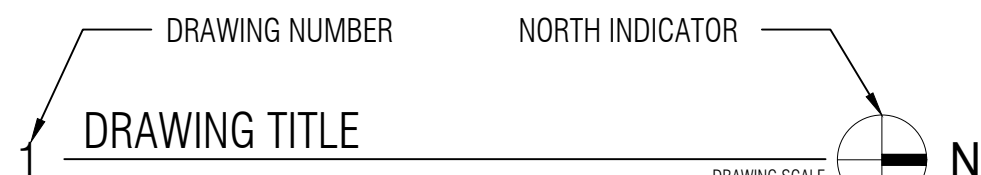


-PRIVATE RESIDENCE-

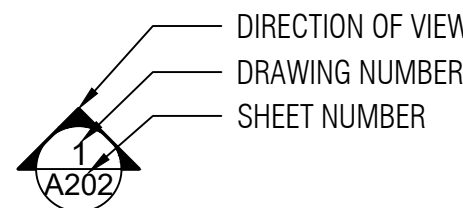
ADDITION TO A ONE-STORY SINGLE-FAMILY RESIDENCE

1 5 6 8 E N G L E W O O D D R I V E , S L I D E L L , L A 7 0 4 5 8

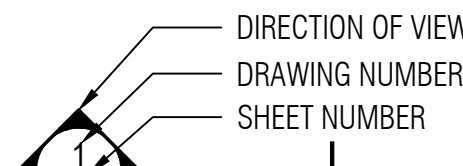
ARCHITECTURAL SYMBOLS



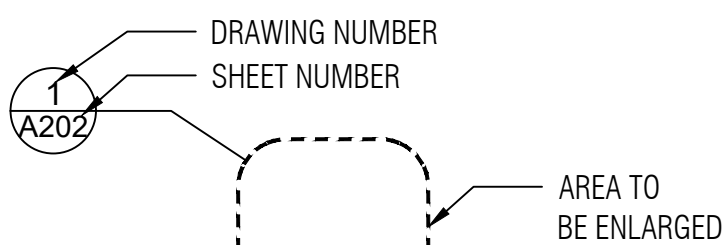
DRAWING TITLE



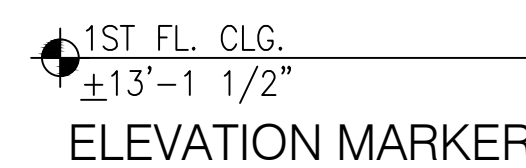
ELEVATION REFERENCE



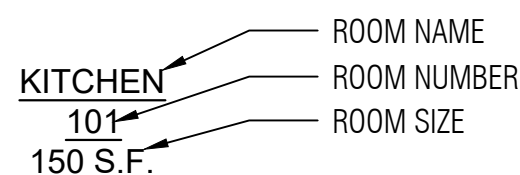
SECTION REFERENCE



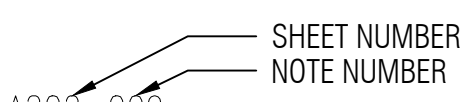
DETAIL REFERENCE



ELEVATION MARKER



ROOM LABEL



KEYED NOTES



INSTRUCTIONS FOR BIDDERS

THE CONTRACTOR SHALL SUBMIT A BID FOR ALL WORK SHOWN IN THE DRAWINGS. THE CONTRACTORS BID SHALL BE SUBMITTED BROKEN DOWN WITH MATERIALS AND LABOR BY TRADE OR CATEGORY AS APPLICABLE AS FOLLOWS.
SITE WORK AND PREPARATION
CONCRETE AND EXCAVATION
EXTERIOR MASONRY
METALS - FRAMING, STRUCTURAL AND DECORATIVE RAILINGS, ETC.
ROUGH AND FINISH CARPENTRY - MATERIAL, LABOR, BUILDERS HARDWARE, ETC.
ROOFING (FLASHING, GUTTERS AND DOWNSPOUTS)
WINDOWS, DOORS, DOOR HARDWARE, ETC.
DRYWALL, PAINTING AND WALL COVERING, FLOORING, TRIM AND ALL OTHER FINISHES
PLUMBING - ALL LABOR, GAS, WATER AND WASTE PIPING, FIXTURES, FAUCETS, WATER HEATERS, MATERIALS, ETC.
MECHANICAL - ALL RTUS, HVAC EQUIPMENT, CURBS, REFRIGERATION LINES AND EQUIPMENT, ETC.
ELECTRICAL - ALL WIRING, SERVICE EQUIPMENT INSTALLATION AND DISTRIBUTION, LIGHTING INSTALLATION, RECESSED FIXTURES, DEVICES, DIMMERS, ALL DATA WIRING, ALL A/V PIPING AND WIRING, ETC.
GENERAL CONDITIONS
CONTRACTORS PROFIT AND OVERHEAD

BIDDER SHALL IDENTIFY ANY AND ALL ALLOWANCES CONTAINED IN THEIR BID.

STANDARDS & REGULATIONS

- "ARCHITECT" AS USED IN THESE DRAWINGS REFERS TO:
KK JOHNSON ARCHITECTURE
4618 CAMP STREET
NEW ORLEANS, LA 70115
kjohnson@kjohnsonarchitecture.com
- THE CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF DRAWINGS AND SPECIFICATIONS PREPARED BY KK JOHNSON ARCHITECTURE AS WELL AS MANUFACTURERS SPECIFICATIONS PROVIDED THE CONTRACTOR AS SUBMITTALS TO BE APPROVED BY KK JOHNSON ARCHITECTURE.
- ALL WORK SHALL COMPLY WITH THE APPLICABLE BUILDING CODE, THE ELECTRICAL CODE, AND THE NATIONAL BOARD OF FIRE UNDERWRITERS CODE, THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES, ALL MUNICIPAL AMENDMENTS AND MANUFACTURERS INSTRUCTIONS/RECOMMENDATIONS.
- ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURERS PUBLISHED STANDARDS AND THE BUILDING OWNER'S REQUIREMENTS FOR QUALITY OF MATERIALS AND WORKMANSHIP, AS WELL AS ALL REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND COMPLY WITH THE BUILDING OWNER'S STANDARD DETAILS OF CONSTRUCTION, ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL BASE BUILDING "CONTRACT DOCUMENTS", "SHOP DRAWINGS", "AS BUILT DRAWINGS", AND ANY OTHER INFORMATION OF THE BASE BUILDING IN ORDER TO COORDINATE ALL TENANT WORK WITH THE BASE BUILDING CONDITIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BONDS, AND FEES, ALL NECESSARY LICENSES, TESTS, CERTIFICATES, ETC. SHALL BE PAID FOR BY THE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING FIELD CONDITIONS INCLUDING SOIL TOPOGRAPHY AND LOCATION OF PROPERTY LINES, EASEMENTS AND SETBACKS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- VERIFY ALL SITE UTILITIES PRIOR TO BEGINNING THE WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- AT THE COMPLETION OF THE JOB, PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF MARKED UP TRANSPARENCIES AND TWO SETS OF PRINTS WITH AS BUILT CONDITIONS NOTED AND TWO BOUND COPIES OF APPLICABLE WARRANTIES, OPERATIONS MANUALS AND/OR MAINTENANCE INSTRUCTIONS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS MUST DELIVER CERTIFICATES OF INSURANCE TO THE OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, NAMING THE OWNER AS ADDITIONALLY INSURED.

ADMINISTRATION OF THE WORK

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION.
- THE GENERAL CONTRACTOR SHALL PROTECT EXISTING CONDITIONS OR WORK BY OTHER CONTRACTORS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL EXISTING CONDITIONS OR WORK BY OTHERS INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT.
- ALL WORK NOTED "BY OTHERS" OR "N.I.C." (NOT IN CONTRACT) IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COOPERATE WITH THE OWNER AND THE OWNER'S OUTSIDE CONTRACTORS AS REQUIRED.
- ALL CONTRACTORS, SUB-CONTRACTORS AND SUPPLIERS MUST Haul AWAY ALL GARBAGE, DEBRIS AND SCRAPS RESULTING FROM THEIR WORK AT THE SITE. ALL GARBAGE, DEBRIS AND SCRAPS MUST BE SWEEP UP AT THE END OF EACH DAY AND HAULLED AWAY. ABSOLUTELY NO GARBAGE, DEBRIS OR SCRAPS CAN BE LEFT FOR THE CITY GARBAGE COLLECTION SERVICES. ANY GARBAGE, DEBRIS OR SCRAPS LEFT BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS WILL BE HAULLED AWAY AT THEIR EXPENSE.
- THE GENERAL CONTRACTOR SHALL PROTECT AND SECURE THE PROJECT SITE AS REQUIRED, IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.
- CONTRACTOR SHALL TAKE MEASURES TO PREVENT AIRBORNE PARTICLES IN ADJACENT SPACES NOT COVERED UNDER THE WORK OF THIS CONTRACT.
- ALL DOORS LEADING TO EMERGENCY EXITS SHALL REQUIRE NO SPECIAL KNOWLEDGE OR KEYS FOR OPERATION.
- ALL WORK SHALL BE OF FIRST CLASS WORKMANSHIP AND GUARANTEED BY THE CONTRACTOR AGAINST DEFECTS AND POOR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM SUBSTANTIAL COMPLETION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING AND ELECTRICAL CONNECTIONS, PROVIDE ADEQUATE CONCEALED BLOCKING AND BRACING FOR ALL MILLWORK HUNG FROM CEILING AND/OR PARTITIONS, FIRE TREATED WOOD OR SHEET METAL IS ACCEPTABLE. ALL WOODWORK, BLOCKING, GROUNDS, ETC. SHALL BE FIRE TREATED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS, CLEARANCES AND CONDITIONS AT THE JOB SITE BEFORE FABRICATING ANY MATERIAL OR COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE "CHALK LINE" PARTITION LAYOUT FOR THE ARCHITECT'S OBSERVATION BEFORE INSTALLATION OF PARTITION FRAMING.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR SYSTEM ENGINEERING, LAYOUTS AND RESPECTIVE PERMITS. CONTACT ARCHITECT/OWNER WITH ANY DISCREPANCIES BEFORE STARTING WORK.
- ALL WORK SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL MATERIALS, LABOR, TRANSPORTATION, EQUIPMENT, SCAFFOLDING, TAXES, ETC. AS MAY BE NECESSARY TO COMPLETE THE WORK AS INTENDED, WHETHER EACH ITEM IS SPECIFICALLY SHOWN OR REFERRED TO OR NOT.
- CONTRACT IS AWARDED ON THE BASIS OF SUCH DOCUMENTS WITH THE UNDERSTANDING THAT THE CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF HIS WORK WITHOUT ADJUSTMENTS TO THE CONTRACT PRICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH SUB-CONTRACTORS THE STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING THE EXISTING FLOOR OR ROOF.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THIS ENGINEERING DESIGN/WORK OR ITS IMPLEMENTATION/PERFORMANCE.
- OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- AS WORK OF A SEPARATE CONTRACT, THE OWNER SHALL EMPLOY ENGINEERING CONSULTANTS TO DESIGN THE HVAC, PLUMBING, ELECTRICAL, FIRE ALARM AND SPRINKLER SYSTEMS. THE ARCHITECT IS NOT CONTRACTED TO COORDINATE OR PARTICIPATE IN THIS WORK AND IT IS NOT PART OF THE ARCHITECT'S WORK SCOPE. THE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THIS ENGINEERING DESIGN/WORK OR ITS IMPLEMENTATION/PERFORMANCE.
- AS WORK OF A SEPARATE CONTRACT, THE OWNER SHALL EMPLOY A STRUCTURAL ENGINEERING CONSULTANT TO DESIGN ALL CUT-OUTS, COLUMN REMOVAL, COLUMN IMPLEMENTATION, RE-FRAMING, SHORING, LEVELING, ETC. THE ARCHITECT IS NOT CONTRACTED TO COORDINATE OR PARTICIPATE IN THIS STRUCTURAL ENGINEERING WORK AND IT IS NOT PART OF THE ARCHITECT'S WORK SCOPE. THE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THIS ENGINEERING DESIGN/WORK OR ITS IMPLEMENTATION.
- THE OWNER SHALL EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM ALL WORK FOR THIS PROJECT. THE CONTRACTOR SHALL, BEFORE STARTING THE WORK, SECURE WORKMENS COMPENSATION AND LIABILITY INSURANCE FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE POLICIES IN LOUISIANA.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT, OWNER AND ENGINEER FOR REVIEW/APPROVAL PRIOR TO PURCHASE/INSTALLATION OF THE FOLLOWING SYSTEMS: DOORS, DOOR HARDWARE, MILLWORK, CABINETRY, HVAC UNITS, STAIRS, ATTIC/ROOF ACCESS SYSTEMS, LIGHTING FIXTURES, PLUMBING FIXTURES, STRUCTURAL BEAMS.
- THE ARCHITECT WILL NOT PERFORM ANY CONSTRUCTION ADMINISTRATION SERVICES ON THIS PROJECT AND WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY ACTIONS OR CIRCUMSTANCES PERFORMED DURING OR AS A RESULT OF CONSTRUCTION WORK BEING PERFORMED. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY WORK CONSTRUCTED NOT IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
- COORDINATE WITH ALL UTILITY COMPANIES REGARDING ALL MATTERS RELATING TO THE CONTRACT DOCUMENTS IS FINAL AND BINDING ON ALL PARTIES TO THE CONTRACT.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.

