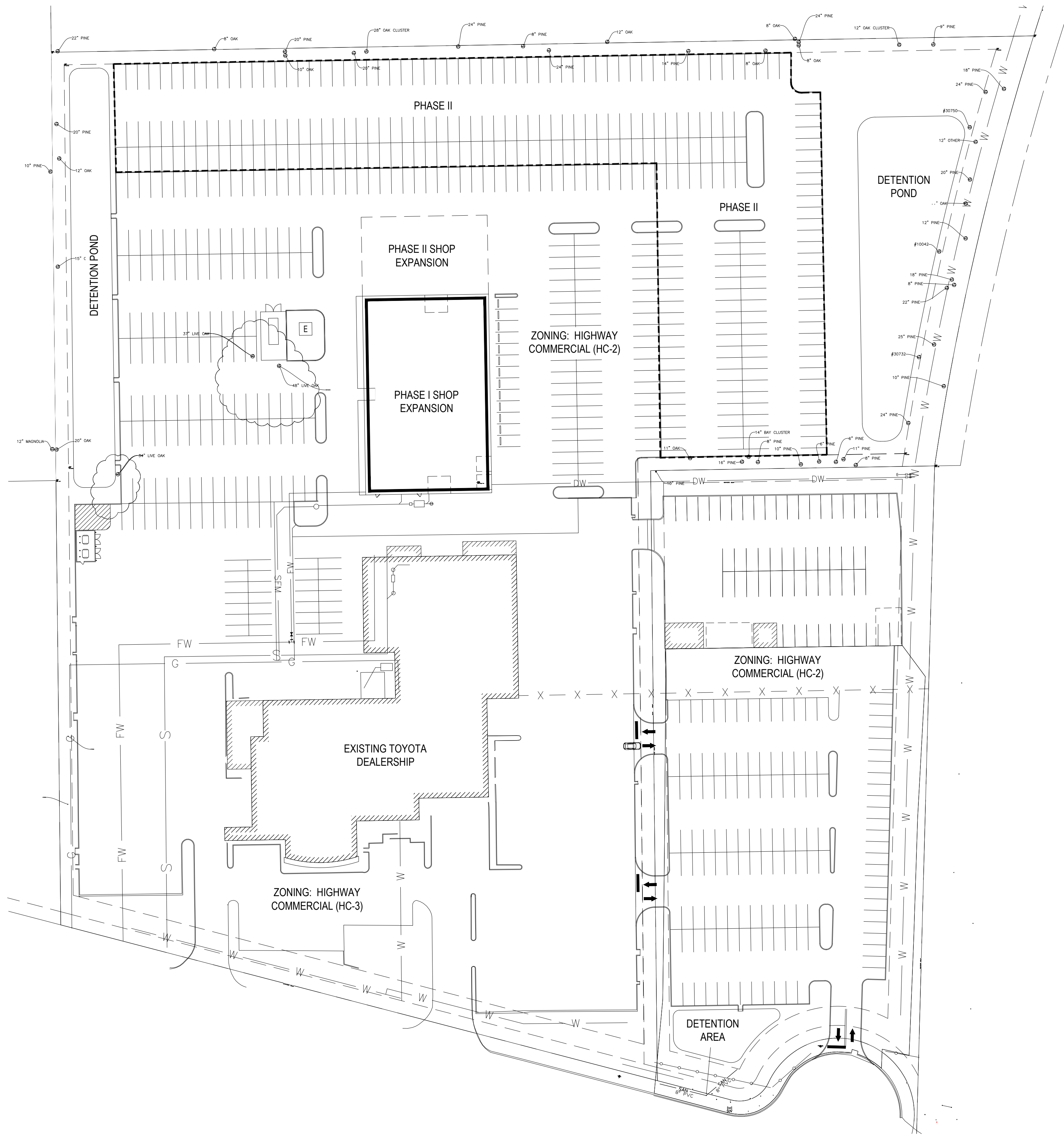
Sincerely,

Jason Reibert  
Vice President

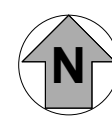


Attachments

CC: Mr. Kurt Hanks, Northshore Toyota (w/ attachments)  
Mr. Tony Gullo, Northshore Land Co I, LP (w/ attachments)  
Mr. Bill Reich, Reich Landscape Design (w/ attachments)  
Mr. Ricky Galloway, High Tide Consultants (w/ attachments)



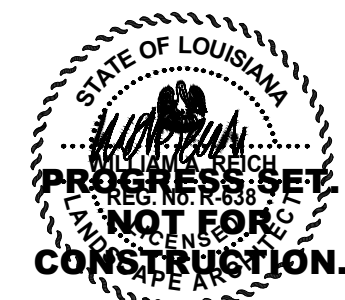
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 SCALE: 1" = 50'-0"

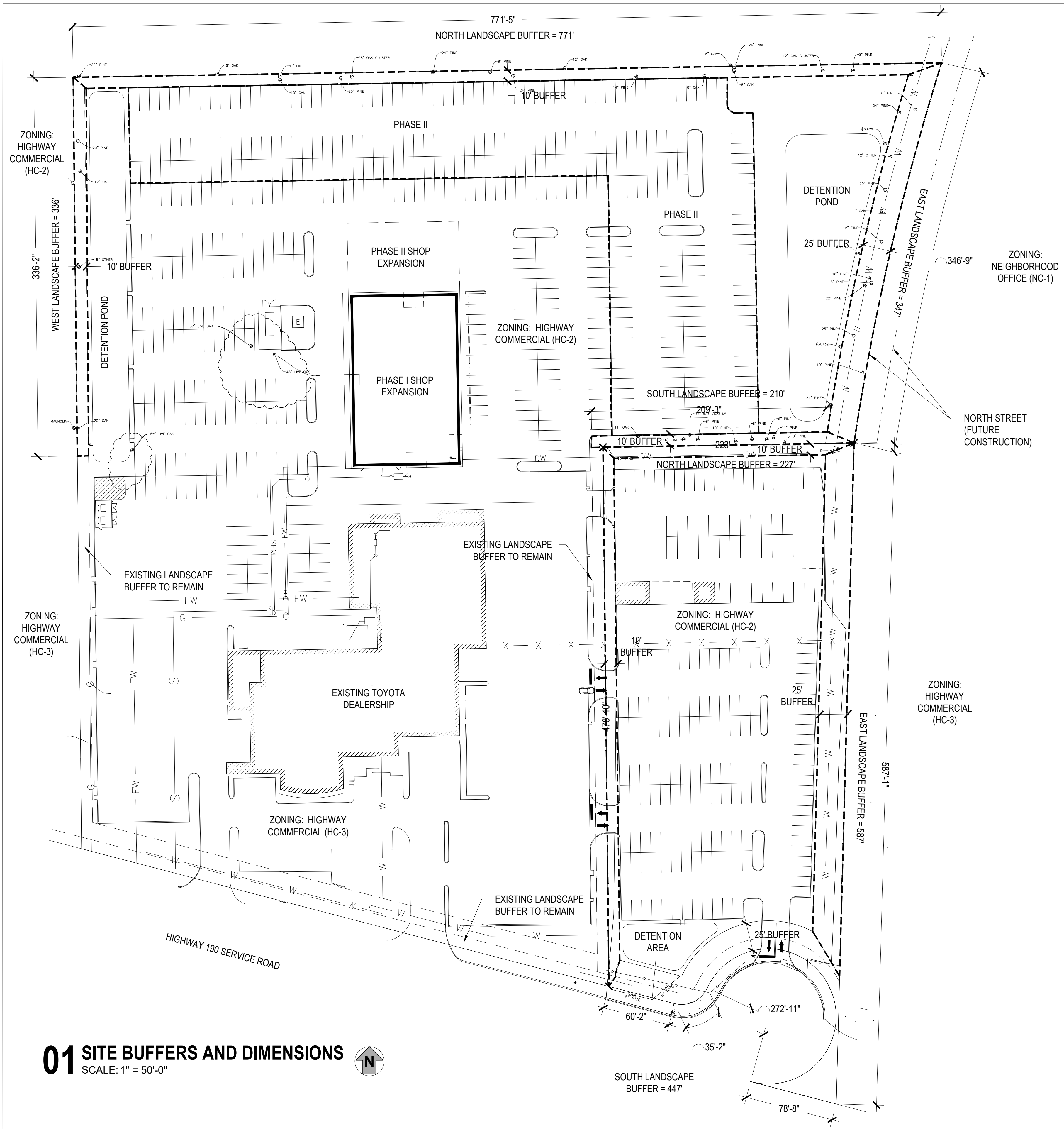


D:\Nov 2025 159 PM  
 p25c\_1014\_northshore toyota expansion 190s.dwg

**NORTHSHORE TOYOTA  
 SHOP EXPANSION  
 68500 U.S. 190 SERVICE RD  
 COVINGTON, LA 70433**

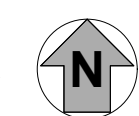
REVISION	DATE





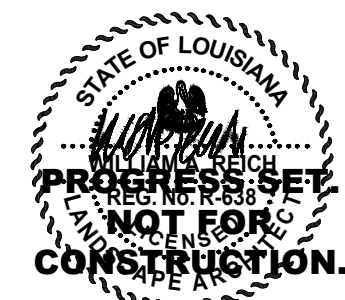
**02 BUFFER KEY**  
SCALE:  
[Dashed Box] EXISTING BUFFERS

