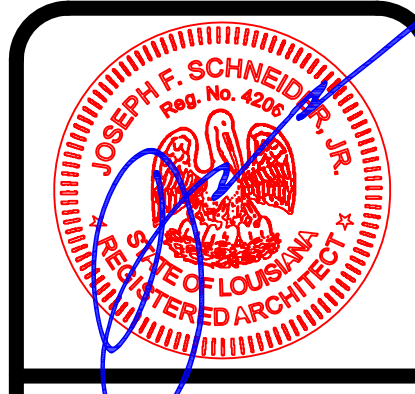


REVISIONS	BY



LEVEL-2 LESS THAN 50% INTERIOR RENOVATIONS FOR
 39299 MANZELLA DRIVE
 SLIDELL, LOUISIANA 70461

JOSEPH F. SCHNEIDER JR., AIA
 ARCHITECT
 LA #4206 MS #3020 AL #8724 FL #AR09508 TX #24294
 105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460
 (985) 847-0714 jfsarchitect@charter.net

DRAWN
 CHECKED
 J. SCHNEIDER
 DATE
 11/18/2024
 SCALE
 AS NOTED
 JOB NO.
 SHEET
T-1
 OF SHEETS

LEVEL-2 LESS THAN 50% INTERIOR RENOVATIONS FOR

39299 MANZELLA DRIVE SLIDELL, LOUISIANA 70461

PROJECT DESCRIPTION: THE EXISTING BUILDING WAS CONSTRUCTED IN THE 1970'S. THE STRUCTURE IS A STEEL PRE-ENGINEERED BUILDING WITH A COMBINATION OF EXTERIOR METAL SIDING AND BRICK VENEER OVER WOOD STUD FRAMING. THE ORIGINAL BUILDING WAS USED AS ROLLER SKATING RING. IN THE 1990'S THE BUILDING WAS USED AS STORAGE/ WAREHOUSE, OFFICES FOR A BUSINESS AND A SMALL LIVING AREA. THE NEW OWNER WILL USE THE BUILDING AS A MODERATE HAZARD STORAGE WAREHOUSE AND BUSINESS OFFICES. THE BUILDING'S EXISTING 10,790SF AREA WILL REMAIN THE SAME. THE EXISTING GROUND FLOOR 3,393 SF WILL BECOME BUSINESS OFFICES. THE EXISTING SECOND FLOOR 3,384SF WILL BE FOR FUTURE OFFICES. NO WORK ON THE SECOND FLOOR (PHASE-2) WILL BE DONE AS PART OF THIS PROJECT.

BUILDING GROSS SQUARE FOOTAGE FIRST AND SECOND FLOORS
GROSS BUILDING AREA: 18,405 SQ. FT. (FLOORS ONE & TWO)

GROUND FLOOR:	15,021 SF	SECOND FLOOR:	3,384 SF
"B" (BUSINESS)	3,393 SF	"B" (BUSINESS)	3,384 SF
S-1 (MODERATE HAZARD)	11,628 SF		
STORAGE	15,021 SF		
TOTAL	15,021 SF		
TOTAL BOTH FLOORS 18,405 SF			

OCCUPANCY LOAD: (TOTAL BUILDING- FLOORS ONE & TWO)

GROUND FLOOR:

(B) OFFICES/ WAREHOUSE (S-1) MODERATE HAZARD	
BUSINESS OFFICE:	3,215 SF/150 = 2 OCCUPANTS
WAREHOUSE:	11,628 SF/500 = 23 OCCUPANTS

GROUND FLOOR BUSINESS (B):	3,393 SF/150 = 23 OCCUPANTS
OFFICES	

SECOND FLOOR FUTURE:	3,384 SF/150 = 23 OCCUPANTS (FUTURE)
BUSINESS OFFICES (PHASE-2)	

GROUND FLOOR WELL ROOM (S-1)	216 SF/300 = 1 OCCUPANT
GROUND FLOOR WORK AREA (S-1)	301 SF/300 = 1 OCCUPANT

TOTAL OCCUPANTS: 73 OCCUPANTS (INCLUDING FUTURE)