USE OF CONSTRUCTION DOCUMENTS

- THIS DOCUMENT IS NOT INTENDED TO BE A COMPLETE SPECIFICATION. IT IS A GUIDE AND GENERAL INSTRUCTION.
- DO NOT SCALE DRAWINGS UNLESS NOTED OTHERWISE. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. ALL LOCATIONS ARE FINAL PER ARCHITECT'S DRAWINGS.
- PLANS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. ANY ITEM OR WORK MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN IN THE DRAWINGS, OR SHOWN IN THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS SHALL BE PROVIDED BY THE CONTRACTOR AS IF INCLUDED IN BOTH.
- GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS OR DISCREPANCIES BETWEEN PLUMBING, ELECTRICAL, MECHANICAL, AND STRUCTURAL ELEMENTS.
- NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE GC. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE ARCHITECT WITH ALL SAMPLES AND COMPARATIVE PRODUCT DATA REQUIRED TO EVALUATE PROPOSED SUBSTITUTIONS, IN A TIMELY MANNER SO AS NOT TO PRECLUDE PROCUREMENT OF THE PRODUCT ORIGINALLY SPECIFIED OR ANY PROPOSED SUBSTITUTE.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS, CLEARANCES AND CONDITIONS AT THE JOB SITE BEFORE FABRICATING ANY MATERIAL OR COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE ARCHITECT'S DECISION IN ALL MATTERS RELATING TO THE CONTRACT DOCUMENTS IS FINAL AND BINDING ON ALL PARTIES TO THE CONTRACT.
- CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS AND EQUIPMENT CUTS PRIOR TO SUBMITTAL TO ARCHITECT. CONTRACTOR SHALL SUBMIT ALL APPROVED SHOP DRAWINGS AND EQUIPMENT CUTS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- ALL MATERIAL USED FOR INTERIOR WALL AND CEILING FINISH, AND INTERIOR TRIM SHALL HAVE A FLAME SPREAD INDEX LESS THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450.
- THE INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL ARCHITECTS AND MANUFACTURERS SPECIFICATIONS, TRADE ASSOCIATION RECOMMENDATIONS, ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES, AND APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY THE REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION BY THE ARCHITECT, FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.), FOR COORDINATION OF THE VARIOUS TRADES, AND FOR THE SAFE CONDITIONS ON THE JOB SITE.
- THE ARCHITECT SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) AND SHALL RETAIN ALL COMMON LAW RIGHTS AND COPYRIGHTS. ANY USE OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL BE STRICTLY PROHIBITED.
- SEE MECHANICAL, ELECTRICAL, PLUMBING & STRUCTURAL SHEETS FOR NOTES SPECIFIC TO EACH TRADE.

GENERAL INTERIOR & FINISH NOTES

- PAINTED GYP. BOARD WALLS/CEILING - GYP. BOARD WALL/CEILING AREAS SHALL BE NEW PAINTED GYPSUM BOARD FINISHED TO LEVEL 4 STANDARDS (SMOOTH - NO TEXTURE)/ROLLED - NOT SPRAYED). THEY SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF INTERIOR LATEX PAINT (HIGH-END SHERWIN WILLIAMS OR EQUAL). ALL WALL PAINT SHALL BE FLAT EXCEPT WET AREA WALLS SHALL BE EGG-SHELL. SUBMIT PAINT TYPE TO OWNER FOR APPROVAL.
- PROVIDE SELF-LEVELING FLOORING COMPOUND AT AREAS REQUIRED (TILE, WOOD & CARPET) TO CREATE SMOOTH, FLUSH, LEVEL TRANSITION CONDITIONS BETWEEN ALL AREAS WITH VARIED ELEVATION CONDITIONS FIELD VERIFY PRIOR TO INSTALLING ANY NEW FLOORING AND ENSURE FLUSH CONDITIONS THROUGH-OUT THE ENTIRE BUILD-OUT AREA, TAPER LEVELING COMPOUND WITH A MIN. SLOPE OF 1:200.
- TILE/STONE WALLS - ALL STONE AND TILE WALLS SHALL BE INSTALLED ON A THIN-SET BED ON A 3/8" CEMENTITIOUS BACKER BOARD SECURED TO GYP. BOARD. STONE WALLS SHALL RECEIVE 2 COATS OF STONE SEALER.
- PAINTED WOOD TRIM - ALL INTERIOR TRIM TO BE PAINTED SHALL BE PAINT GRADE POPLAR. IT SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF SEMI-GLOSS PAINT.
- PROVIDE ALL FRAMING, BLOCKING AND SHIMS AS REQUIRED FOR SOUND SUPPORT OF ALL ITEMS MOUNTED ON WALLS/CEILING (IE - TOILET ACCESSORIES, CABINETS, BUILT-INS, FIRE EXTINGUISHERS, RAILS, MOLDINGS ETC.) FIELD VERIFY PRIOR TO CLOSING OF THE WALLS.
- PATCH, REPAIR, MODIFY & PREPARE ALL EXISTING WALLS AND CEILING THROUGH-OUT AS REQUIRED TO RECEIVE NEW WALL FINISH. ALL EXIST. WALLS AND CEILING SHALL BE REPAINTED AND SHALL MATCH THE QUALITY OF ADJACENT NEW CONSTRUCTION.
- REMOVE ALL ABANDONED EXPOSED ITEMS, (I.E. OUTLETS, LIGHTS, PIPING STUDS, CONDUITS, DIFFUSERS, EMERGENCY FIXTURES, ELECTRICAL ITEMS, MECH. ITEMS, ETC.) THROUGHOUT ENTIRE PROJECT AREA. PATCH, INFILL, REPAIR AND PAINT ALL AREAS TO MATCH EXISTING ADJACENT SURROUNDINGS.
- PROVIDE CLEAN SMOOTH & FLUSH FINISH CONDITIONS & AT AREAS WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION. (VERIFY W/ ARCHITECT).
- PROVIDE NECESSARY WOOD SHIMS ON ALL EXISTING FLOORS, WALLS AND CEILING AREAS AS REQUIRED TO CREATE FLUSH, LEVEL, PLUMB CONDITIONS IN ALL ROOMS THROUGHOUT THE BUILDING.
- CLEAN AND PREPARE ALL EXISTING INTERIOR MASONRY WALLS TO REMAIN. SEAL WALLS WITH PRODUCT APPROVED BY THE V.C.C. AND THE NATIONAL PARK SERVICE (IF APPLICABLE).

CONSTRUCTION NOTES

- LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING CONSTRUCTION.
- MAINTAIN FIRE SEPARATION BETWEEN THE ADJACENT TENANTS HORIZONTALLY AND VERTICALLY DURING CONSTRUCTION.
- ALL CONSTRUCTION TRASH AND DEBRIS SHALL BE REMOVED FROM THE PREMISES ON A DAILY BASIS TO A CONSTRUCTION DUMPSTER PLACED ON PREMISES. NO MEANS OF EGRESS OR EGRESS DOORS SHALL BE OBSTRUCTED.
- PATCH AND REPAIR ALL FIREPROOFING, IF ANY, DAMAGED OR REMOVED BY TENANT CONSTRUCTION.
- ALL OPENINGS IN WALLS, DECKS AND SLABS, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. (EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RESISTIVE SHAFT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE CONSTRUCTION.
- WALL AND/OR CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CURRENT CODES AND GOVERNING BODIES.
- ALL EXPOSED EXTERIOR WOOD SHALL BE BACK PRIMED. ALL FACES OF EXPOSED WOOD SHALL BE PRIMED PRIOR TO FINAL INSTALLATION. ALL EXTERIOR TRIM TO BE PRIMED AND STAINED ON ALL SIX SIDES. PROVIDE FLASHING AT TRIM AT ALL EXTERIOR SURFACES AS REQUIRED.
- ALL EXTERIOR HORIZONTAL SURFACES OF EXPOSED WOOD OR STONE TO SLOPE TO DRAIN.
- ALL EXPOSED JOINTS TO BE CAULKED AND SEALED.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN.
- JUNCTIONS OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER.
- PROVIDE 1/4" MOVEMENT AT THE TOPS OF ALL PARTITIONS THAT GO TO THE UNDERSIDE OF DECK OR STRUCTURE. DO NOT FASTEN STUDS OR DRYWALL TO TOP RUNNER.

DRAWING INDEX

T100	BUILDING & PROJECT INFORMATION
A100	SITE PLANS & DETAILS
A101	EXISTING & DEMOLITION PLAN
A102	EXISTING & DEMOLITION ROOF PLAN
A103	EXISTING & DEMOLITION ELEVATIONS
A201	PROPOSED PLAN & SCHEDULES
A202	PROPOSED ROOF PLAN
A203	PROPOSED ELEVATIONS
A301	MECHANICAL, ELECTRICAL & PLUMBING PLANS

CODE INFORMATION

CODE DATA:

- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- LCUCC AMENDMENTS EFFECTIVE JANUARY 1, 2023

OCCUPANCY CLASSIFICATION:

- SINGLE-FAMILY (RESIDENTIAL) GROUP R (R-3) IBC SECTION 310.5

EXIT COMPONENTS:

- WIDTHS:
CORRIDORS, MIN. WIDTH = 36" IRC SECTION R311.6
DOORS, MIN. CLEAR WIDTH = 32" IRC SECTION R311.2
STAIRS, MIN. WIDTH = 36" IRC SECTION R311.7
- STAIRS:
MINIMUM WIDTH = 36" IRC SECTION R311.7
MINIMUM HEADROOM = 6'-8" IRC SECTION R311.7.2
MAXIMUM RISER HEIGHT = 7 3/4" IRC SECTION R311.7.5.1
MINIMUM TREAD LENGTH = 10" IRC SECTION R311.7.5.2
MAXIMUM VARIATION TREAD DEPTHS - 3/8" IRC SECTION R311.7.5.2
MAXIMUM VERTICAL RISE B/T LANDINGS = 147" IRC SECTION R311.7.3
STAIR LANDING SHALL BE AS WIDE AS THE STAIRS AND AS LONG AS THE STAIR IS WIDE, AND NOT LESS THAN 36" LONG WHERE STRAIGHT IRC SECTION R311.7.6
- HANDRAILS:
MIN. HEIGHT = 34" IRC SECTION R311.7.8.1
MAX. HEIGHT = 38" IRC SECTION R311.7.8.1
- GUARDRAILS:
MIN. HEIGHT = 36" IRC SECTION R312.1.2
MAX. HEIGHT = 38" IRC SECTION R312.1.2