**01 SITE BUFFERS AND DIMENSIONS**  
SCALE: 1" = 50'-0"

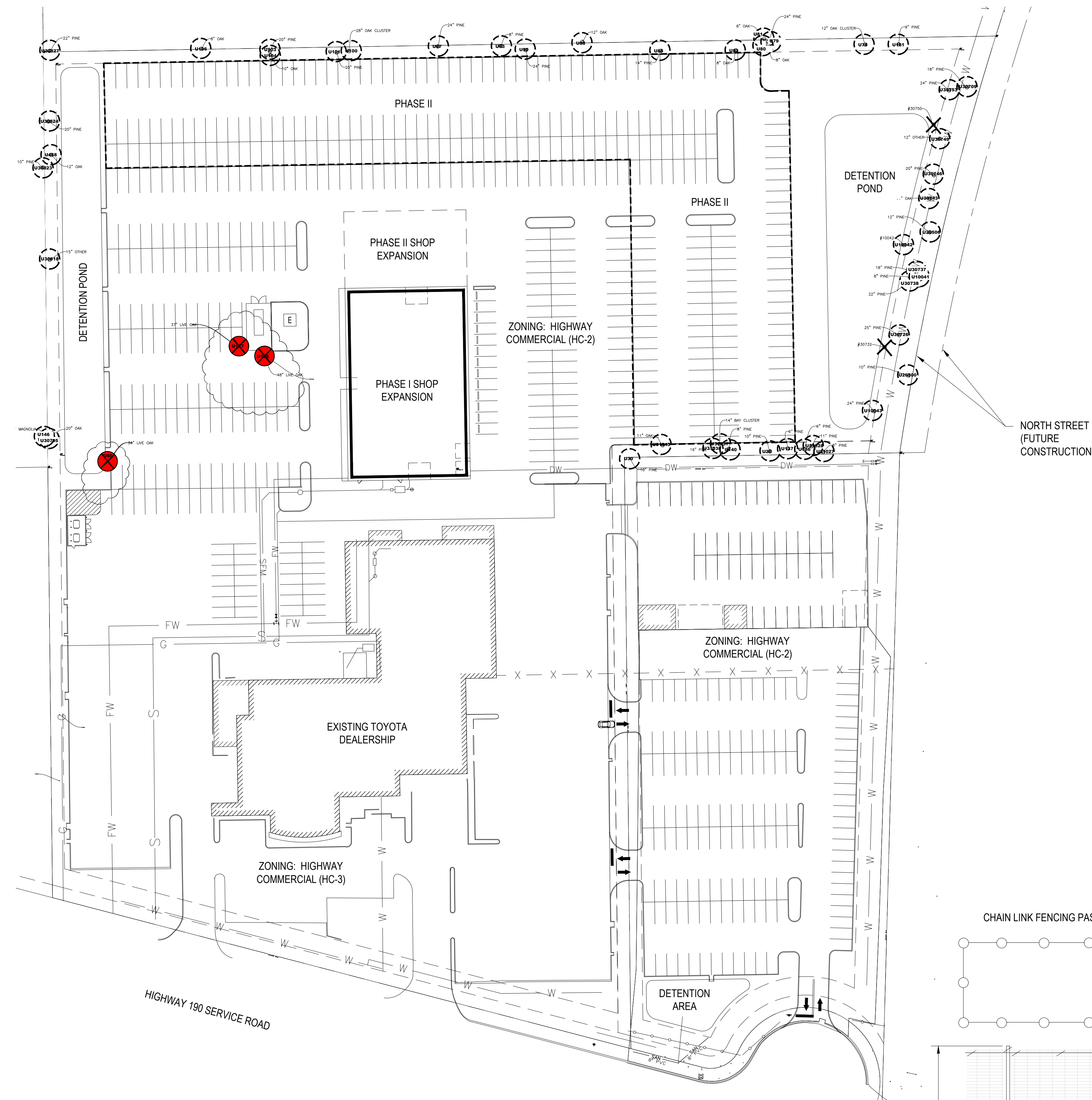


**NORTHSHORE TOYOTA  
SHOP EXPANSION**  
68500 U.S. 190 SERVICE RD  
COVINGTON, LA 70433

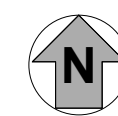
REVISION	DATE



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**01 TREE PRESERVATION PLAN**  
SCALE: 1" = 50'-0"



**02 SITE TREE KEY**  
SCALE:

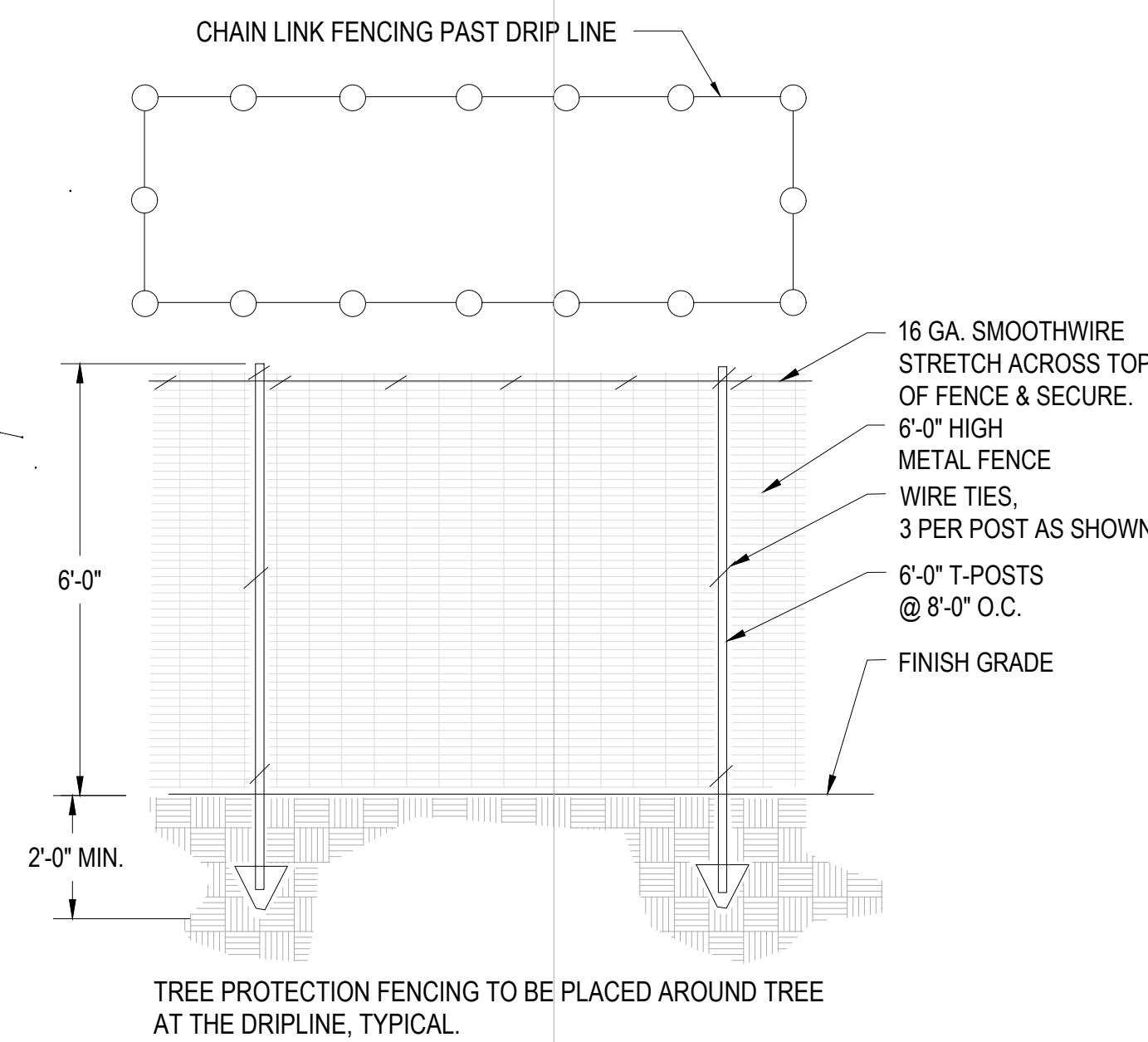
	PRESERVED TREE
	BUFFER TREE TO BE REMOVED
	LIVE OAK TO BE REMOVED
	SITE TREE TO BE REMOVED

**03 LIVE OAK TREE REMOVAL LIST**  
SCALE:

	TREE GRADE	MITIGATION %	MITIGATION IN.
(*U1094) 34" LIVE OAK	B	75	25.5"
(*U1182) 36" LIVE OAK	B	75	27"
(*U1181) 48" LIVE OAK	B	75	36"
<b>TOTAL LIVE OAK MITIGATION INCHES: 88.5"</b>			

**04 TREE PRESERVATION LIST**  
SCALE:

LOT ID	NORTH BUFFER:	EAST BUFFER:	SOUTH BUFFER:	WEST BUFFER:
B	(U75) 12" OAK CLUSTER - 2 CREDITS (U79) 24" PINE - 4 CREDITS (U80) 8" OAK - 2 CREDITS (U81) 8" OAK - 2 CREDITS (U83) 8" OAK - 2 CREDITS (U85) 14" PINE - 3 CREDITS (U88) 12" OAK - 2 CREDITS (U90) 24" PINE - 4 CREDIT S (U93) 8" PINE - 2 CREDITS (U97) 24" OAK - 4 CREDITS (U100) 28" OAK CLUSTER - 5 CREDITS (U101) 20" PINE - 4 CREDITS (U103) 20" PINE - 4 CREDITS (U104) 10" OAK - 2 CREDITS (U106) 8" OAK - 2 CREDITS (U161) 9" PINE - 2 CREDITS (U30827) 22" PINE - 4 CREDIT  <b>TOTAL: 50 CREDITS</b>	(U10042) 10" PINE - 2 CREDITS (U10043) 24" PINE - 4 CREDITS (U10044) 8" PINE - 2 CREDIT (U20500) 10" PINE - 2 CREDITS (U30709) 18" PINE - 3 CREDITS (U30726) 25" PINE - 5 CREDITS (U30737) 18" PINE - 3 CREDITS (U30738) 22" PINE - 4 CREDIT (U30743) 11" OAK - 2 CREDITS (U30746) 20" PINE - 4 CREDITS (U30749) 12" OTHER - 2 CREDITS (U30753) 24" PINE - 4 CREDITS  <b>TOTAL: 39 CREDITS</b>	(U26) 10" PINE - 2 CREDIT (U136) 6" PINE - 1 CREDIT (U137) 6" PINE - 1 CREDIT (U140) 8" PINE - 2 CREDIT (U31027) 8" PINE - 2 CREDIT (U31028) 11" PINE - 2 CREDIT (U31037) 14" BAY CLUSTER - 3 CREDITS (U31038) 16" PINE - 3 CREDITS (U31043) 12" BAY - 2 CREDITS  <b>TOTAL: 18 CREDITS</b>	(U146) 12" MAGNOLIA - 2 CREDITS (U458) 12" OAK - 2 CREDITS (U30795) 20" OAK - 4 CREDITS (U30818) 15" OTHER - 3 CREDIT (U30823) 10" PINE - 2 CREDIT (U30824) 20" PINE - 4 CREDIT  <b>TOTAL: 15 CREDITS</b>
3B1	(U30) 10" PINE - 2 CREDITS  <b>TOTAL: 2 CREDITS</b>			