CODES:
 2015 EDITION NFPA LIFE SAFETY CODE-NINTH EDITION- 101
 2021 EDITION INTERNATIONAL BUILDING CODE W/ AMMENDMENTS
 2021 EDITION INTERNATIONAL EXISTING BUILDING CODE (LESS THAN 50%)
 2020 EDITION NATIONAL ELECTRIC CODE (WITH LOUISIANA AMENDMENTS), NFPA 70- 2020 EDITION W/ AMENDMENT
 2021 EDITION INTERNATIONAL MECHANICAL CODE
 2021 EDITION INTERNATIONAL FUEL GAS CODE W/ AMMENMENTS
 2021 EDITION INTERNATIONAL PLUMBING CODE (LOUISIANA PLUMBING CODE W/ AMENDMENTS)
 2021 EDITION IBC EXISTING BUILDING CODE W/ AMENDMENTS
 2019 EDITION NFPA-72 FIRE ALARMS
 2021 EDITION COMMERCIAL ENERGY CODE ASHRAE 90.1
 ADA- ABA JULY 2004 (ALSO KNOWN AS THE 2010 EDITION)

NEW OCCUPANCY: GROUP "B" - (BUSINESS) - IBC-2021, NFPA 101-2021
CONSTRUCTION: TYPE - (VB)
WIND SPEED: 140 MPH- 3 SEC GUST- IBC 2021
 FIGURE 1609C- V-ULT (1609.3) IBC SECTION 1609
WIND ZONE: "B" - IBC-2021 (1609.4.2)
FLOOD CATEGORY: "C" (PRELIMINARY) FIRM PANEL 2252050440D
RISK CATEGORY: II- IBC (TABLE 1604.5)
ROOF LOAD: 20 PSF
SNOW LOAD: 5 PSF
FLOOR LOAD: 100 PSF

WIND DATA
 INTERNAL PRESSURE COEF. : +0.18/ -0.18 (ENCLOSED)- ASCE-7-16

CONSTRUCTION: TYPE VB
 EXISTING MIXED OCCUPANCY S-1 (MODERATE HAZARD), B (BUSINESS), R (RESIDENTIAL)
 NEW OCCUPANCY B (BUSINESS) & S-1 (MODERATE HAZARD STORAGE)

FINISHED FLOOR ELEVATION:
 TOPO FACTOR: "I"
 SEISMIC DESIGN CATEGORY: "A"
 SEISMIC USE GROUP: "I"
 SEISMIC IMPORTANCE FACTOR: 1.0
 SEISMIC SITE CLASS: "D"
 RISK CATEGORY: II
 SEISMIC ZONE: I
 SURFACE ROUGHNESS: "B"

PARKING REQUIREMENTS ST. TAMMANY PARISH PLANNING /ZONING

PHASE-1:		
BUSINESS OFFICES:	3,714 SF/500 SF = 8 SPACES	
WAREHOUSE/ STORAGE:	11,307 SF/1290 SF = 9 SPACES	
TOTAL SPACES REQUIRED = 17 SPACES		

PHASE-2: (FUTURE)	
BUSINESS OFFICES/	
FUTURE 2ND FLOOR:	3,384 SF/500 SF = 7 SPACES

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THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY REQUIREMENTS, AND THAT I AM ADMINISTERING THE PROJECT.

BY:
 LICENSE NO. **4206**

GENERAL PROJECT NOTES:

THE STRUCTURAL CONSTRUCTION DOCUMENT REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURE NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS).

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF ANY ENGINEER REGISTERED IN THE STATE OF LOUISIANA.

THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AS REQUIRED FOR VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.

SHOP DRAWING NOTES:

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY SPECIFICATIONS.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON HIS REVIEW. ALL SHOP DRAWINGS SHALL BE REVIEW STAMPED BY CONTRACTOR PRIOR TO SUBMITTAL.

VERIFY ALL DIMENSIONS:

ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES, SHALL TO BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

THE ARCHITECT MAY DISAPPROVE CHANGES TO THE SHOP DRAWINGS IDENTIFIED AND SUBMITTED BY THE CONTRACTOR DURING SHOP DRAWING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT ARE NOT TO BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

CONTRACTOR SHALL NOT REPRODUCE ANY PORTION OF CONTRACT DOCUMENTS FOR SHOP DRAWINGS.