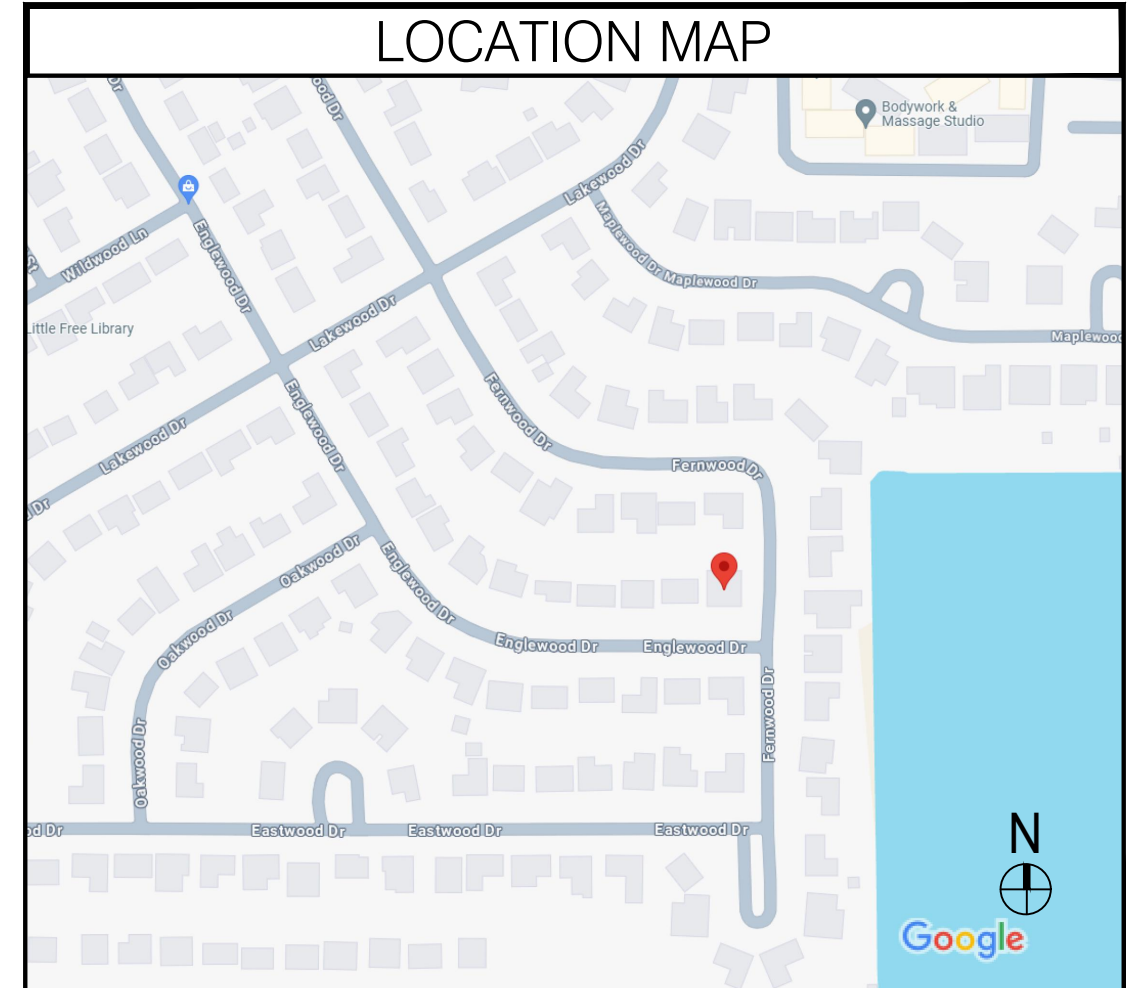
PER IRC SECTION R312.1.1, GUARDS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.

FIRE RESISTANCE RATINGS:

INTERIOR WALL AND CEILING FINISH MATERIALS (FOR ROOMS & ENCLOSED SPACES)
• FLAME SPREAD INDEX: LESS THAN 200 IBC SECTION 803
• SMOKE-DEVELOPED INDEX: NOT GREATER THAN 450 IBC SECTION 803
TESTING SHALL BE MADE IN ACCORDANCE WITH NFPA 286 PER IBC SECTION 803.1.2.1.

ENERGY CODE COMPLIANCE

- AIR LEAKAGE:
JOINTS, PENETRATIONS AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
- RECESSED LIGHTS MUST BE:
1. TYPE IC RATED, OR
2. INSTALLED INSIDE AN APPROPRIATE AIR-TIGHT ASSEMBLY WITH A 0.5" CLEARANCE FROM COMBUSTIBLE MATERIALS. IF NON-IC RATED, THE FIXTURE MUST BE INSTALLED WITH A 3" CLEARANCE FROM INSULATION.
- VAPOR RETARDER:
PROVIDE VAPOR RETARDER ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILING, WALLS AND FLOOR.
- MATERIALS IDENTIFICATION:
MATERIALS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- INTERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT COMPLIANCE CAN BE DETERMINED.
- PROVIDE MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT.



BUILDING/SITE INFORMATION

- BUILDING DESCRIPTION:
EXISTING: ONE-STORY RESIDENTIAL
PROPOSED: ONE-STORY RESIDENTIAL TYPE III (NO CHANGE)
CONSTRUCTION TYPE: MASONRY (NO CHANGE)
BUILDING EXTERIOR:
OCCUPANCY TYPE:
EXISTING: R-3 (SINGLE-FAMILY)
PROPOSED: R-3 (SINGLE-FAMILY)
- NO. OF FLOORS:
EXISTING: 1
PROPOSED: 1
- SCOPE OF WORK:
ADDITION TO A ONE-STORY SINGLE-FAMILY RESIDENCE.

- BUILDING AREA:
EXISTING: 2,315 S.F.
PROPOSED: 2,580 S.F.

- HISTORIC DISTRICT: N/A
- ZONING DISTRICT: A-6 (SINGLE-FAMILY RESIDENTIAL)

ZONING INFORMATION

LOT SIZE: 81x120' (EXISTING, NO CHANGE)

PROPERTY DESCRIPTION: LOT 342 LAKEWOOD SUB UNIT 2 CB 666 45 INST NO 1320890 INST NO 1364731

- REGULATIONS FOR SINGLE-FAMILY IN (A-6):
• MINIMUM LOT AREA: 8,400 S.F./D.U.
• MINIMUM LOT WIDTH: 70'-0"
• MAXIMUM BUILDING HEIGHT: 35'-0"
• MAXIMUM FRONT YARD: AVERAGE OF ADJACENT LOTS BUT MIN. 25'
• MIN. INTERIOR SIDE YARD: 5'-0"
• MINIMUM REAR YARD: 25'-0"

PROJECT DIRECTORY

OWNER:	HAYES WALKER	ARCHITECT:	KK JOHNSON ARCHITECTURE
NAME:	1568 ENGLEWOOD DRIVE	CONTACT:	KELLY JOHNSON
ADDRESS:	SLIDELL, LA 70458	ADDRESS:	4618 CAMP STREET
PHONE:	985.335.2009	NEW ORLEANS, LA 70115	
EMAIL:	HAYES.WALKER89@GMAIL.COM	504.327.9117	
		KJOHNSON@KJOHNSONARCHITECTURE.COM	
STRUCTURAL ENGINEER:		CONTRACTOR:	CESAR CHAVEZ
NAME:		CONTACT:	
ADDRESS:		ADDRESS:	1525 FERNWOOD DRIVE
PHONE:		SLIDELL, LA 70458	
EMAIL:		951.850.4112	
		PHONE:	951.850.4112
		PHONF:	--

OWNER TO HIRE STRUCTURAL ENGINEER FOR STRUCTURAL PLANS AND DETAILS OF NEW FOUNDATION, WALLS & ROOF.

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.

KJR 09/03/2024
KELLY JOHNSON DATE
LA LICENSE # 8160

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
1568 ENGLEWOOD DRIVE
SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
4618 Camp Street, New Orleans, LA 70115
p: 504-327-9117 e: kjohnson@kjohnsonarchitecture.com