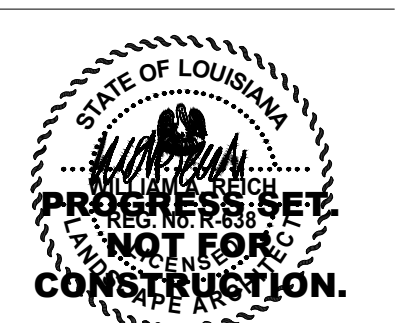


**05 TREE PROTECTION FENCING**  
SCALE: N.T.S.

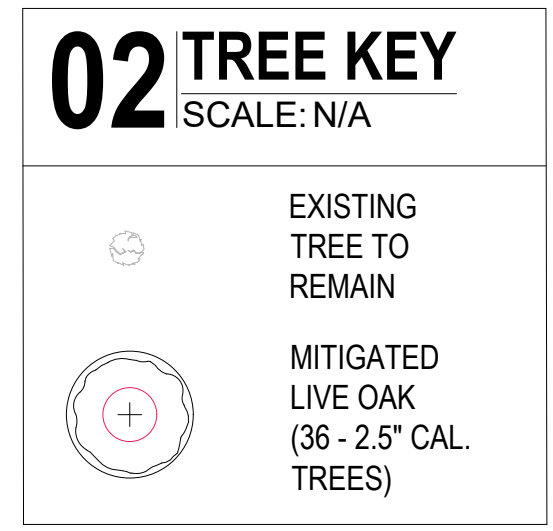
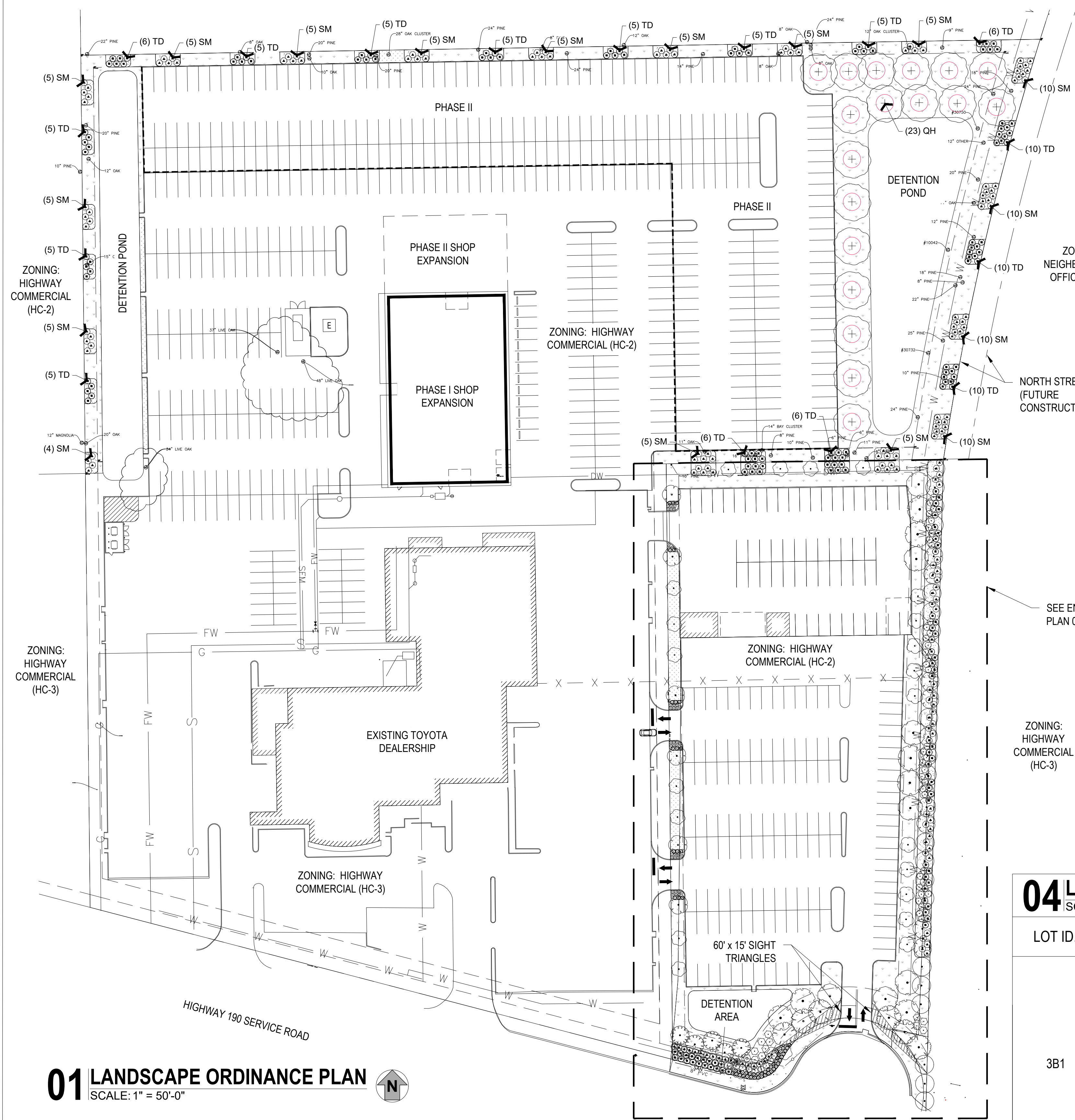
**TREE PROTECTION NOTES**

- CONTRACTOR SHALL NOT ALLOW ANY VEHICULAR TRAFFIC, PARKING OF VEHICLES, OR STOCKPILING OF EXCAVATED MATERIAL OR CONSTRUCTION MATERIALS INSIDE OF TREE PROTECTION FENCING OR THE DRIPLINE OF TREES INDICATED TO BE PRESERVED.
- CONSTRUCTION EQUIPMENT MAY NOT OPERATE WITHIN THE DRIPLINE OF A TREE. IF NECESSARY, WRITTEN PERMISSION AND WRITTEN APPROVAL MUST BE ACQUIRED PRIOR TO WORK BEING PERFORMED. WHEN NECESSARY FOR THE PERFORMANCE OF INDICATED WORK, SUCH OPERATIONS SHALL BE CONDUCTED WITH SPECIAL CARE TO AVOID DAMAGING THE TREE AND UNDER DIRECTION OF THE OWNERS REPRESENTATIVE.
- PROTECT TREE ROOT SYSTEMS FROM DAMAGE DONE BY STRIPPING AND REGRADING. ALL EXCAVATION AND GRADING WORK SHALL BE DONE BY HAND TOOLS WHILE WORKING WITHIN TREE DRIPLINES.
- PROTECT TREE ROOT SYSTEMS FROM DAMAGE DUE TO NOXIOUS MATERIALS, SPILLAGE, OR DRAINAGE FROM STORED MATERIALS.
- MAINTAIN TREE PROTECTION FENCING IN GOOD CONDITION AT ALL TIMES. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING ANY WORK AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION WORK IS COMPLETE.
- ALL TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING OR SITE WORK. FAILURE TO INSTALL AT APPROPRIATE TIME WILL RESULT IN A DELAY. TREE PROTECTION FENCING SHALL FOLLOW THE SHAPE OF TREE'S DRIPLINE AND AS DIRECTED BY LANDSCAPE ARCHITECT.
- TREE PROTECTION FENCING MUST CARRY DURABLE SIGNS DESIGNATING THE AREA AS A TREE PROTECTION ZONE.
- ALL TRIMMING MUST BE DONE BY LICENSED ARBORIST. THIS MUST BE APPROVED AND COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO ANY WORK ON TREES. CONTRACTOR RESPONSIBLE FOR MINIMAL PRUNING AND TRIMMING (IF NEEDED) OF THE EXISTING TREES ON SITE, UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT, ONCE CONSTRUCTION IS COMPLETE.
- THE PROGRAM MANAGER, IN CONJUNCTION WITH ARCHITECT AND LANDSCAPE ARCHITECT, TO PROVIDE WRITTEN PERMISSION FOR ANY INCURSIONS INTO TREE PROTECTION AREAS.
- CONTRACTOR MUST WATER TREES INDICATED TO BE PRESERVED AS REQUIRED TO MAINTAIN THEIR HEALTHY GROWTH DURING THE COURSE OF CONSTRUCTION OPERATIONS. ALL MAINTENANCE AND SURVIVAL IS RESPONSIBILITY OF CONTRACTOR. REPLACEMENT FOR DAMAGES WILL BE AT NO COST TO THE OWNER.

REVISION DATE



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### 03 PLANTING SCHEDULE (SCALE: N/A)

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
<b>TREES</b>						
•	AR	Acer rubrum drummondii Drummond Red Maple	Cont/B&B	2.5"	10'-12' H X 5'-6" W	7
•	CC	Cercis canadensis Eastern Redbud	Cont/B&B	1.5"	8'-10' H x 4'-6" W	6
•	CV	Chionanthus virginicus White Fringetree	Cont/B&B	1.5"	8'-10' H x 4'-6" W	14
•	IC	Ilex cassine Dahoon Holly	Cont/B&B	1.5"	8'-10' H X 2'-4" W	20
•	IE	Ilex x attenuata 'Eagleston' Eagleston Holly	Cont/B&B	1.5"	8'-10' H X 2'-4" W	22
•	LS	Liquidambar styraciflua 'Slender Silhouette' Slender Silhouette Sweet Gum	Cont/B&B	2.5"	8'-10' H X 2'-4" W	25
•	MV	Magnolia virginiana Sweet Bay	Cont/B&B	2.5"	10'-12' H X 5'-6" W	10
•	NS	Nyssa sylvatica Tupelo	Cont/B&B	2.5"	10'-12' H x 4'-6" W	7
+	QH	Quercus virginiana 'QVITA' Highrise Live Oak	Cont/B&B	4"	10'-12' H x 6'-8" W	18
•	TA	Taxodium ascendens Pond Cypress	Cont/B&B	2.5"	10'-12' H X 5'-6" W	5
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
<b>SHRUBS</b>						
•	CH	Cuphea hyssopifolia Mexican Heather	3 gal.	12'-15" H x 12'-15" W	21	
•	IG	Ilex glabra Inkberry Holly	3 gal.	24" H x 18" W	9	
•	LI	Lomandra longifolia 'Breeze' TM Breeze Mat Rush	3 gal.	12'-15" H x 12'-15" W	56	
•	RG	Rhododendron x 'George Taber' George Taber Azalea	3 gal.	15'-18" H x 15'-18" W	37	
•	RM	Rosa x 'Meisweldom' TM Sweet Drift Rose	3 gal.	12'-15" H x 12'-15" W	16	
▲	SM	Sabal minor Dwarf Palmetto	3 gal.	15'-18" H x 15'-18" W	172	
■	TD	Tripsacum dactyloides Fakahatchee Grass	3 gal.	18"-21" H x 18"-21" W	170	
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
<b>GROUND COVERS</b>						
•	BED	Bed Prep			14,289 sf	
•	SOD	Bermuda Sod			67,016 sf	