GENERAL NOTES:

- ALL INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450.
- INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD OF 0-75 AND SMOKE DEVELOPED RATING OF 0-450. CLASS "A" AT INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMP AND EXIT PASSAGEWAYS.
 - INTERIOR WALLS AND CEILINGS FINISHES AT CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP SHALL BE CLASS "B" FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450
 - INTERIOR WALLS AND CEILINGS AT ROOMS AND ENCLOSED SPACES SHALL BE CLASS "C": FLAME SPREAD 0-200, SMOKE DEVELOPED 0-450
- PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH NFPA AND BE 4A-60BC, 10 LB. WALL MOUNTED WITH BRACKETS AT 5'-0" TO CENTER OF EXTINGUISHER DIAL. - TYPE "K" AT KITCHEN 1 & 2 WHERE INDICATED ON PLANS.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70- 2014 EDITION.
- ALL HVAC WORK SHALL COMPLY WITH NFPA 101.9.2. - 2015 EDITION.
- CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.
- CONTRACTOR TO PROVIDE ALL INSURANCE DURING THE PROJECT AS INDICATED ON BID FORMS.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL CLOSE-OUT DOCUMENTS, WARRANTIES, GUARANTEES, O&M MANUAL, LIEN WAIVERS, AIA FORMS 6706 & G706A, CONSENT OF SURETY, CONTRACTOR'S ONE YEAR WARRANTY, AND "AS-BUILT DRAWINGS".
- ALL GYPSUM BOARD SHALL BE 5/8" ON FIRE RATED BOARD ON RATED WALLS WHERE INDICATED ON PLANS.
- INSTALL ADA SIGNS AT ALL TOILET ROOMS. EACH SIGN SHALL BE 8" HIGH X 6" WIDE MOUNTED PER ADA REQUIREMENTS. FURNISH SIGNS WITH HANDICAPPED SYMBOL AND BRAILLE TYPE. SIGN SHALL BE LABELED "MEN" & "WOMEN".
- PROVIDE "ADA" WALL MOUNTED "EXIT" (NON ILLUMINATED) SIGN AT ALL EXITS. COORDINATE LOCATION WITH ARCHITECT.
- ALL MEMBRANE PENETRATION SHALL CONFORM TO IBC 2015 - 711.3.2 AND 711.3.1.2.

DRAWING INDEX

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A-3	DEMOLITION GROUND FLOOR	A-15	PROJECT NOTES
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ABBREVIATIONS

ACT	ACCOUSTICAL TILE
A.F.S	ABOVE FLOOR SLAB
AHU	AIR HANDLER UNIT
ALUM	ALUMINUM
CLG	CEILING
C.J.	CONTRACTION JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DET	DETAIL
DG	DOOR GRILLE
ELEV	ELEVATION
EWC	ELECTRIC WATER COOLER
E.J.	EXPANSION JOINT
FD	FIRE DAMPER
FE	FIRE EXTINGUISHER
F.F.	FACTORY FINISH
FLR	FLOOR
F.O.B.	FACE OF BRICK
F.O.S.	FACE OF STUD/ FACE OF SLAB
GA	GAUGE
GALV	GALVANIZED
GYP BD	GYPSUM BOARD
HDW	HARDWOOD
H.MET	HOLLOW METAL
HT	HEIGHT
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
N.L.C.	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
P	PAINT AND COLOR NO.
PL	PLASTIC LAMINATE AND COLOR NO.
PT	PRESSURE TREATED
PVC	POLY VINYL CHLORIDE
RAD	RADIUS
R/A/G	RETURN AIR GRILLE
REINF	REINFORCING
RET	RETAINING
SCWD	SOLID CORE WOOD
SIM	SIMILAR
SHT	SHEET
SO	SQUARE
STL	STEEL
THK	THICK
T.J.	TOOLED JOINT
T.O.B.	TOP OF BRICK
TYP	TYPICAL
USPS	UNITED STATES POSTAL SERVICE
VCT	VINYL COMPOSITION TILE
WD	WOOD
WWF	WELDED WIRE FABRIC