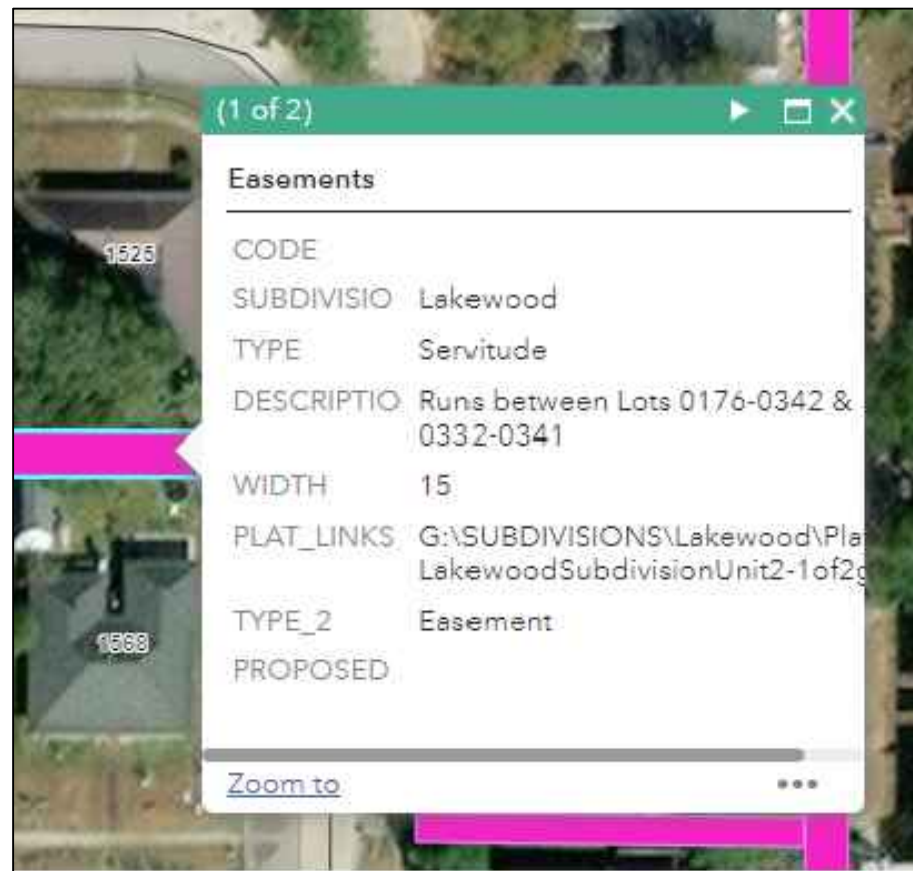
DRAWING TITLE:
BUILDING & PROJECT INFORMATION

PROJECT: **24-R-12**

FOR PERMIT

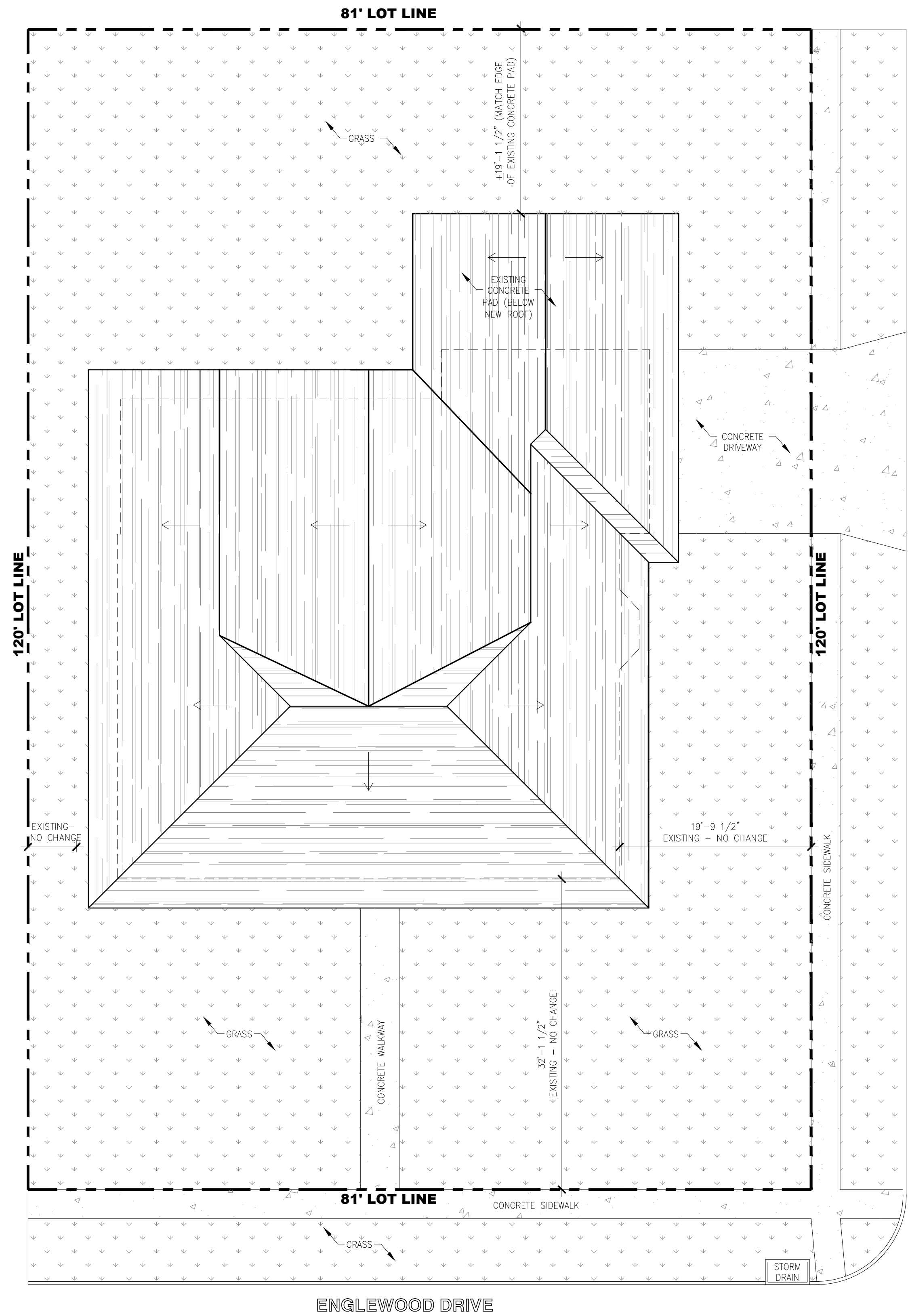
T-100

SHEET



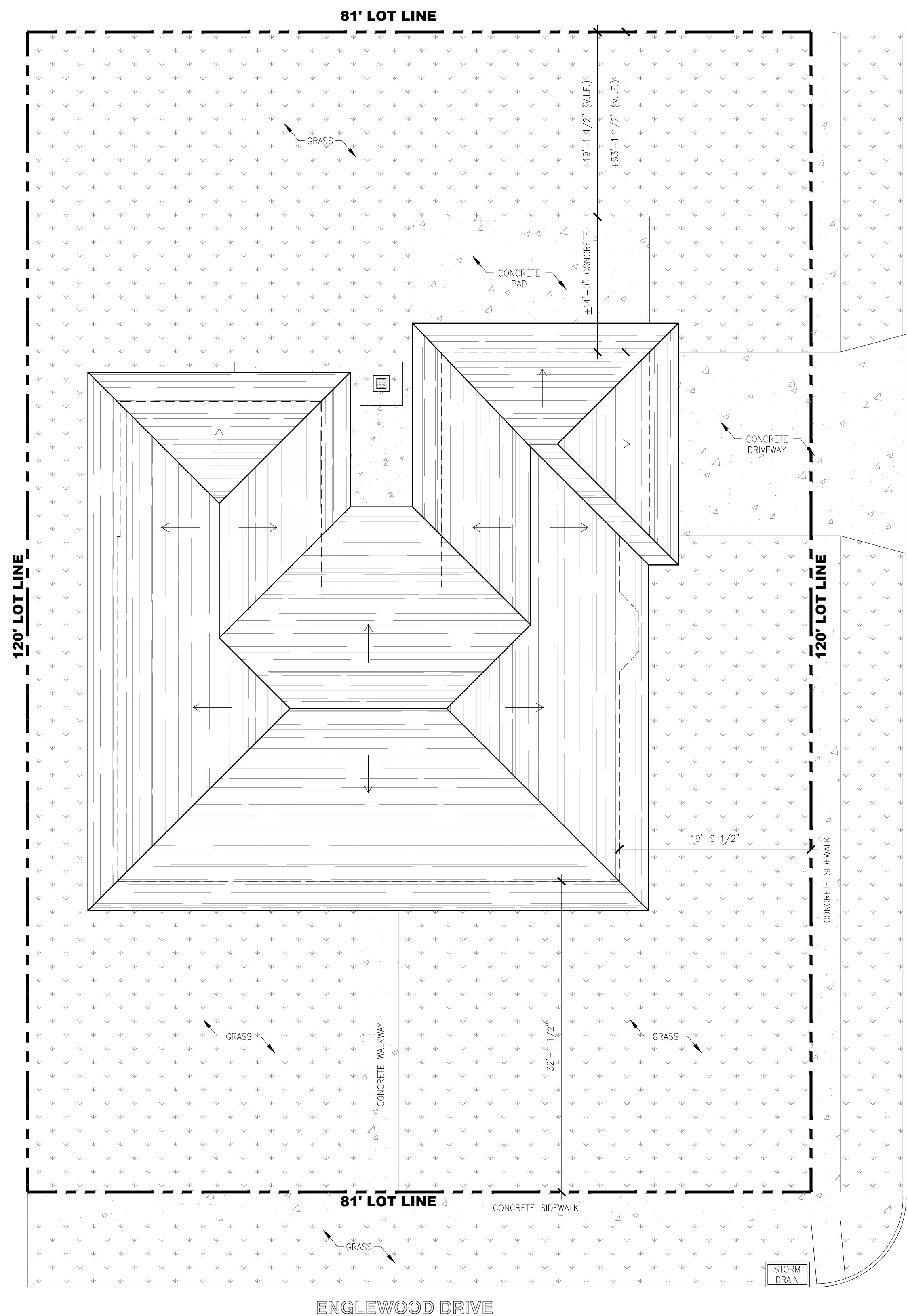
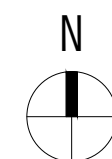
3 EASEMENT

Scale: N.T.S.



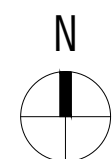
2 PROPOSED SITE PLAN

Scale: 1/8"=1'-0"



1 EXISTING SITE PLAN

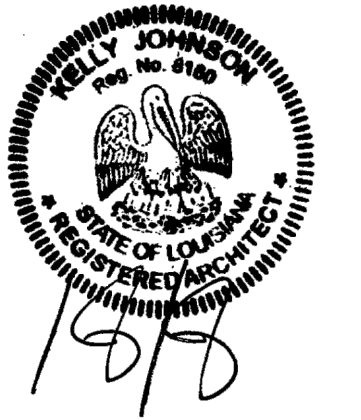
Scale: 1/8"=1'-0"



DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
 1568 ENGLEWOOD DRIVE
 SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
 4618 Camp Street, New Orleans, LA 70115
 p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
SITE PLANS & DETAILS

KK JOHNSON
 ARCHITECTURE

PROJECT:
24-R-12

FOR PERMIT

A100

SHEET

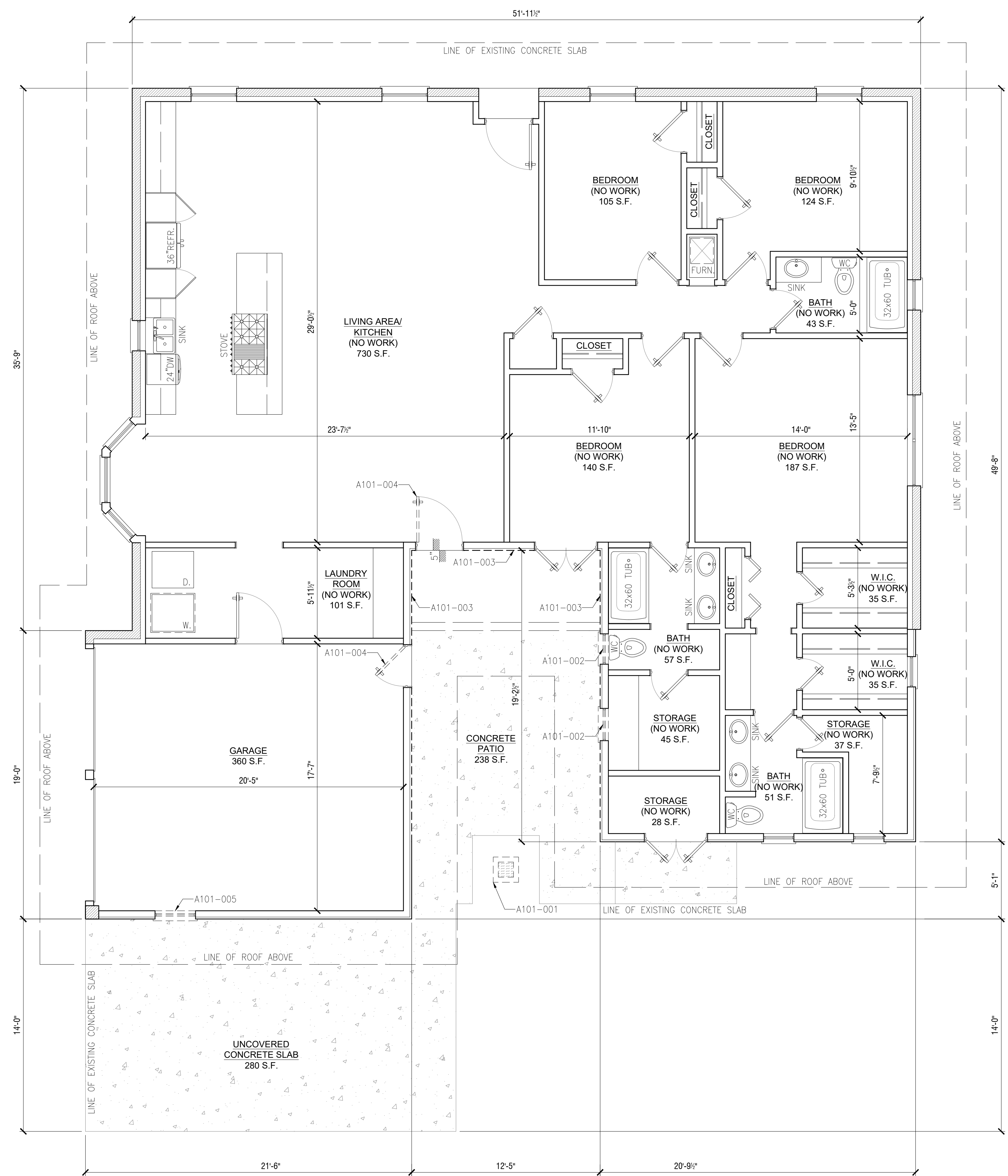
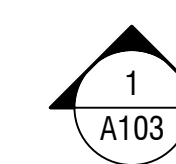
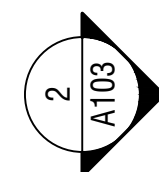
DEMO. WALL KEY

- MASONRY EXTERIOR WALL (TO REMAIN)
- WOOD EXTERIOR WALL W. SIDING (TO REMAIN)
- WOOD EXTERIOR WALL W. SIDING (TO BE REMOVED)
- WOOD EXTERIOR WALL W. SIDING (SIDING ONLY TO BE REMOVED - STUDS TO REMAIN)
- INTERIOR WOOD STUD WALL W/ GYPSUM BOARD, BOTH SIDES (TO REMAIN)
- INTERIOR WOOD STUD WALL W/ GYPSUM BOARD, BOTH SIDES (TO BE REMOVED)

DEMOLITION NOTES

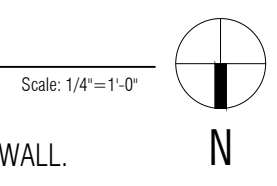
- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANS/NFPA 241.
- C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION OPERATIONS.
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE.
- E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE.
- F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE OWNER.