### 04 LANDSCAPE ORDINANCE REQUIREMENTS (SCALE: N.T.S.)

LOT ID.	REQUIRED BUFFERS	BUFFER LENGTH	CLASS A TREES -REQUIRED-	CLASS A TREES -PROVIDED-	CLASS B TREES -REQUIRED-	CLASS B TREES -PROVIDED-	SHRUBS
3B1	NORTH 10' BUFFER	771'	0	0	3/100 LF=23	23 via credits	10/100 LF = 77 required and provided
	EAST 25' BUFFER	347'	4/100 LF = 14	14 via credits	6/100 LF = 21	21 via credits	20/100 LF = 69 required and 70 provided
	SOUTH 10' BUFFER	210'	0	0	3/100 LF = 6	6 via credits	10/100 LF = 22 required and provided
	WEST 10' BUFFER	336'	0	0	3/100 LF = 10	10 via credits	10/100 LF = 34 required and provided
	MITIGATED LIVE OAKS	N/A	89" (36-2.5" CAL)	*18 (50% OF MITIGATED TREES ACCOUNTED TO THE TREE BANK)	N/A	N/A	N/A
B	NORTH 10' BUFFER	223'	0	0	3/100 LF = 7	7 (3 via credits)	10/100 LF = 22 required and provided
	EAST 25' BUFFER	587'	4/100 LF = 23	27	6/100 LF = 35	31 (see Class A)	20/100 LF = 117 required and provided
	SOUTH 25' BUFFER	447'	4/100 LF = 18	31	6/100 LF = 27	14 (see Class A)	20/100 LF = 89 required and provided
	WEST 10' BUFFER	479'	0	0	3/100 LF = 14	14	10/100 LF = 48 required and 54 provided
TOTAL			91	108 (14 via credits)	144	127 (64 via credits)	532 plus screen

**Certification of Installation According to the Landscape Documentation Package**

I certify that based upon periodic site observation, the work has been substantially completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved landscape and irrigation plan.

Signature*	Date
Name (print)	Telephone No.
Title	Email Address
License No. or Certification No.	
Company	Street Address
City	State
	Zip Code

\*Signer of the approved landscape and irrigation plan

NOTE:  
 PER SECTION 130-1982 THE OWNER OR HIS AGENT SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL LANDSCAPE MATERIALS AND BARRIERS AS REQUIRED BY THE UDC.  
 LIGHTING MUST MEET COMMERCIAL STANDARDS PER SECTION 130-2011 OF UNIFIED DEVELOPMENT CODE.  
 FUTURE MONUMENT SIGNS/WALL SIGNS WILL REQUIRE A SEPARATE PERMIT.

REVISION	DATE



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**BOA STAFF REPORT**  
2025-4462-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 [stpgov.org/planning](http://stpgov.org/planning)

**Location:** 74890 Highway 25, Covington, Louisiana; Ward 3; District 2

**Applicant & Representative:** ARCK Properties, LLC – Richie Mitchell

**Hearing Date:** December 2, 2025

**Posted:** November 14, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant for an after-the-fact variance to increase the width of the driveways from 35’ to 45’ and from 35’ to 59’.

**Zoning of Property:**

I-1 Industrial Zoning District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code, Section 600-3.4(E)(3)(d), the allowable number of one-way and two-way driveways based on the width of the street frontage is as follows:

<b>Street Frontage</b>	<b>Allowable Driveways*</b>
<b>Less than 200’</b>	(2) One-way drives OR (1) Two-way drive
<b>200’ to 599’</b>	As shown above AND (2) additional One-way drives OR (1) additional Two-way drive
<b>600’ &amp; more</b>	As shown above AND for each additional 400’ width beginning at 600’ (2) additional One-way drives OR (1) additional Two-way drive
* A one-way drive is defined as between 12’-15’	
**A two-way drive is defined as between 24’-35’	



**BOA STAFF REPORT**  
2025-4462-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

As per the approved landscape plan, the subject property is 719' wide along the street buffer, thus allowing 2 two-way driveways which must comply with the maximum 35' width. Although the approved plans show two 35'- aggregate driveways, the as-built plans provided show one 59' driveway and one 45' driveway. The objective of the request is to allow for the two driveways to remain as constructed, as shown on the attached "As-Built" plan.

The Unified Development Code establishes maximum driveway widths to reduce potential conflicts with pedestrians and cyclists, discourage excessive vehicle speeds at entry points, and maintain continuity in streetscape and landscaping.

This site has successfully passed its final landscape inspection in accordance with the approved plan. Access to the site is provided via a private road, and because the property is situated at the end of the street, pedestrian activity is unlikely. The applicant has requested wider driveways to accommodate larger vehicles, which is common to industrial sites.

HC-2

DOSHWO4001

ST GERTRUDE RD

L-1  
St Gertrude Heights

L-1

NC-1

NC-1

HC-2

NC-2

HC-2

I-2

L-2

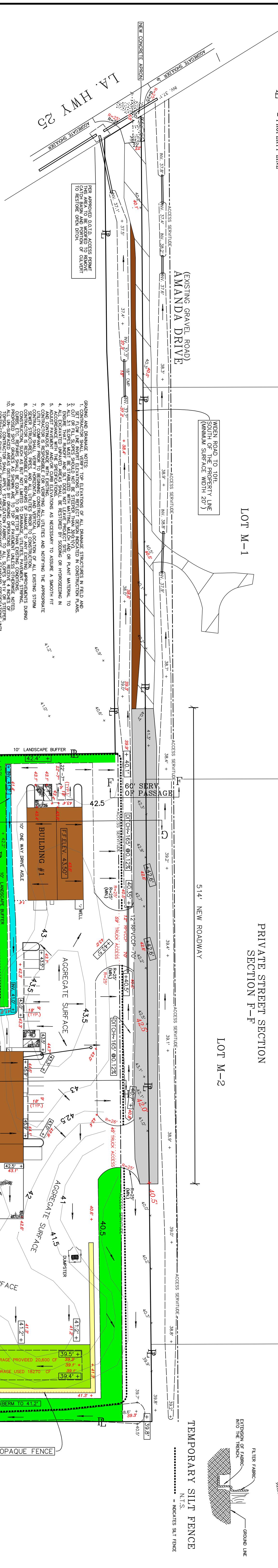
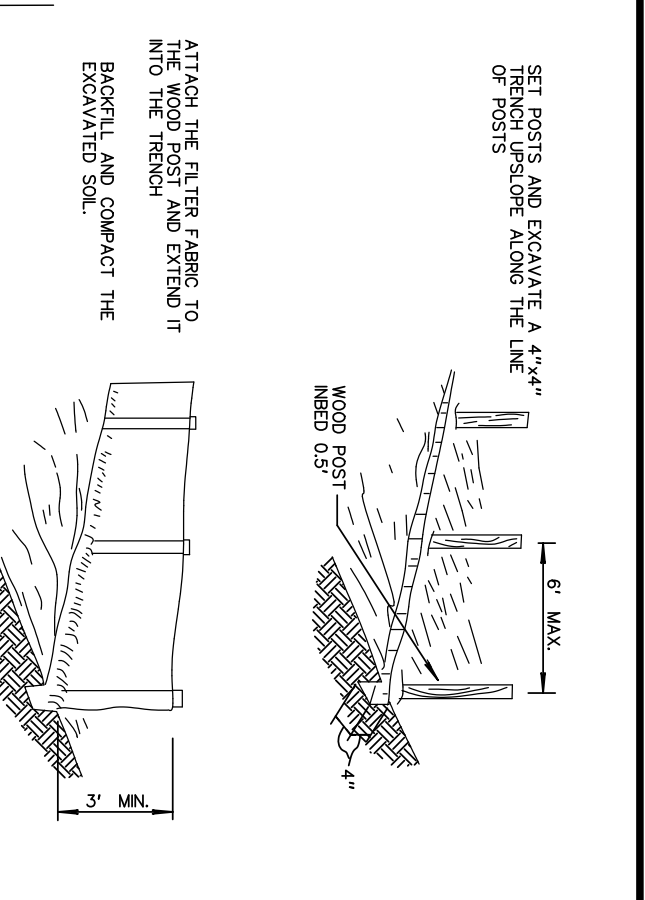
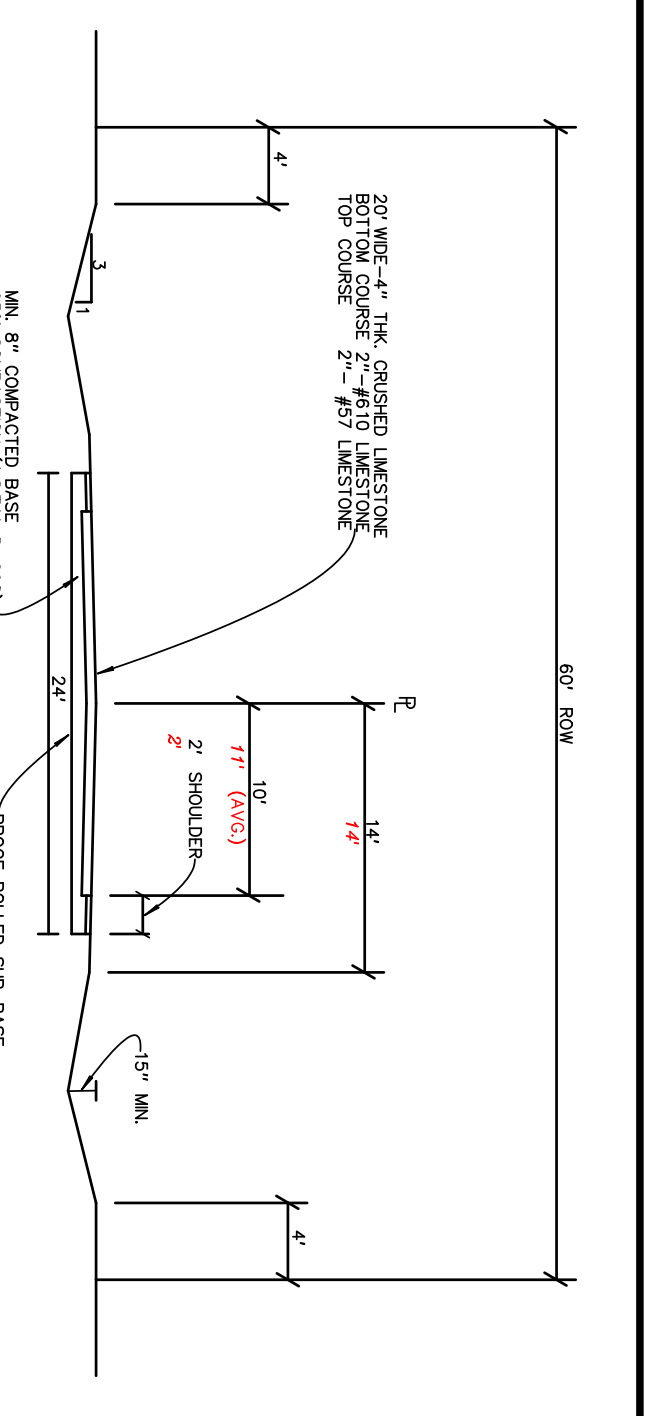
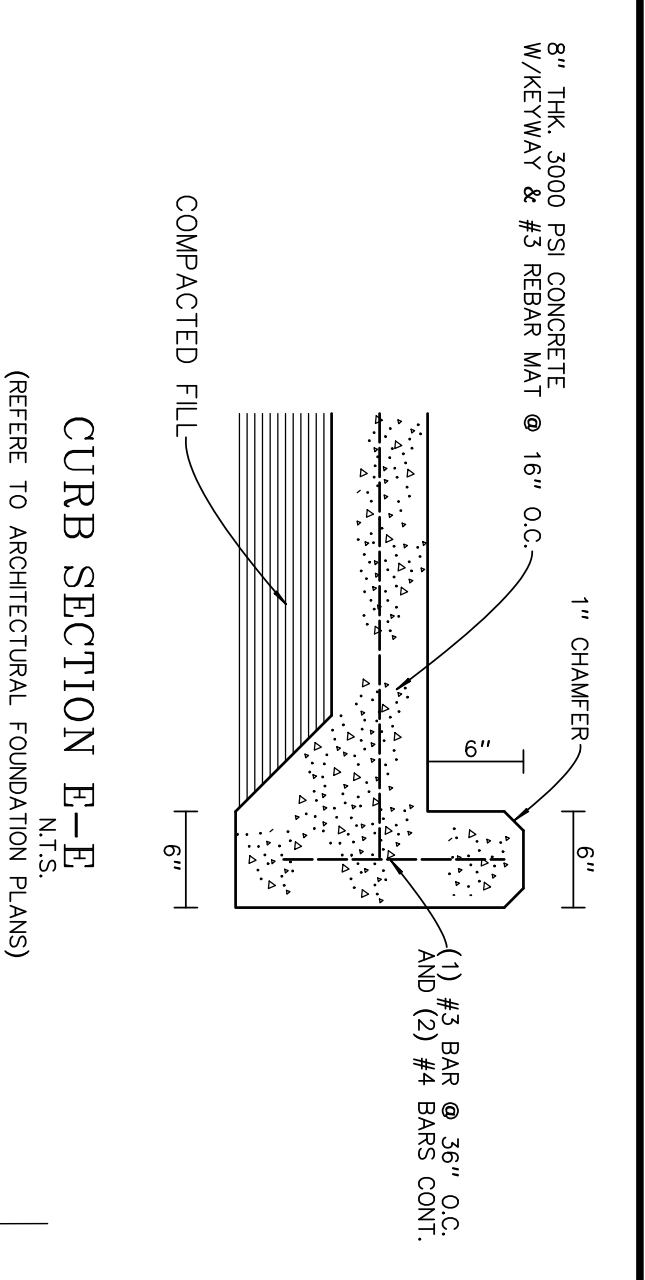
L-1