SYMBOLS

	EARTH & FILL		GRAVEL
	CONCRETE		BRICK
	CMU		RIGID INSULATION
	FINISH WOOD		STEEL
	ROUGH WOOD/STUDS OR BLOCKING		BATT INSULATION
	PLYWOOD		GYPSUM DRYWALL
	ACCOUSTICAL TILE		

PLAN & SECTION INDICATIONS

	BRICK		CONCRETE
--	-------	--	----------

ELEVATION INDICATIONS

	BUILDING OR WALL DETAIL		WINDOW NUMBER
	DETAIL REFERENCE		DOOR NUMBER
	CONTROL POINT ELEVATION		SITE GRAPHIC
			FXP FIXTURE NUMBER

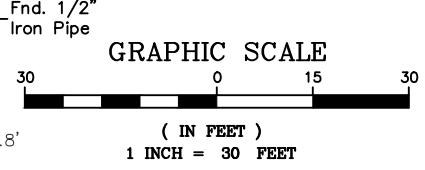
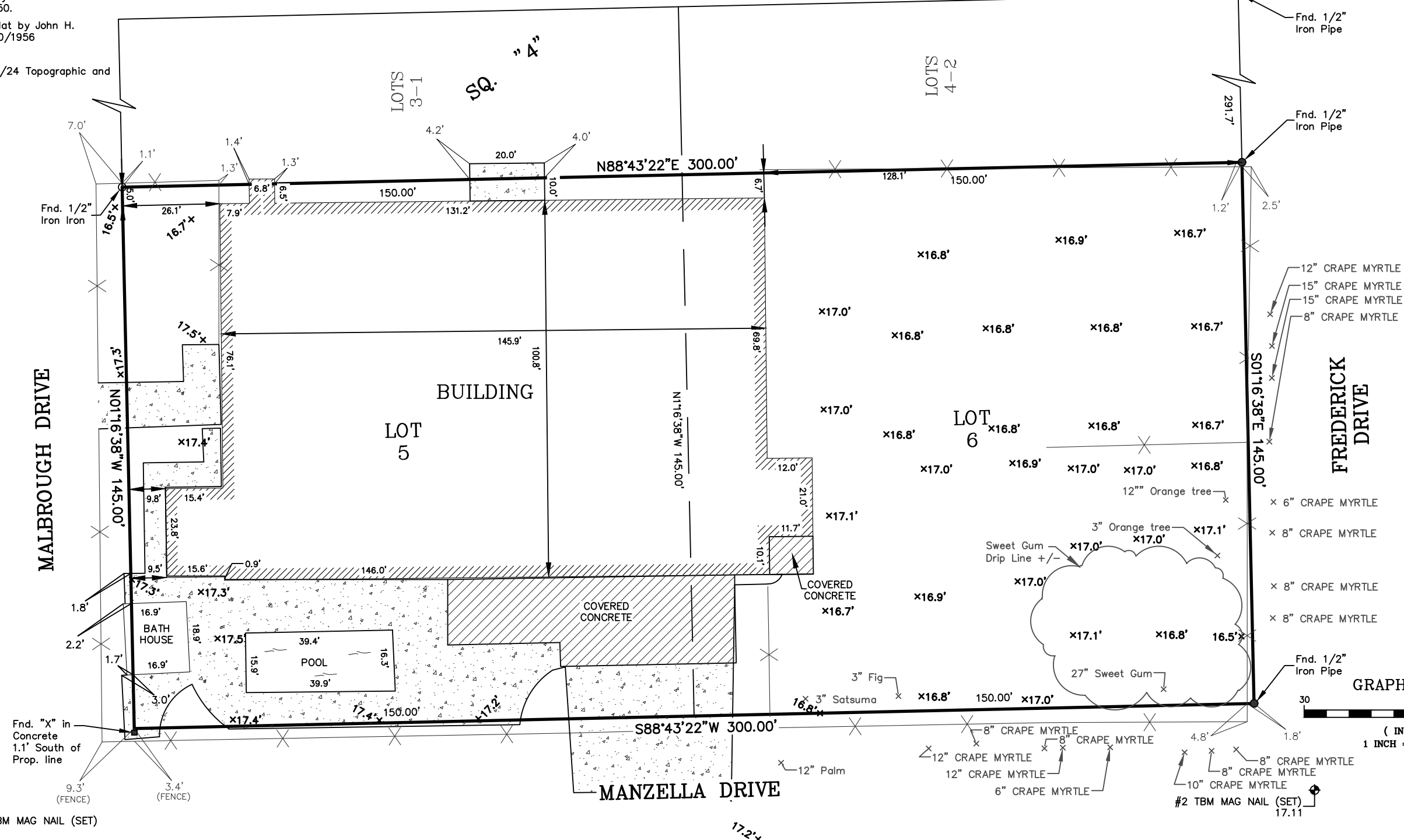
NOTE: BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702 - NAD83) BASED ON GPS RTN TIES ACCESSED ON 06/04/2024.