TAG	DESCRIPTION
A101-001	REMOVE DRAIN FOR RELOCATION.
A101-002	REMOVE WINDOW.
A101-003	REMOVE EXTERIOR SIDING DOWN TO STUDS.
A101-004	REMOVE DOOR.
A101-005	REMOVE WINDOW & FRAMING BELOW FOR NEW DOOR OPENING.



1 EXISTING FLOOR PLAN

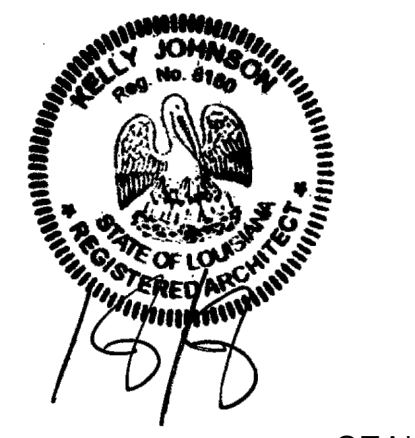
NOTES:
- INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL.



DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
1568 ENGLEWOOD DRIVE
SLIDELL, LA 70458

DRAWING TITLE:
EXISTING/DEMOLITION PLANS

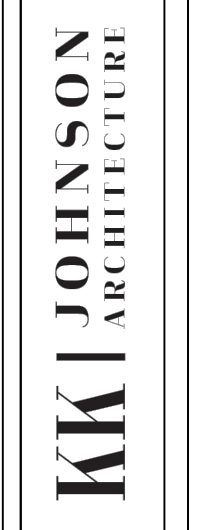
PROJECT:
24-R-12

FOR PERMIT

A101

SHEET

KK JOHNSON ARCHITECTURE
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com



DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
 1568 ENGLEWOOD DRIVE
 SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
 4618 Camp Street, New Orleans, LA 70115
 p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
EXISTING/DEMOLITION PLANS

KK JOHNSON
 ARCHITECTURE

PROJECT:
24-R-12

FOR PERMIT

A102

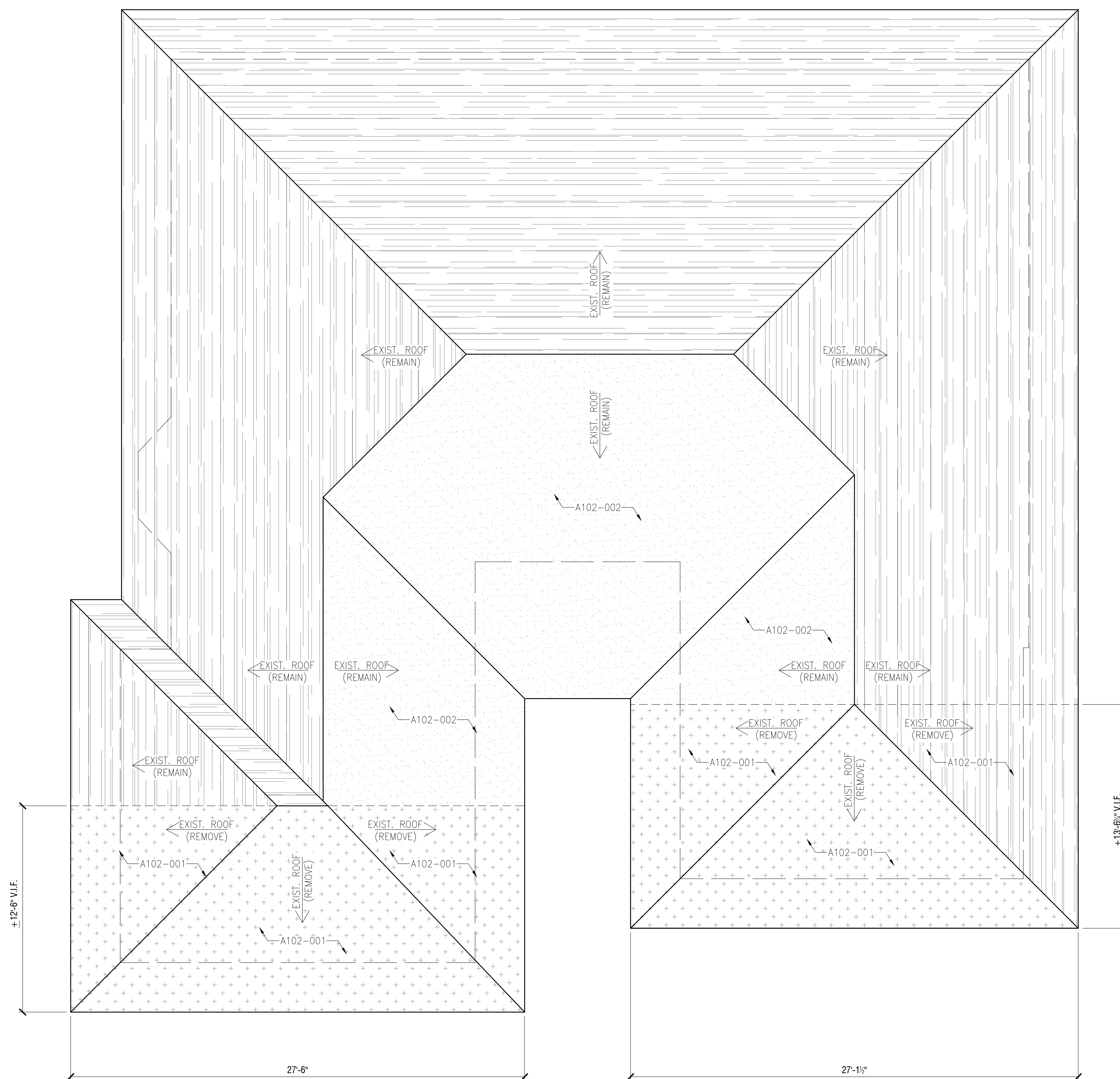
SHEET

DEMOLITION NOTES

- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANSI/NFPA 241.
- C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION OPERATIONS.
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE.
- E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE.
- F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE OWNER.

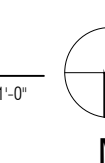
KEY NOTES

HATCH	TAG	DESCRIPTION
	A102-001	REMOVE SHINGLES, SHEATHING & ROOF JOISTS. CONTRACTOR TO BRACE EXTERIOR WALLS & SHORE REMAINING ROOF JOISTS AS REQUIRED.
	A102-002	REMOVE SHINGLES & SHEATHING ONLY. ROOF JOISTS TO REMAIN.



1 EXISTING/DEMO ROOF PLAN

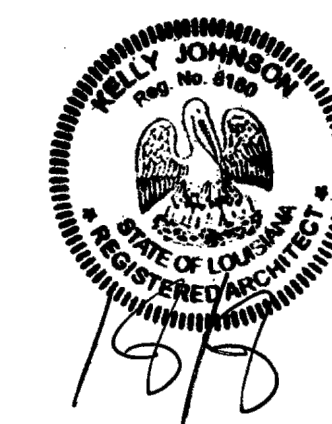
Scale: 1/4"=1'-0"



DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



SEAL

ENGINEER

LOCATION:
PRIVATE RESIDENCE
 1568 ENGLEWOOD DRIVE
 SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
 4618 Camp Street, New Orleans, LA 70115
 P: 504.327.9717 E: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
EXISTING ELEVATIONS

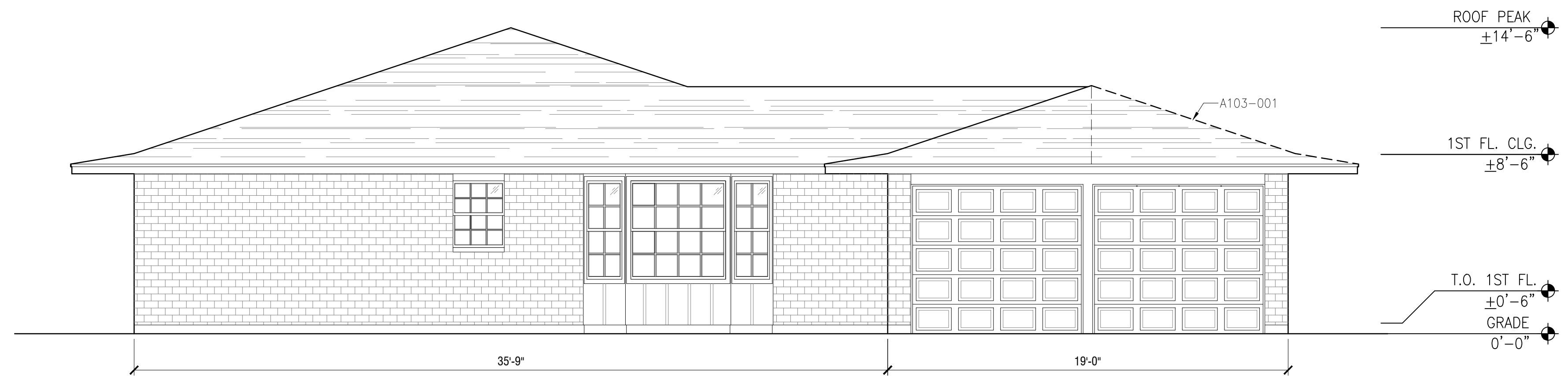
KK JOHNSON ARCHITECTURE

PROJECT: **24-R-12**

FOR PERMIT

A103

SHEET



2 SIDE ELEVATION

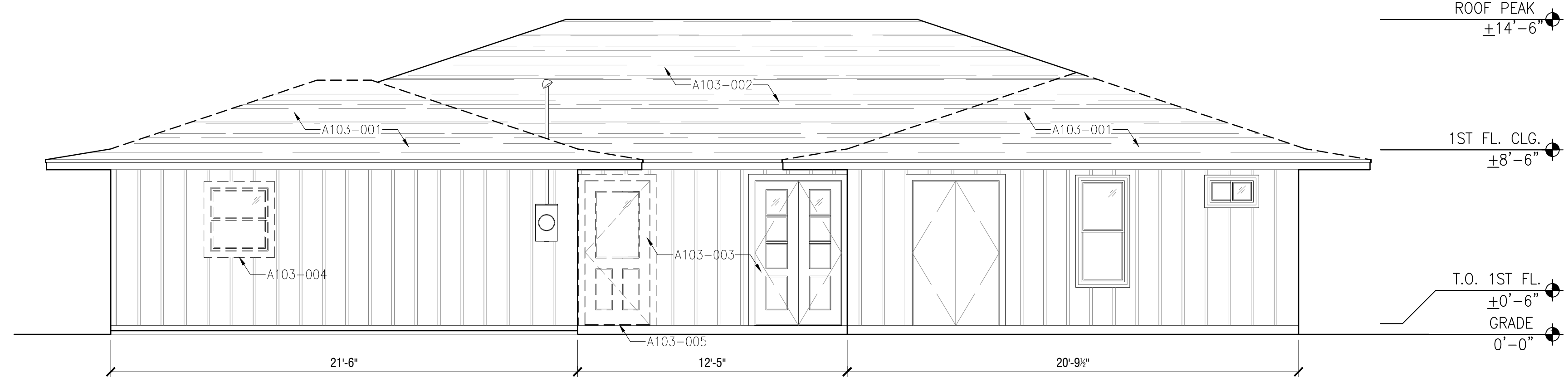
Scale: 1/4"=1'-0"

DEMOLITION NOTES

- A. ALL DEMOLITION WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- B. PROVIDE PROTECTION FOR PERSONS AND PROPERTY IN ACCORDANCE WITH ANS/NFPA 241.
- C. PROVIDE TEMPORARY BARRICADES, CANOPIES, FENCES, RAILING, LIGHTING, ETC. REQUIRED TO PROTECT WORKMEN, ARCHITECT AND OTHERS FROM INJURY DURING THE DEMOLITION OPERATIONS.
- D. PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL DEBRIS PROMPTLY TO A REFUSE CONTAINER. NO MATERIALS SHALL BE BURNED AT THE SITE.
- E. PROVIDE FIRE EXTINGUISHERS AND SMOKE DETECTION EQUIPMENT IN SERVICEABLE CONDITION, PROPER LOCATION, AND IDENTIFIED SO THAT IT WILL BE AVAILABLE FOR IMMEDIATE USE.
- F. PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THE SERVICE. CAP ALL UTILITIES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. REMOVE NON-LOAD BEARING PARTITIONS AS DASHED ON PLANS.
- I. ALL EQUIPMENT CURRENTLY IN THE PREMISES IS THE PROPERTY OF THE OWNER. ANY EQUIPMENT, FIXTURES, FURNITURE, ETC. IDENTIFIED TO BE DEMOLISHED OR REMOVED AS PART OF THE DEMOLITION AND BUILD-OUT MUST BE DONE IN SUCH A MANNER AS NOT TO DAMAGE, DESTROY OR RENDER INOPERABLE SUCH EQUIPMENT AND FIXTURES.
- J. ALL DEMOLISHED OR REMOVED EQUIPMENT TO BE PLACED IN AN AREA DESIGNATED BY THE OWNER.