R-1

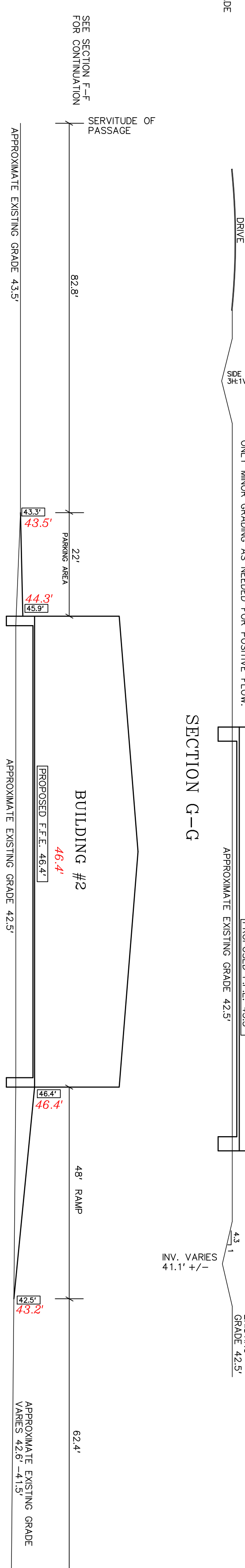
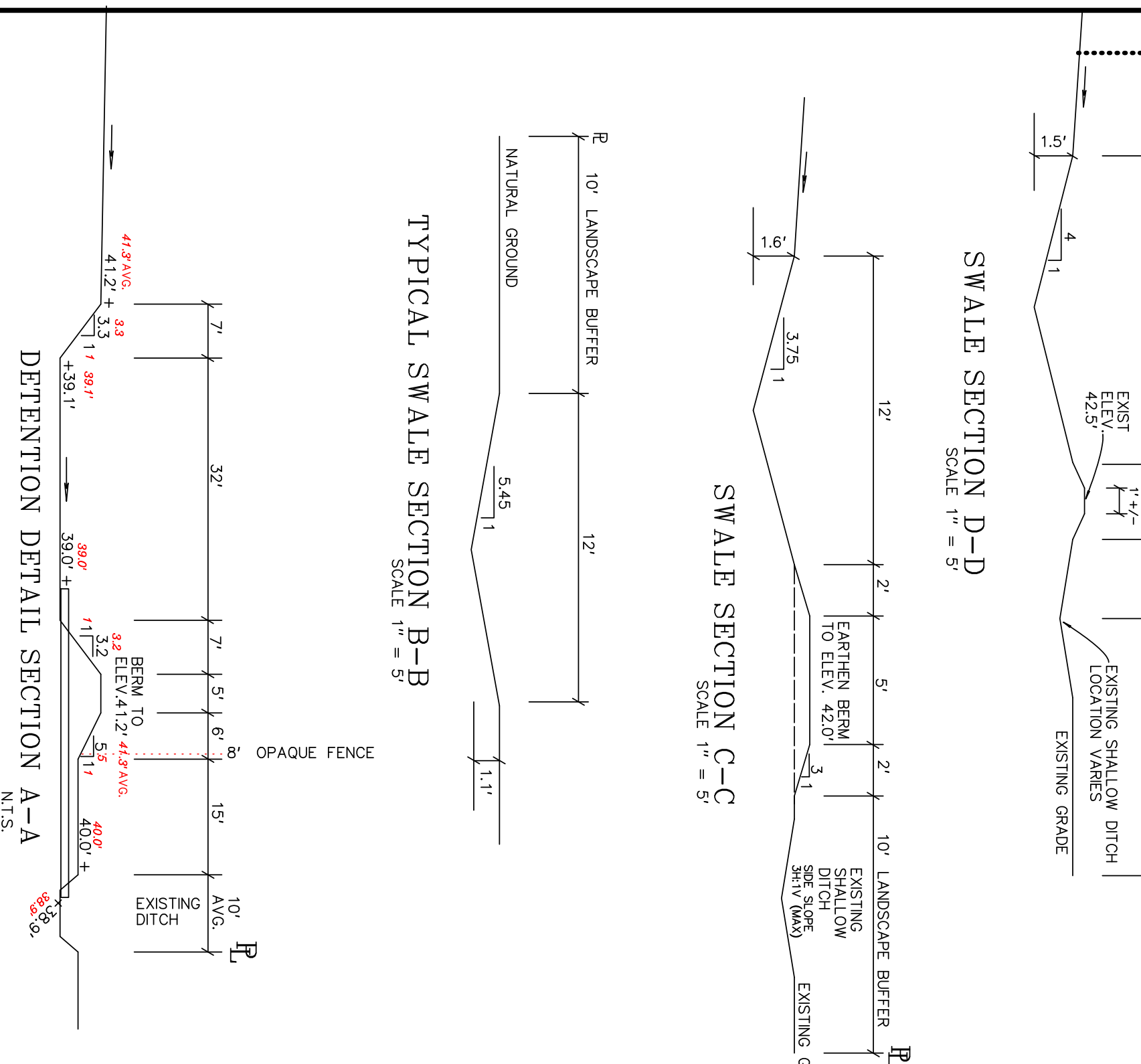
I-2



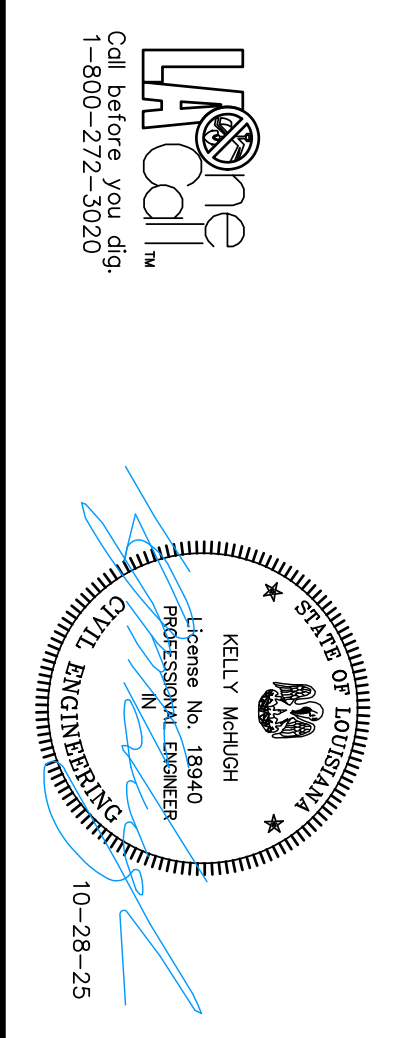
- LEGEND:**
- \*\*\*\* = PROPOSED ELEVATIONS AND DATA
  - = AS BUILT ELEVATIONS AND DATA
  - = DIRECTION OF SURFACE FLOW
  - = EARTHEN BERM TO ELEV. 41.2'
  - = STORMWATER DETENTION STORAGE AREA
  - = FILL THIS AREA TO ELEV. 42.0'
  - = PROPOSED NEW LIMESTONE ROADWAY
  - = PROPOSED AREA OF ENTRANCE MODIFICATION (AS PER DTD, FERM)
  - ..... = INDICATES SILT FENCE
  - = PROPERTY LINE