REFERENCE: A Survey plat by this firm Dated 03/27/1996 Survey # 960550.

REFERENCE: A Subdivision plat by John H. Sollbrger, C.E. Dated 11/20/1956 Survey # 960550.

REFERENCE: Revised: 08/27/24 Topographic and tree survey.

GAUSE BLVD.
(a.k.a. U.S. HWY. 190)



PATHFILE: Q:\SURVEYING\2024\LOT SURVEY\ROBERT PARK\20240182, LOTS 5 & 6, SQ. 4, KB\20240182.dwg

SCALE: 1" = 30'	
DATE: 06/04/2024	
DRAWN BY: VLL	CHECKED BY: JDL
DWG. NO: 20240182	
SHEET 1 OF 1	

I certify that this plat does represent an actual ground survey and that to the best of my knowledge no encroachments exist either way across any of the property lines, except as shown. Encumbrances shown hereon are not necessarily exclusive. Encumbrances of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

I have consulted the Flood Insurance Rate Maps and found this property is not in a Special Flood Hazard Area.

F.I.R.M.: 225205 0440 D
DATE: 04/21/1999
ZONE: C
B.F.E. = N/A
* Verify prior to construction with local governing body.

A TOPOGRAPHIC & TREE SURVEY PLAT OF LOTS 5 & 6, SQ. 4, ROBERT PARK S/D IN SECTION 12, T-9-S, R-14-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. Survey is valid only if print has original seal of surveyor. Property is not surveyed in accordance with the Louisiana "Standards of Practice for Property Boundary Surveys." Bearings are based on record bearings unless noted otherwise.

KB KAUFMANN & COMPANY, INC.

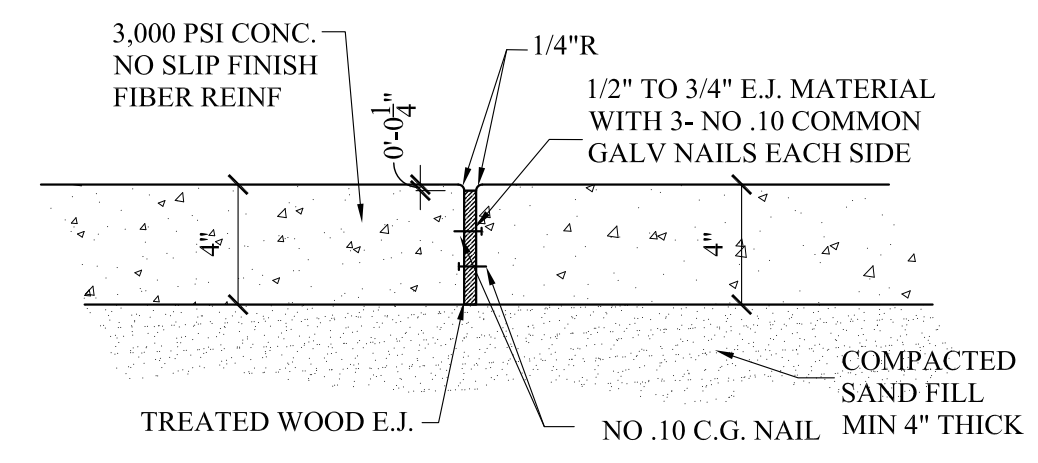
J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