KEY NOTES

TAG	DESCRIPTION
A103-001	REMOVE SHINGLES, SHEATHING & ROOF JOISTS. CONTRACTOR TO BRACE EXTERIOR WALLS & SHORE REMAINING ROOF JOISTS AS REQUIRED.
A103-002	REMOVE SHINGLES & SHEATHING ONLY. ROOF JOISTS TO REMAIN.
A103-003	REMOVE EXTERIOR SIDING DOWN TO STUDS.
A103-004	REMOVE WINDOW & FRAMING BELOW FOR NEW DOOR OPENING.
A103-005	REMOVE DOOR.



1 REAR ELEVATION

Scale: 1/4"=1'-0"

GENERAL PLAN NOTES

- NEW WALLS ARE SHOWN AS 4" WIDE (2x4 STUD WITH 1/2" GYPSUM BOARD EACH SIDE). DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- NEW PLUMBING WALLS ARE SHOWN AS 6" WIDE (2x6 STUD WITH 1/2" GYPSUM BOARD OR FIBER CEMENT BOARD IN AREAS THAT ARE TO BE TILED).
- DIMENSIONS OF EXISTING CONDITIONS ARE FOR REFERENCE ONLY. ALL EXISTING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
- PROVIDE SMOKE DETECTORS IN ALL SLEEPING AREAS AS REQUIRED BY SECTION R314 IRC 2021 ed.
- PROVIDE A COMBINATION SMOKE DETECTOR/CARBON MONOXIDE MONITOR IN HALLWAY OUTSIDE OF SLEEPING AREAS AS PER SECTION R315 IRC 2021 ed.
- BATHROOMS AND KITCHEN HOODS WILL BE VENTILATED DIRECTLY TO THE OUTDOORS. VENTILATION EQUIPMENT IN BATHROOMS MUST BE INSTALLED IN ACCORDANCE WITH SECTION M1504 OF THE IRC 2021 ed. DOMESTIC COOKING EXHAUST MUST BE INSTALLED IN ACCORDANCE WITH SECTION M1503 OF THE IRC 2021 ed.
- ANY ROTTED OR DAMAGED STUDS DISCOVERED IN THE EXISTING HOUSE DURING RENOVATION SHALL BE REPLACED.
- ANY DAMAGED OR SAGGING FLOOR JOISTS DISCOVERED IN THE EXISTING HOUSE DURING RENOVATION SHALL BE REPLACED OR CORRECTED BY SISTERING.
- HOUSE IS TO BE FULLY INSULATED AS FOLLOWS: R-13 INSULATION IN WALLS, R-13 INSULATION IN FLOOR, R-49 INSULATION IN ATTIC AS REQUIRED BY SECTION 1102 OF IRC 2021 ed. AND SECTION R402 OF IECC 2021 ed.
- ATTIC TO BE VENTILATED AS REQUIRED BY SECTION R806 OF IRC 2021 ed.
- IN COMPLIANCE WITH R311.7.7 IRC 2021 ed., HANDRAILS SHALL BE 34" MINIMUM AND 38" MAXIMUM IN HEIGHT, MEASURED FROM TREAD NOSING, AND TOP RAIL SHALL BE 1 1/2" IN DIAMETER.
- IN COMPLIANCE WITH R312 IRC 2021 ed., GUARDRAILS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE MORE THAN 30" ABOVE GRADE. GUARDRAILS SHALL BE 36" MINIMUM IN HEIGHT AND GUARD OPENINGS SHALL NOT ALLOW PASSAGE FOR 4" SPHERE.
- FOR ANY NEW OR RECONSTRUCTED STAIR, THE MINIMUM STAIR TREAD DEPTH SHALL BE 10" AND MAXIMUM RISER HEIGHT SHALL BE 7 1/2" IN ACCORDANCE WITH R311.7.5 IRC 2021 ed.
- HOUSE SHALL BE BUILT WITH DIMENSIONAL LUMBER AND SIMPSON STRONG-TIE H-SERIES HANGERS AND ASSEMBLY SHALL RESIST 130 MPH WIND LOADS.
- ALL ROOFING COMPONENTS/MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- SEE MECHANICAL & ELECTRICAL DRAWINGS FOR ROOF PENETRATION LOCATIONS.

WINDOW/DOOR NOTES

- ALL GLAZING SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM 3 1886 OR SHALL BE PROTECTED FROM WIND-BORNE DEBRIS BY EITHER MIN. 1/2" PREDRILLED PLYWOOD PANELS, CUT TO FIT AND STORED UNDER THE HOUSE, OR SHUTTERS IN ACCORDANCE WITH R301.2.1.2 IRC 2021 ed.
- ALL OPERABLE WINDOWS & DOORS TO HAVE FULL-SIZE SCREENS. HALF SCREENS ARE NOT ALLOWED.
- PER IRC 2021 ED. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. UNITS MUST BE OPERABLE FROM THE INSIDE TO FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ALL EGRESS WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
- NEW DOORS TO BE SOLID-CORE WOOD TO MATCH EXISTING, STYLE APPROVED BY OWNER.
- TYPICAL WINDOW AND DOOR CASING TO MATCH EXISTING & BE WOOD ON EXTERIOR.
- ALL DOOR HINGES TO MATCH IN FINISH AND STYLE.
- SHUTTERS (IF ANY) TO BE PAINTED WOOD (EITHER PRESSURE TREATED OR SPANISH CEDAR, BOARD AND BATTEN, WITH GALVANIZED HARDWARE FOR CLOSING AND FOR STAYING CONNECTED TO THE HOUSE WHEN OPEN.

WALL KEY

- EXIST. MASONRY EXTERIOR WALL
- EXIST. WOOD FRAMED WALL
- NEW WOOD FRAMED INTERIOR WALL W/ 1/2" GYP.

SYMBOLS KEY

- SMOKE DETECTOR
- CARBON MONOXIDE/ SMOKE DETECTOR
- FIRE PROOF HOSE BIBB

KEY NOTES

TAG	DESCRIPTION
A201-001	RAISE SLAB SO THAT FINISHED FLOOR MATERIAL IN PLAYROOM WILL BE FLUSH WITH EXISTING INTERIOR FLOORS. OWNER TO HIRE STRUCTURAL ENGINEER FOR NEW FOUNDATION PLAN & DETAILS.
A201-002	INFILL WINDOW/DOOR OPENING W. WOOD STUDS & GYPSUM BOARD EACH SIDE.
A201-003	RAISE WALLS OF NEW PLAYROOM TO NEW CEILING JOIST TO ACCOMMODATE RAISED CEILING HEIGHT. APPLY GYPSUM BOARD TO WHERE SIDING WAS REMOVED.
A201-004	EXTEND EXTERIOR WALLS UP TO BOTTOM OF NEW GABLE ROOF.
A201-005	NEW WRAPPED PRESSURE TREATED WOOD COLUMN, STAINED & SEALED OR PAINTED. OWNER TO HIRE STRUCTURAL ENGINEER TO SIZE COLUMN.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS	BASE	WALLS	CEILINGS	MOLDING	REMARKS
FIRST FLOOR - EXISTING ROOM FINISHES TO REMAIN - NO CHANGE							
101	PLAYROOM	HARDWOOD	WOOD	GYPSUM BOARD	GYPSUM BOARD	WOOD TRIM	V.T.F. CLG HGT W/ DEPTH OF DUCTS AND SOFTT FRAMING

NOTE: ALL WALL AND CEILING FINISHES TO BE CLASS 1, FLAME SPREAD RATING OF 0 TO 25, SMOKE DEVELOPED 200 OR LESS. ALL FLOOR COVERINGS TO BE CLASS A, CRITICAL RADIANT FLUX OF 0.45 WATTS/SQ. CM. OR HIGHER.
NOTE: MATERIALS/ FINISHES SHOWN IN THIS SCHEDULE ARE GENERAL. OWNER TO SELECT FINAL MATERIALS.

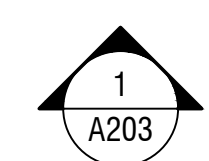
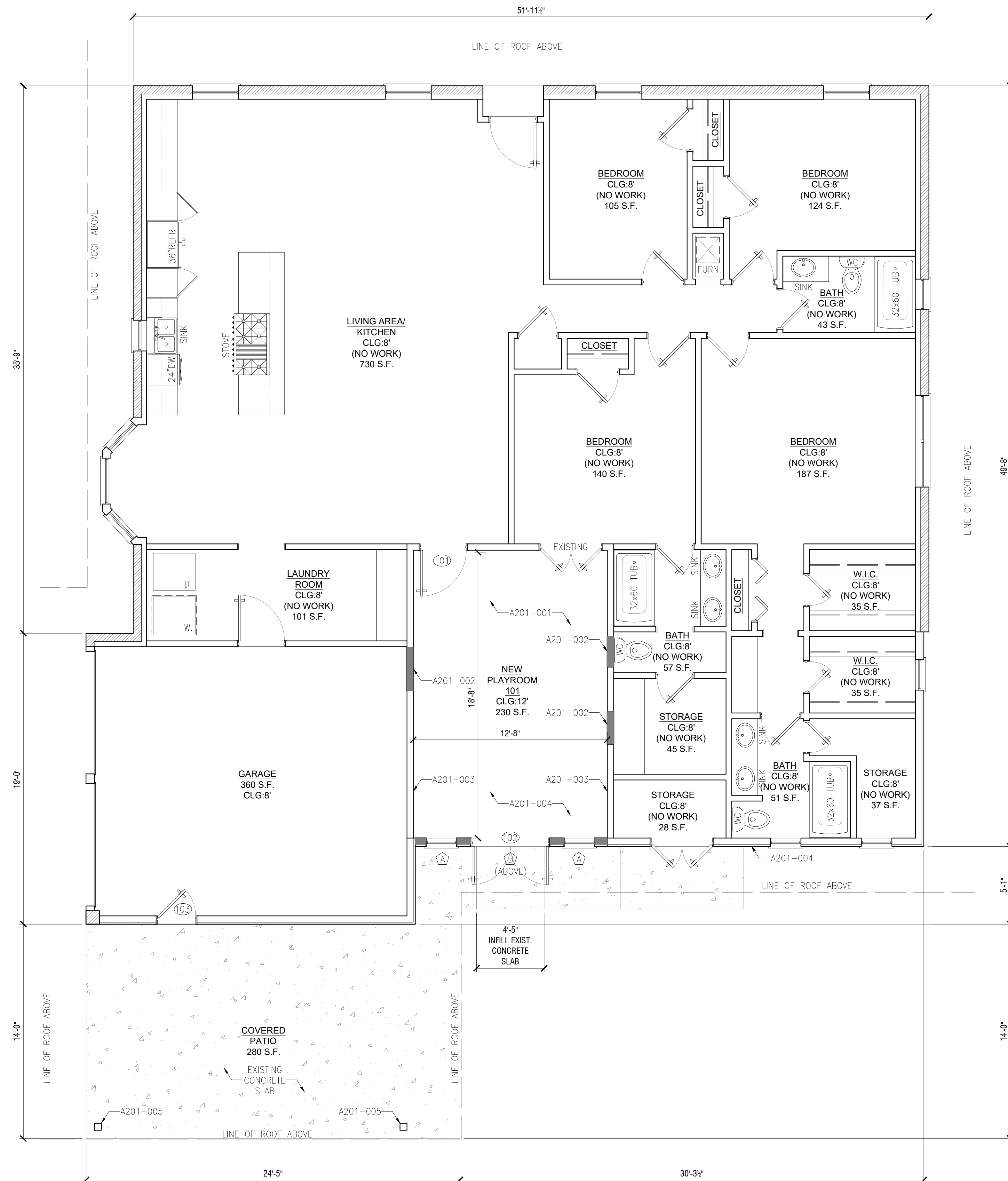
WINDOW SCHEDULE