- GRADING AND DRAINAGE NOTES:**
1. CONTRACTOR SHALL VERIFY TOP ELEVATIONS OF ALL DRAINAGE STRUCTURES IN FIELD AND
  2. OUT OF TOLERANCE SHALL BE RECORDED AND NOTED IN FIELD BOOKS OR AS BUILT MATERIAL TO
  3. BE RECORDED AND NOTED IN FIELD BOOKS OR AS BUILT MATERIAL TO
  4. DESIGN THAT SHOWS AND SET BACKS THE LEAVE PROJECT SITE OF HOBBSEY IN
  5. ACCORDANCE WITH THE SPECIFICATIONS AS NECESSARY TO ASSURE A SMOOTH FIT
  6. AND CONTAINING GRADE WITH EXISTING ALL UTILITIES AND NOTING THE APPROPRIATE
  7. UTILITY COMPANY FROM THE BEGINNING CONSTRUCTION. LOCATION OF ALL EXISTING STORM
  8. SEWER STRUCTURES, TRENCHES, AND ALL UTILITIES SHALL BE NOTED AND RECORDED
  9. CONSTRUCTION SHALL BE LIMITED TO BROWNS, UTILITIES, AND EXISTING STORM
  10. CONSTRUCTION SHALL BE LIMITED TO BROWNS, UTILITIES, AND EXISTING STORM
  11. PROPOSED SLOPE SHALL BE 2% TO 3% TO THE NEAREST TENTH PERCENT.
  12. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
  13. A NEWLY SAVED OR GRADED SURFACE SHALL BE CONSTRUCTED TO SAME
  14. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
  15. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL DRAINAGE STRUCTURES IN FIELD AND
  16. OUT OF TOLERANCE SHALL BE RECORDED AND NOTED IN FIELD BOOKS OR AS BUILT MATERIAL TO
  17. BE RECORDED AND NOTED IN FIELD BOOKS OR AS BUILT MATERIAL TO
  18. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
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  29. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
  30. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
  31. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE
  32. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL ON SITE AT ALL TIMES BY WATERING SITE



**NOTE:**  
 THERE WILL BE NO OUTDOOR STORAGE AT THIS FACILITY



**As-Built Plans RECEIVED DEPARTMENT OF ENGINEERING**

**ENGINEERING REVIEW COPY**

**"AS BUILT" DRAINAGE & GRADING PLAN & EROSION CONTROL PLAN**

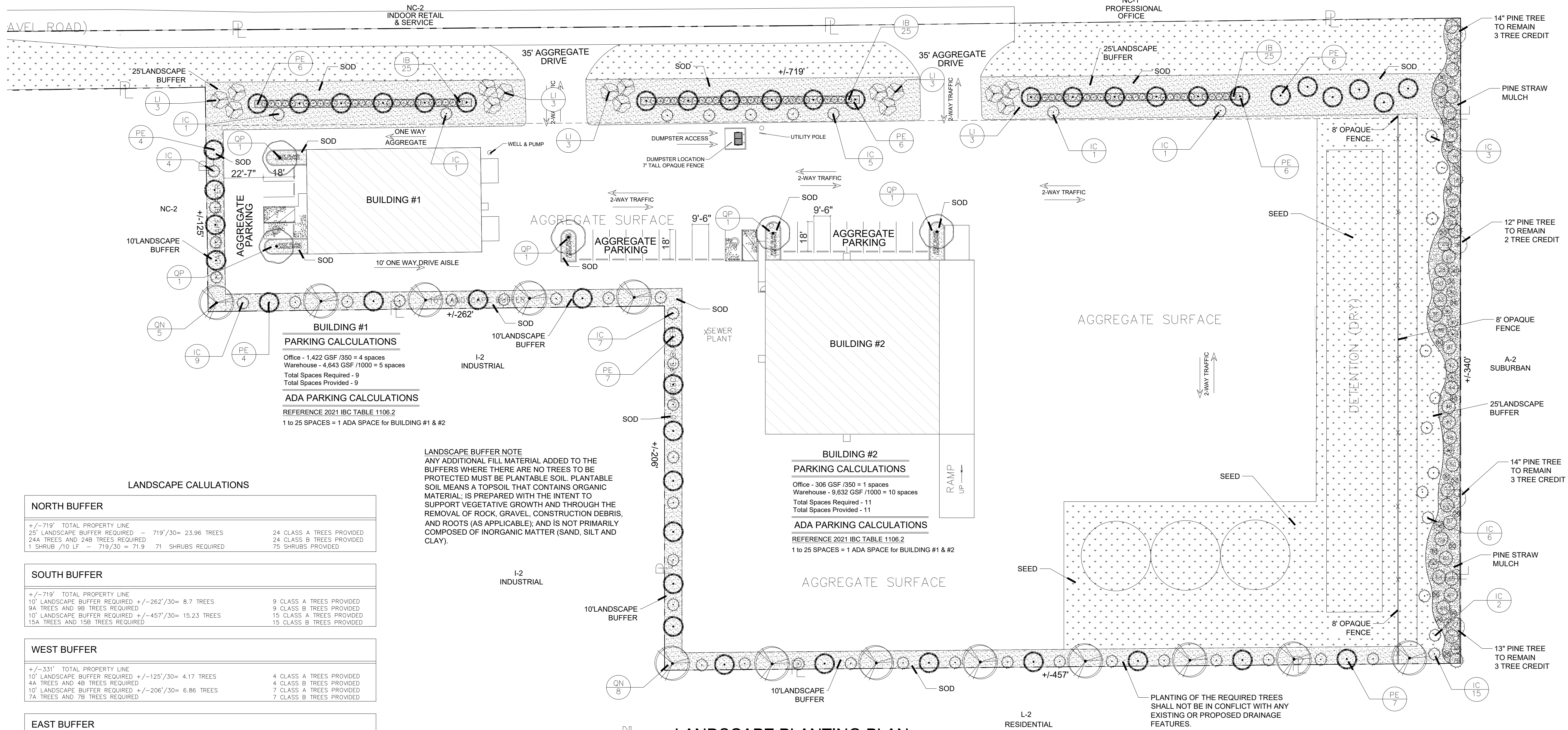
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 5.42 ACRES  
 SECTION 20, T-6-S, R-11-E  
 ST. TAMMANY PARISH, LA

**KELLY MCHUGH & ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 845 CALVEZ ST., TAMMANYVILLE, LA.  
 (504) 835-5611

REVISIONS	DATE	BY	CHKD.
MARK	10-28-25		

SCALE	DWG. NO.	DATE	JOB NO.
1" = 50'	DR1	10-15-25	23-249

DRAWN: DR1  
 CHECKED: DR1  
 DWG. NO.: 23-249



**PARKING CALCULATIONS**

Office - 1,422 GSF /350 = 4 spaces  
 Warehouse - 4,643 GSF /1000 = 5 spaces  
**Total Spaces Required - 9**  
**Total Spaces Provided - 9**

**ADA PARKING CALCULATIONS**

REFERENCE 2021 IBC TABLE 1106.2  
 1 to 25 SPACES = 1 ADA SPACE for BUILDING #1 & #2

**PARKING CALCULATIONS**

Office - 306 GSF /350 = 1 spaces  
 Warehouse - 9,632 GSF /1000 = 10 spaces  
**Total Spaces Required - 11**  
**Total Spaces Provided - 11**

**ADA PARKING CALCULATIONS**

REFERENCE 2021 IBC TABLE 1106.2  
 1 to 25 SPACES = 1 ADA SPACE for BUILDING #1 & #2

**LANDSCAPE BUFFER NOTE**  
 ANY ADDITIONAL FILL MATERIAL ADDED TO THE BUFFERS WHERE THERE ARE NO TREES TO BE PROTECTED MUST BE PLANTABLE SOIL. PLANTABLE SOIL MEANS A TOPSOIL THAT CONTAINS ORGANIC MATERIAL, IS PREPARED WITH THE INTENT TO SUPPORT VEGETATIVE GROWTH AND THROUGH THE REMOVAL OF ROCK, GRAVEL, CONSTRUCTION DEBRIS, AND ROOTS (AS APPLICABLE); AND IS NOT PRIMARILY COMPOSED OF INORGANIC MATTER (SAND, SILT AND CLAY).