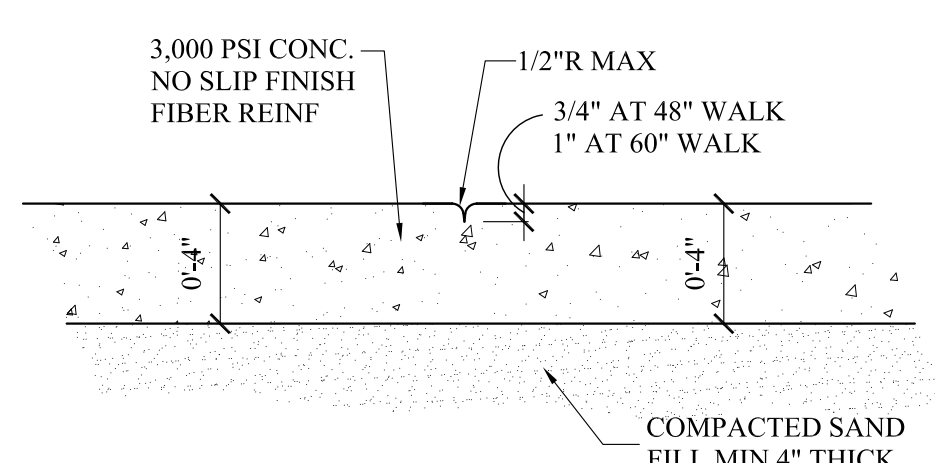
Phone: 985-649-0075 Fax: 985-649-0154

SURVEYED BY:
SEAN M. BURKES
LA REG. No. 4785

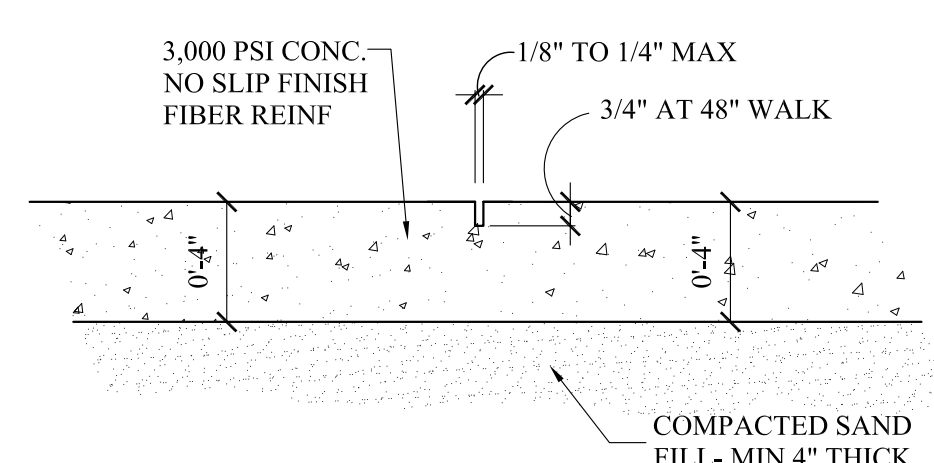
REVISIONS	BY



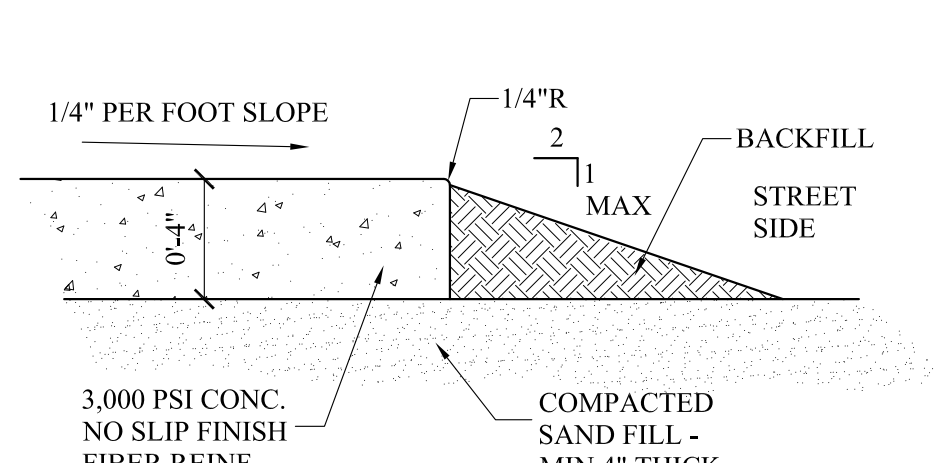
TYPICAL EXPANSION JOINT- SIDEWALK
SPACING MAX 60'-0"