MARK	SIZE (WxH)	HEAD HEIGHT	DESCRIPTION	COUNT
(A)	2'-0"x4'-8"	6'-8"	DOUBLE PANE SINGLE HUNG WINDOW	2
(B)	2'-6"x1'-6"	10'-6"	DOUBLE PANE FIXED WINDOW	4

* GLAZING IS GREATER THAN 60" AFF.
** MEETS EGRESS REQUIREMENTS PER SECTION R310 OF IRC 2021 ed.

DOOR SCHEDULE

DOOR #	DOOR SIZE (WxH)	DESCRIPTION	FINISH	MATERIAL	FRAMING	HEAD & JAMB	FINISH	HRD. WARE	REMARKS
101	3'-0"x6'-8"	SOLID WOOD INTERIOR DOOR	WOOD	WOOD	WOOD	WOOD	PAINT	---	---
102	(2) 2'-6"x6'-8"	EXTERIOR DOOR W. GLASS INSET	WOOD	WOOD	WOOD	WOOD	PAINT	---	TEMPERED GLASS
103	2'-6"x6'-8"	EXTERIOR DOOR	WOOD	WOOD	WOOD	WOOD	PAINT	---	---



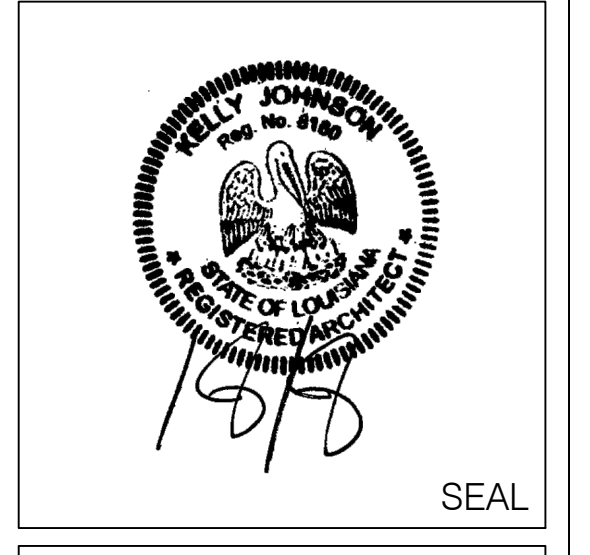
1 PROPOSED PLAN

- Scale: 1/4" = 1'-0"
- NOTES:
- OWNER TO HIRE STRUCTURAL ENGINEER FOR NEW FOUNDATION & ROOF FRAMING SIZING & DETAILS.
 - INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL OR TILE.
 - SEE A301 FOR LIGHTING/ELECTRICAL PLAN.

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



ENGINEER

LOCATION:
PRIVATE RESIDENCE
1568 ENGLEWOOD DRIVE
SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kkjohntonarchitecture.com

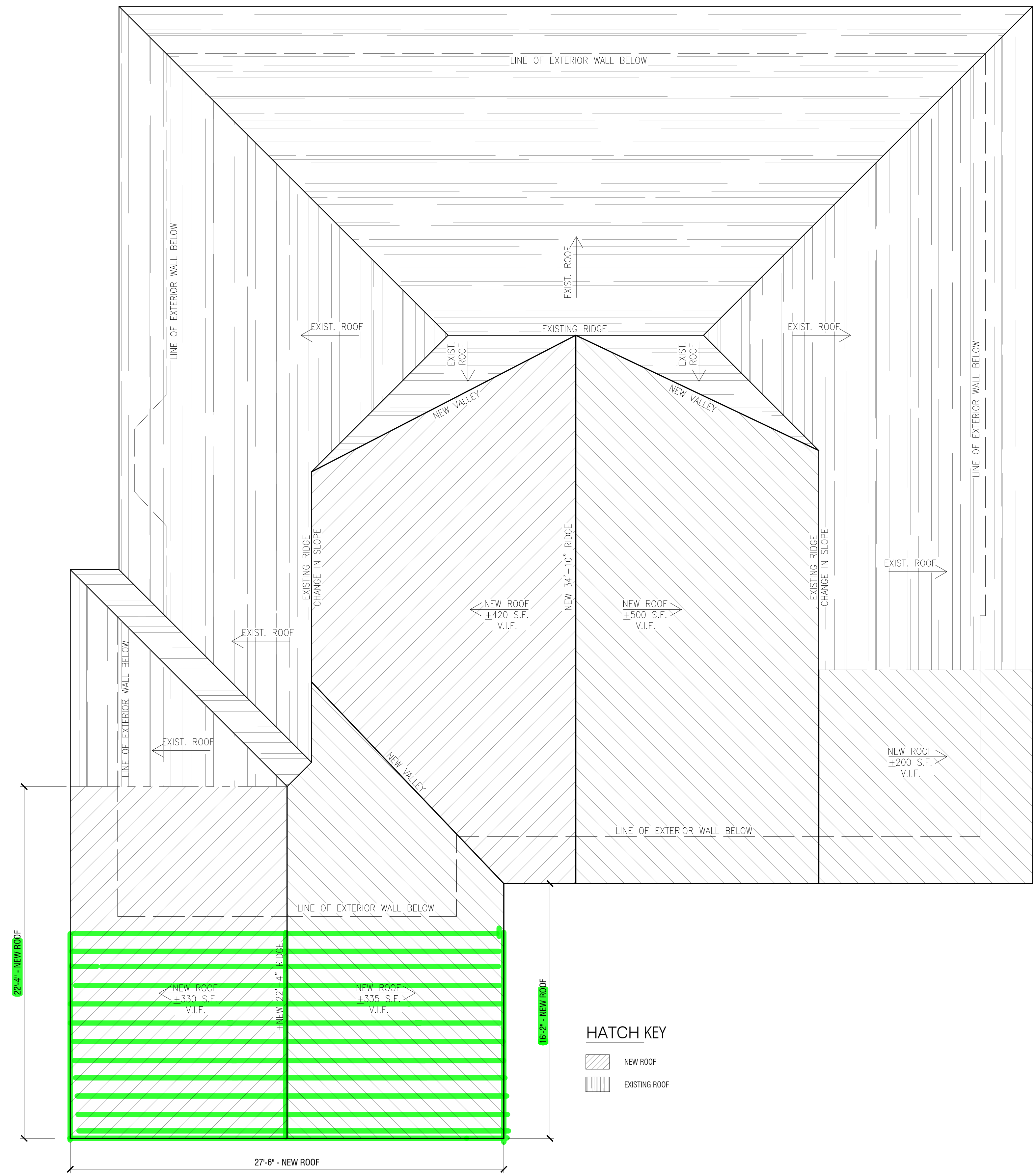
DRAWING TITLE:
PROPOSED PLAN AND SCHEDULES

PROJECT:
24-R-12

FOR PERMIT

A201

SHEET



HATCH KEY

- NEW ROOF
- EXISTING ROOF

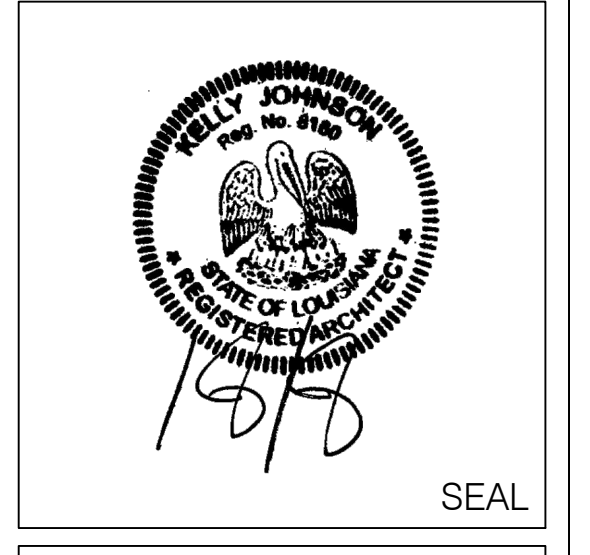
1 **PROPOSED ROOF PLAN** Scale: 1/4" = 1'-0"

NOTES:
 -- OWNER/CONTRACTOR TO HIRE STRUCTURAL ENGINEER FOR NEW FOUNDATION & ROOF FRAMING SIZING & DETAILS.

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



ENGINEER

LOCATION:
PRIVATE RESIDENCE
 1568 ENGLEWOOD DRIVE
 SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
 4618 Camp Street, New Orleans, LA 70115
 p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:
PROPOSED ROOF PLAN

PROJECT:
24-R-12

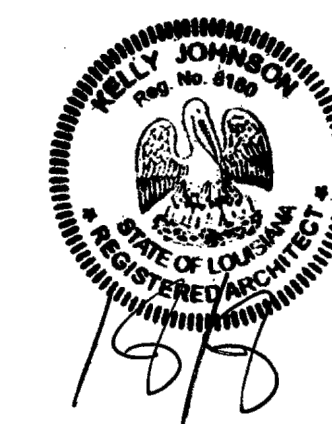
FOR PERMIT

A202

SHEET

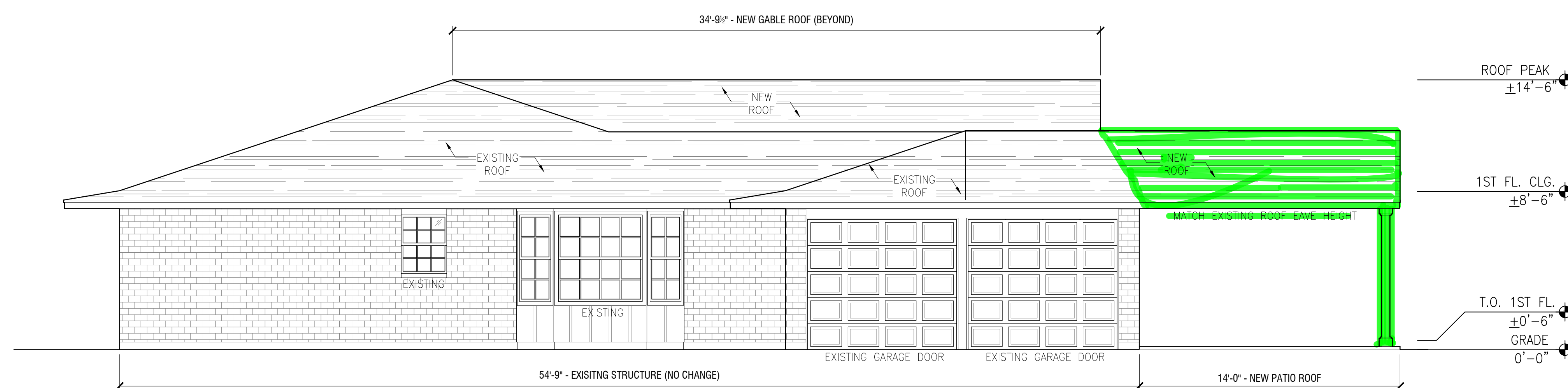
DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24
DRAWN BY: KJ		