**LANDSCAPE CALCULATIONS**

NORTH BUFFER			
+/-719' TOTAL PROPERTY LINE			
25' LANDSCAPE BUFFER REQUIRED	- 719'/30= 23.96 TREES	24 CLASS A TREES PROVIDED	
24A TREES AND 24B TREES REQUIRED		24 CLASS B TREES PROVIDED	
1 SHRUB /10 LF	- 719'/30 = 71.9	71 SHRUBS REQUIRED	75 SHRUBS PROVIDED

SOUTH BUFFER			
+/-719' TOTAL PROPERTY LINE			
10' LANDSCAPE BUFFER REQUIRED +/-262'/30=	8.7 TREES	9 CLASS A TREES PROVIDED	
9A TREES AND 9B TREES REQUIRED		9 CLASS B TREES PROVIDED	
10' LANDSCAPE BUFFER REQUIRED +/-457'/30=	15.23 TREES	15 CLASS A TREES PROVIDED	
15A TREES AND 15B TREES REQUIRED		15 CLASS B TREES PROVIDED	

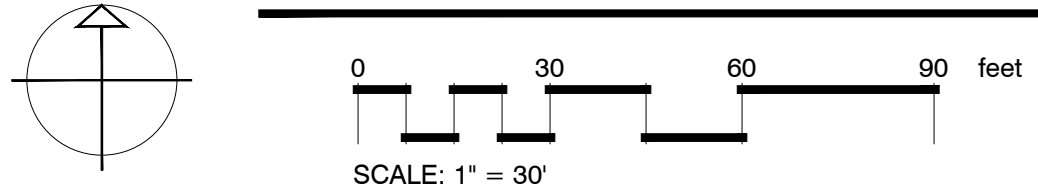
  

WEST BUFFER			
+/-331' TOTAL PROPERTY LINE			
10' LANDSCAPE BUFFER REQUIRED +/-125'/30=	4.17 TREES	4 CLASS A TREES PROVIDED	
4A TREES AND 4B TREES REQUIRED		4 CLASS B TREES PROVIDED	
10' LANDSCAPE BUFFER REQUIRED +/-206'/30=	6.86 TREES	7 CLASS A TREES PROVIDED	
7A TREES AND 7B TREES REQUIRED		7 CLASS B TREES PROVIDED	

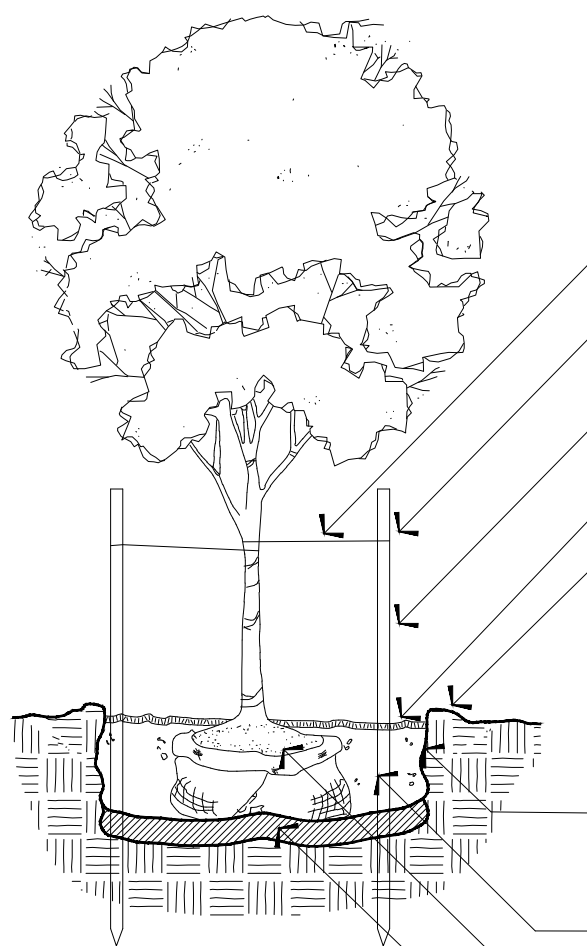
EAST BUFFER			
+/-340' TOTAL PROPERTY LINE			
25' LANDSCAPE BUFFER REQUIRED - 340'/30=	11.33 TREES	11 EXISTING TREE CREDIT	
11A TREES AND 11B TREES REQUIRED		11 CLASS B TREES PROVIDED	
EXISTING WOODS TO REMAIN			

**LANDSCAPE PLANTING PLAN**



**EXISTING PLANT SCHEDULE**

CLASS	QTY	BOTANICAL / COMMON NAME	CAL
CLASS 'A'	4	PINE	10'-18" SINGLE TRUNK
CLASS 'B'	37	CHINESE TALLOW	2'-4" SINGLE TRUNK
SHRUBS	17	MISC. SHRUB TREES	MISC. SHRUB TREES
	18	MISC. SHRUB TREES	MISC. SHRUB TREES



- DEEPROOT ARBORTIE
- EACH END SHOULD BE TIED AROUND "T" STAKE WITH A ROLLING HITCH. THE ENDS SHOULD BE TIED OFF WITH A SECOND HITCH ON THE ARBORTIE THAT LEADS TO THE TREE
- 6" METAL TEE POST
- INSTALL THREE (3) POSTS PER TREE
- SPACED EQUALLY AROUND TREE (KEEP STAKES INSIDE MULCH RING)
- 4" MULCH
- FORM SAUCER WITH 4"-6" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 6" FOR SETTING LAYER OF COMPACTED BACKFILL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF ROOT BALL
- BACKFILL MEDIUM SHOULD BE A MIXTURE OF 50% REMOVED MATERIAL, WITH 50% MIXTURE OF PREPARED PLANTING SOIL MIXTURE
- PLANT TOP OF ROOTBALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE
- PLACE ROOTBALL AT BOTTOM OF PLANTING PIT ON 6" LAYER OF COMPACTED BACKFILL

**1 TREE PLANTING DETAIL**  
 LS-1 N.T.S.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
<b>CLASS 'A'</b>						
PE	46	Pinus elliotii / Slash Pine	Gallon or B&B	2.50" Cal.		10' - 12' Ht.
QN	13	Quercus nuttallii / Nuttall Oak	Gallon or B&B	2.50" Cal.		10' - 12' Ht.
QP	5	Quercus phellos / Willow Oak	Gallon or B&B	2.50" Cal.		10' - 12' Ht.
<b>CLASS 'B'</b>						
IC	55	Ilex cassine / Dahoon Holly	Gallon or B&B	1.50" Cal.		8'-10' ht.
LI	15	Lagerstroemia indica / Multi-Trunk Crape Myrtle	Gallon or B&B	1.50" Cal.		8'-10' ht.
<b>SHRUBS</b>						
IB	75	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3-Gal.			2' ht. at the time of planting
<b>GROUND COVERS</b>						
SEED	58,606 sf	Cynodon dactylon / Bermuda Hydroseeding	HydroSeeding			
SOD	25,437 sf	Cynodon dactylon / Bermudagrass	Squares or Mini Rolls			Class 'A'
MULCH	6,259 sf	Mulch Area / Pine Straw Mulch	SF			

**SECTION 7.0112 MAINTENANCE & REPLACEMENT**

- A. MAINTENANCE:** The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
- Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
  - Plant Materials shall be pruned as required to maintain good health and character.
  - Turf areas shall mowed periodically.
  - All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
  - The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT:** Subject to the provisions of Section 7.0105.E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.

**ALPHONSE BARCIA III**  
 LANDSCAPE ARCHITECT LLC.

562 CLAYTON COURT  
 SLIDELL, LOUISIANA 70461  
 BARCIADESIGNS@GMAIL.COM  
 (985) 960-0429

9-25-2025

THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF THE ARCHITECT AND MAY BE USED ONLY ON THE PROJECT NAMED HEREIN. THIS DRAWING SHALL NOT BE REPRODUCED, COPIED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ANY USE IS A VIOLATION OF FEDERAL AND STATE COPYRIGHT STATUTES.

**ARCK Properties**  
 Hwy 25 - St. Tammany Parish  
 Covington, Louisiana

Sheet Title: Landscape Plan

JOB No.:  
 SCALE: AS SHOWN  
 DRAWN BY: ABS  
 CHECKED BY: ABS  
 SHEET:  
**LS-1**  
 REV:  
 DATE: SEPTEMBER 25TH 2025



**BOA STAFF REPORT**  
2025-4463-BOA

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529    21454 Koop Drive, Suite 1B, Mandeville, LA 70471    [stpgov.org/planning](http://stpgov.org/planning)

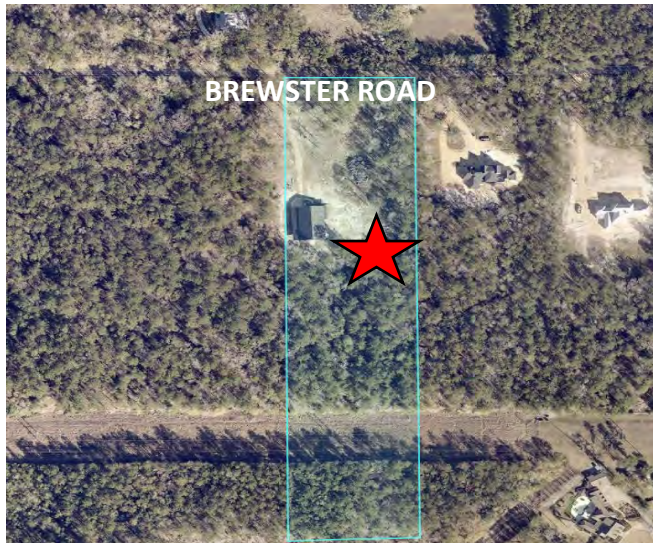
**Location:** 14390 Brewster Road, Covington, Louisiana; Ward 1; District 1

**Applicant & Representative:** Charles & Gina Bloodsworth

**Hearing Date:** December 2, 2025

**Posted:** November 14, 2025

**Date of Report:** November 24, 2025



**Variance(s) Requested:**

Request by an applicant for after-the-fact variance requests to reduce the required:

- landscape and natural buffers from 50' to 25' on the south and east sides of the property.
- landscape and natural buffer from 25' and to 13'7" on the west side, where the residence is located.

**Zoning of Property:**

L-2 Large Lot Residential District

**FINDINGS**

According to the St. Tammany Parish Unified Development Code and the attached Exhibit 600-3-1-1, a 25' Natural & Landscape area along the street & 50' Natural and Landscape area along the side and rear must be maintained on all residentially zoned lot 5 acres or larger.

The objective of the request is to allow for a 25-foot natural and landscape buffer along the south, east and west sides of the property and to allow for a the required natural and landscape area to remain at 13'7" where the residence is located.

Consideration should be given to the request to reduce the size of the required natural and landscape buffer area to 13'7" where the existing single-family residence is located, considering that it is not in violation of the required 15' side yard setback under L-2 Large Lot Residential Zoning District. However, no hardship has been demonstrated to grant the requested variance to reduce the size of the required natural and landscape areas along the sides and the rear of the property, considering that the property is 10 acres and more than 300 foot wide.

Note that no objection letters have been provided from the abutting property owners.