SEAL

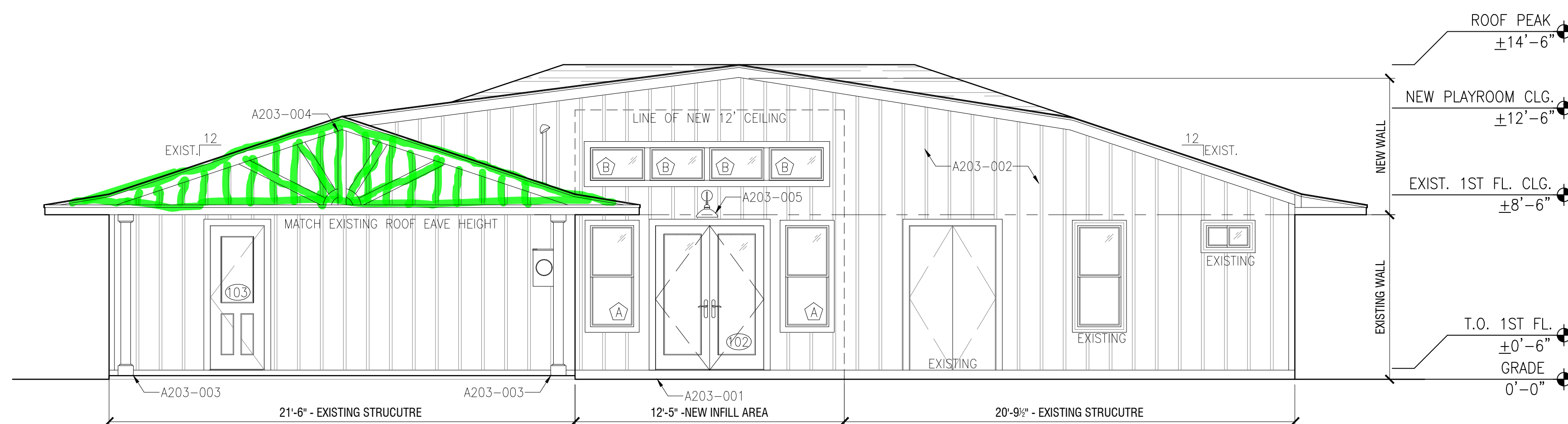
ENGINEER



2 SIDE ELEVATION

Scale: 1/4"=1'-0"

KEY NOTES	
TAG	DESCRIPTION
A203-001	RAISE SLAB SO THAT FINISHED FLOOR MATERIAL IN PLAYROOM WILL BE FLUSH WITH EXISTING INTERIOR FLOORS. OWNER TO HIRE STRUCTURAL ENGINEER FOR NEW FOUNDATION PLAN & DETAILS.
A200-002	EXTEND EXTERIOR WALLS UP TO BOTTOM OF NEW GABLE ROOF.
A200-003	NEW WRAPPED PRESSURE TREATED WOOD COLUMN, STAINED & SEALED OR PAINTED. OWNER TO HIRE STRUCTURAL ENGINEER TO SIZE COLUMN.
A200-004	PRESSURE TREATED WOOD DETAIL @ GABLE END OF ROOF. VERIFY W. OWNER.
A200-005	OWNER-SUPPLIED EXTERIOR LIGHT FIXTURE.



1 REAR ELEVATION

Scale: 1/4"=1'-0"

LOCATION:
PRIVATE RESIDENCE
1568 ENGLEWOOD DRIVE
SLIDELL, LA 70458

KK JOHNSON ARCHITECTURE
4618 Camp Street, New Orleans, LA 70115
p: 504.327.9717 e: kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:

EXTERIOR ELEVATIONS

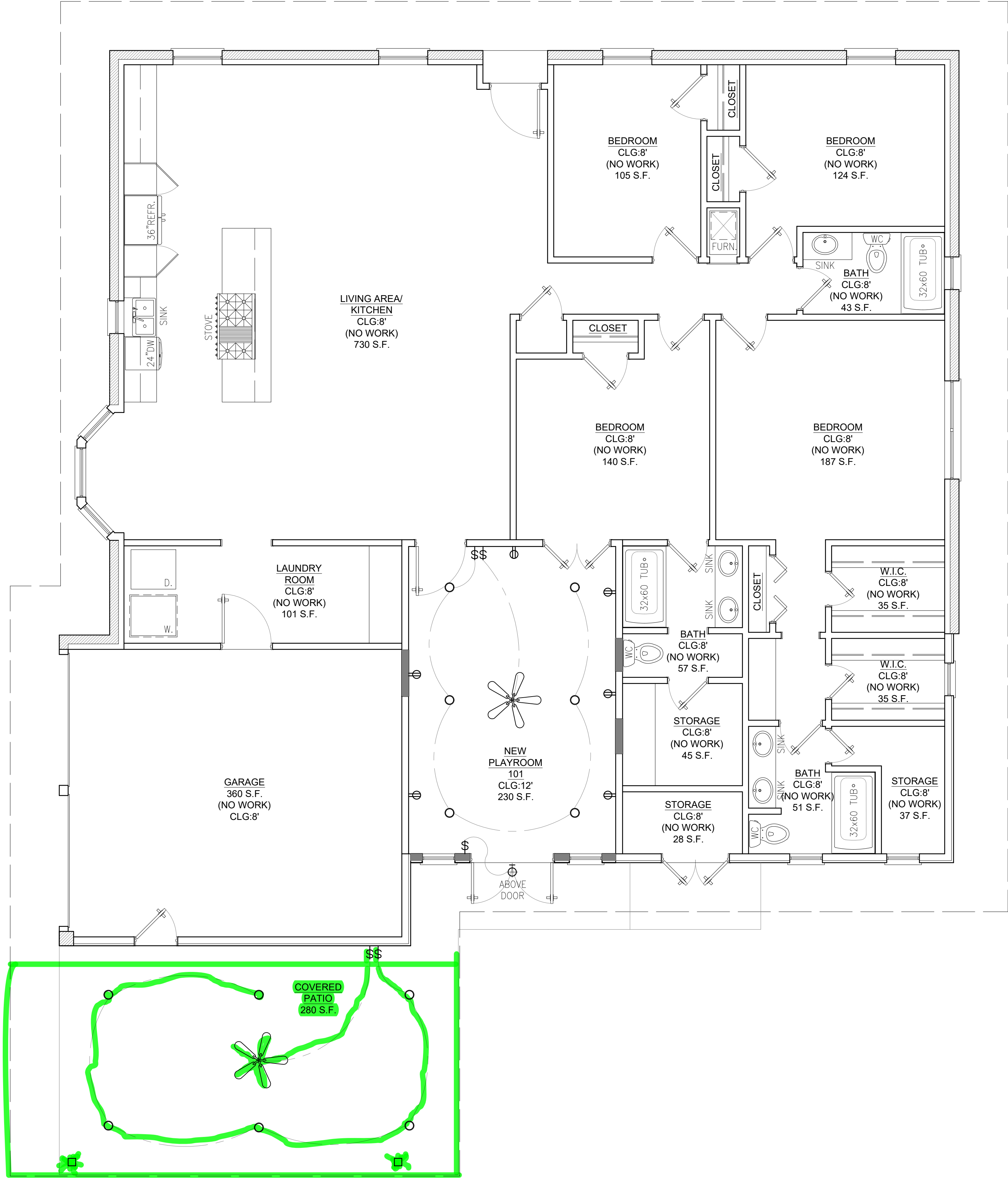
KK JOHNSON ARCHITECTURE

PROJECT: 24-R-12

FOR PERMIT

A203

SHEET



SYMBOLS KEY

- | | | | |
|---|----------------------------------|---|----------------------------|
| ○ | 4" RECESSED CAN LIGHT FIXTURE | ⊕ | OUTLET |
| ⊕ | W/ DAYLIGHT LED LIGHTS | ⊕ | OUTLET, COUNTER HEIGHT |
| ⊕ | DECORATIVE CHANDELIER | ⊕ | EXISTING OUTLET LOCATION |
| ⊕ | DECORATIVE PENDANT | ⊕ | OUTLET, WET LOCATION |
| ⊕ | DECORATIVE CEILING MOUNT FIXTURE | ⊕ | CEILING FAN |
| ⊕ | DECORATIVE WALL MOUNT FIXTURE | ⊕ | DISCONNECT |
| ⊕ | GAS CONNECTION OR FIXTURE | ⊕ | TELEVISION |
| ⊕ | VENT LIGHT | ⊕ | CONFIRM LOCATIONS W. OWNER |
| ⊕ | AUTOMATIC SENSOR LIGHT | ⊕ | THERMOSTAT |
| ⊕ | LIGHT SWITCH | ⊕ | HOSE BIB |
| ⊕ | THREE-WAY LIGHT SWITCH | ⊕ | CARBON MONOXIDE/ |
| ⊕ | SMOKE DETECTOR | ⊕ | SMOKE DETECTOR |

ELECTRICAL/LIGHTING NOTES

- OWNER TO PROVIDE ALL FIXTURES EXCEPT RECESSED CANS.
- OWNER TO VERIFY LOCATION OF ALL OUTLETS, SWITCHES & FIXTURES PRIOR TO WIRING & INSTALLATION.
- ALL PERMITS AND INSPECTIONS TO BE OBTAINED BY ELECTRICIAN AS REQUIRED BY LOCAL CODES AND NEC.
- RECEPTACLES IN WET AREAS (BATHROOMS AND KITCHENS) SHALL BE LOCATED IN ACCORDANCE WITH NEC AND SHALL BE GROUND FAULT CIRCUITED (GFI).
- RECEPTACLES IN BEDROOMS SHALL BE LOCATED IN ACCORDANCE WITH NEC AND SHALL BE ARC-FAULT CIRCUITED (AFI).
- PROVIDE DISCONNECT FOR DISHWASHER AND AIR CONDENSER.

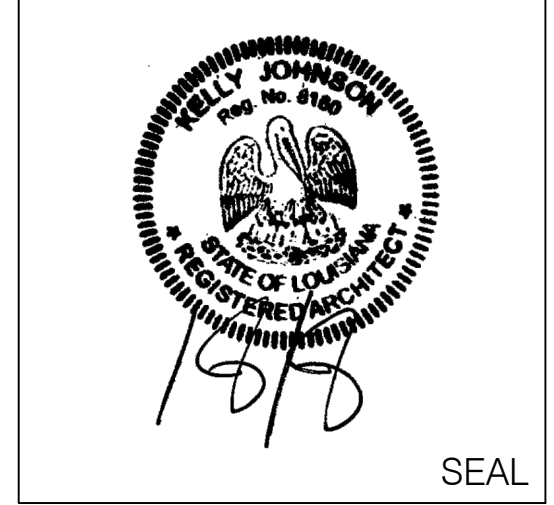
1 PROPOSED PLAN

- Scale: 1/4" = 1'-0"
- NOTES:
- OWNER/CONTRACTOR TO HIRE STRUCTURAL ENGINEER FOR NEW FOUNDATION & ROOF FRAMING SIZING & DETAILS.
 - HVAC CONTRACTOR TO VERIFY EXISTING SYSTEM CAN CARRY ADDITIONAL LOAD.
 - NO NEW PLUMBING.

DOB STAMP

NO.	REVISIONS/SUBMISSIONS	DATE
	FOR PERMIT	09/03/24

DRAWN BY: KJ



ENGINEER

LOCATION:
PRIVATE RESIDENCE
 1568 ENGLEWOOD DRIVE
 SLIDELL, LA 70458

DRAWING TITLE:
**MECHANICAL, ELECTRICAL
 & PLUMBING PLAN & NOTES**

PROJECT:
24-R-12

FOR PERMIT

A301

SHEET