2025-4463-BOA

BREWCLAIR

L-1

BREWSTER RD

L-1

L-2

DENDINGER DR

Tchefuncte Trace  
L-1



**Exhibit 600-3-1-1 Summary of Land Clearing, Buffer, and Landscaping Requirements.**

<b>Requirement Criteria: Land Use, Lot Size and Number of Lots</b>	<b>Land Clearing Permit</b>	<b>Tree Survey</b>	<b>Planting Plan</b>	<b>NAT &amp; LA Areas</b>	<b>Mitigation Plan</b>	<b>Natural and Landscaped Area Size</b>
<b>Residential</b>						
Single-Family and Duplex - Lot $\geq$ 5 acres outside a platted subdivision	Y	N	N	NAT	Y	25' street & 50' side and rear buffer on each individual lot
Subdivision with 6 to 24 lots (including single family and duplex) and $\geq$ 5 acres	Y	N	N	NAT	Y	50' natural area (NAT) along all external roadways
Subdivision (including single-family and duplex) $\geq$ 25 lots	Y	Y	N	NAT	Y	50' natural area (NAT) along all external roadways
Multifamily (3+ units)	Y	Y	Y	LA	Y	Commercial Landscape Standards <b>600-3.4.D</b>
<b>Nonresidential</b>						
Forestry/Agriculture $\geq$ 5 acres	Y	N	N	NAT	Y	50' natural area (NAT) along all external roadways
Commercial	Y	Y	Y	LA*	Y	Commercial Landscape Standards <b>600-3.4.D</b>
Medical	Y	Y	Y	LA*	Y	Commercial Landscape Standards <b>600-3.4.D</b>
Institutional	Y	Y	Y	LA*	Y	Commercial Landscape Standards <b>600-3.4.D</b>
Parks/Recreation	Y	Y	Y	LA*	Y	Commercial Landscape Standards <b>600-3.4.D</b>
Industrial	Y	Y	Y	LA*	Y	Commercial Landscape Standards <b>600-3.4.D</b>
Where "Y" = Yes, Required and "N" = Not applicable						
"LA" = Landscaped Areas						
"NAT" = Natural Areas in accordance with <b>Sec. 600-3.2(D)</b>						
<b>Mitigation</b> is applicable to all types of property upon which landscaping or preservation is required as per <b>Section 600-3.2(D) &amp; 600-3.3(E)</b>						
<b>Waterway Buffers</b> apply to all property types per <b>Sec. 600-3.2(E)</b>						

**REASON FOR VARIANCE/APPEAL:**

(Please state in box below your specific request for a variance or appeal)

I am requesting a 25 foot buffer on all four sides of my property. I have acquired no objection letters from both of the property owners adjacent to my property. I am requesting a variance for the location of my structure and septic tank in relation to the property line to reduce from 50 feet to 12 feet. Requesting driveway non-structure cement up to the property line. I will provide a landscape plan for replanting of trees where needed.

**Standards for Approval of Variances (UDC Sec. 200-3.9 – Variances, G)**

Before a variance is granted, the Board of Adjustment shall determine that all the following standards for approval are met:

1. The request for variance is not self-imposed. Variances may not be granted by the Board if the request is considered a “personal preference.”
2. The variance request is not based solely on financial hardship. Variances may not be granted by the Board if the request is considered strictly a financial hardship.
3. The particular physical surroundings, shape or topographical conditions of the property would result in unnecessary hardship, as distinguished from a mere inconvenience, if the provisions of the UDC were literally enforced.
4. The variance request is based on ameliorating a practical difficulty or unnecessary hardship. If the applicant can prove through testimony and presentation of factual documentation or evidence to the Board that a practical difficulty or unnecessary hardship would be imposed if a variance was not granted, then the Board may consider granting the variance request.
5. The variance, if granted, would not impose an adverse effect on the adjacent neighbor’s property or surrounding neighborhood. If the variance request adversely effects an adjacent property owner or the surrounding neighborhood in general, and testimony is forthcoming from same that can be proven within reason that an adverse effect would be imposed, the Board may decide not to grant the applicant’s variance request.
6. The granting of the variance would not establish an undesirable precedent. The Board may deny the granting of a variance request which may result in the establishment of a dangerous or unfavorable precedent to the parish.
7. The variance, if granted, would not result in increased flood heights or additional threats to public safety.

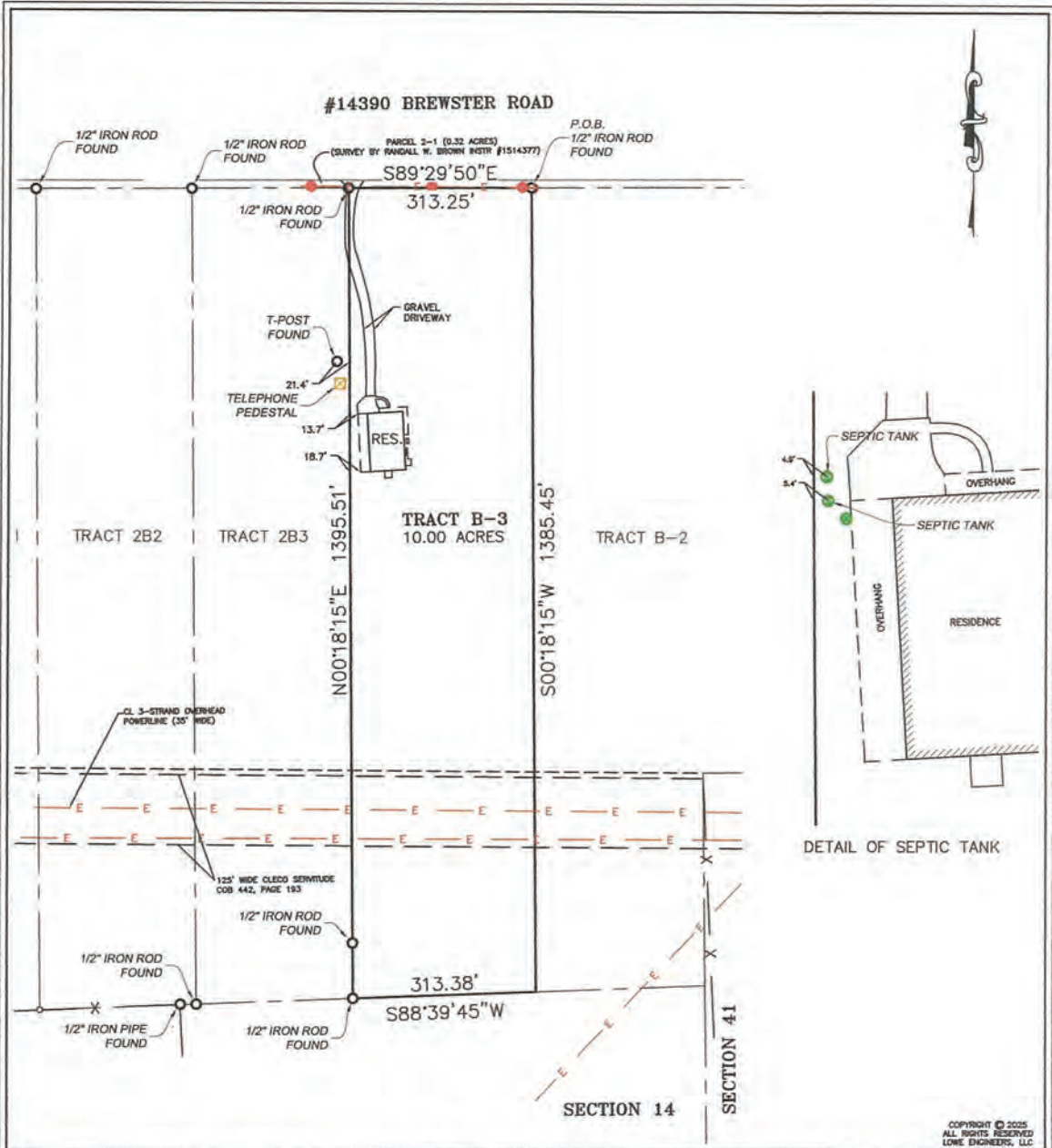


SIGNATURE OF OWNER/APPLICANT

10/27/25

DATE OF APPLICATION





<p><b>BUILDING SETBACKS:</b> FRONT: N/A SIDE: N/A SIDE STREET: N/A REAR: N/A BASIS FOR BEARINGS: THE REFERENCE SURVEY.</p>	<p><b>REFERENCE SURVEY:</b> A SURVEY BY THIS FIRM WITH SURVEY NO. 22-140070 DATED 2/21/22. NOTE: THE P.O.B. IS REPORTED TO BE SOUTH - 40.00'; N89°29'00"W-400.00'; SOUTH - 13.00'; S89°29'50"E-638.67' FROM THE SECTION CORNER COMMON TO SECTIONS 11, 12, 13 &amp; 14.</p>	<p>NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.</p> <p>NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.</p> <p>NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.</p>
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THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS C SURVEY.

A SURVEY MAP OF  
**TRACT B-3**  
situated in  
Section 14, Township 7 South, Range 10 East  
Greensburg Land District, St. Tammany Parish, Louisiana  
for  
**CHARLES & GINA BLOODSWORTH**

<p><b>FLOODZONE NOTE:</b> This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0210 C Revised: OCTOBER 17, 1989</p>	<p>This Survey is Certified True and Correct By <b>STEVEN P. HEBERT</b> License No. 5372 SURVEYOR</p> <p>Steven P. Hebert Professional Land Surveyor Registration No. 5372</p>
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<p><b>LOWE ENGINEERS</b></p>	<p>Professional Land Surveyors Planners and Consultants 1011 NORTH CAUSEWAY BLVD., SUITE 34 MANDEVILLE, LA 70471 OFFICE NO. (985)845-1012 FAX NO. (985)845-1778 www.loweengineers.com e-mail: MandevilleTeam@loweengineers.com</p>	<p>Survey No. 25-140458 Date: OCT. 21, 2025 Drawn by: SPH Scale: 1" = 180' Revised:</p>
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October 24, 2025

Charles Bloodsworth:

I am agreeable to decreasing the side buffer zone bordering both of our properties from 50 feet to 25 feet. I have no objection to a variance required to achieve the above. This reduction in buffer zone will mitigate any possible future damage to our respective homes from a severe weather event, which may cause downing of nearby trees.

Thank you,

A handwritten signature in black ink, appearing to be 'M Guillory', with a long horizontal stroke extending to the right.

Matthew Guillory  
14366 Brewster Rd  
Covington, LA 70433

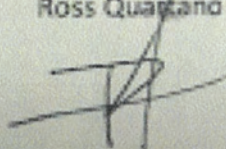
To Charlie Bloodsworth and Helen Lambert,

Please reduce the required side no cut buffers from 50 to 25 feet.

This will be advantageous in the event of severe weather with respect to clearing the multiple 50+ foot tall trees which present danger to the home site.

Best Regards,

Ross Quartano

A handwritten signature in black ink, appearing to be 'R. Quartano', written over the printed name.

5-31-22