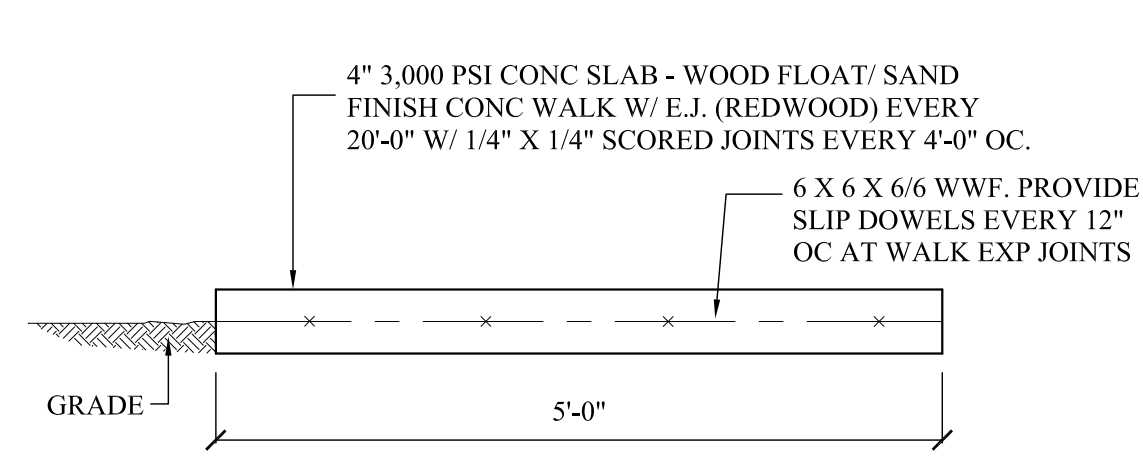
HAND TOOLED SIDEWALK JOINT



TYPICAL SAW CUT JOINT AT WALK

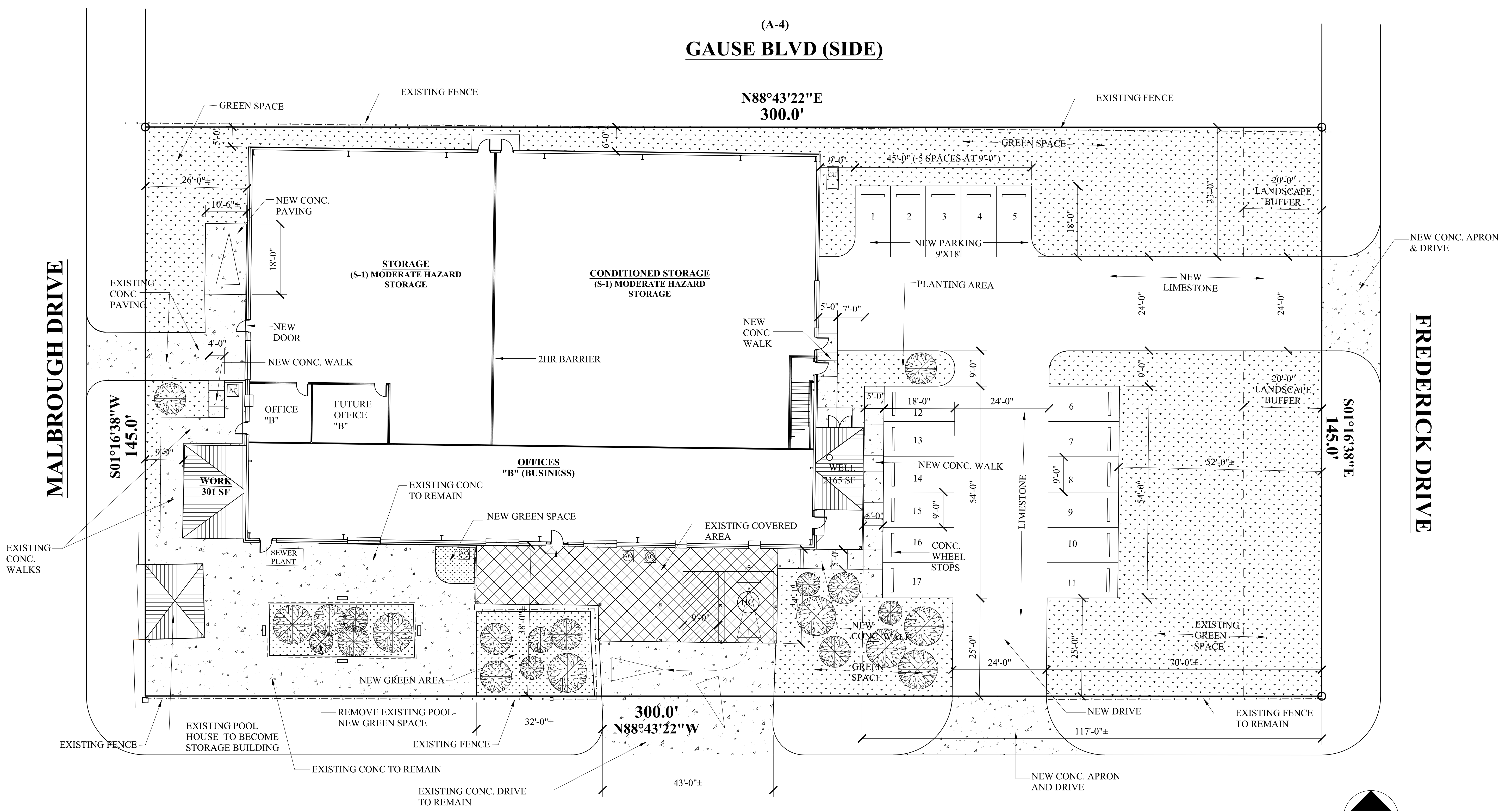


TYPICAL WALK EDGE



DETAIL- CONCRETE WALK
SP-1
NTS

(A-4)
GAUSE BLVD (SIDE)

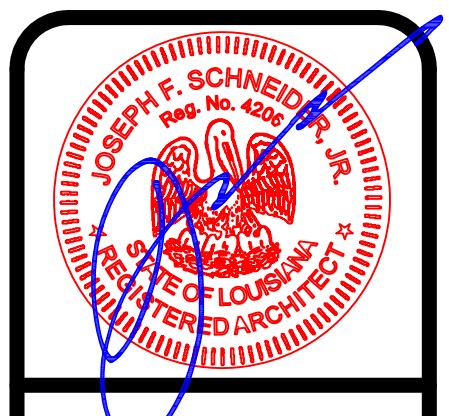


SITE PLAN- NEW WORK

SCALE: NTS

SP-1

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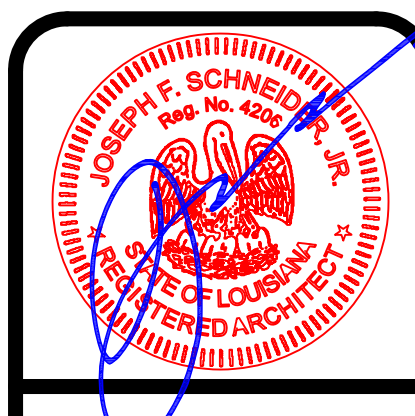


NEW OFFICE/ STORAGE
38299 MANZELLA DRIVE
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jfsarchitect@charter.net

DRAWN
J. SCHNEIDER
CHECKED
J. SCHNEIDER
DATE
11/18/2024
SCALE
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JOB NO.
SHEET
SP-1
OF SHEETS

REVISIONS	BY

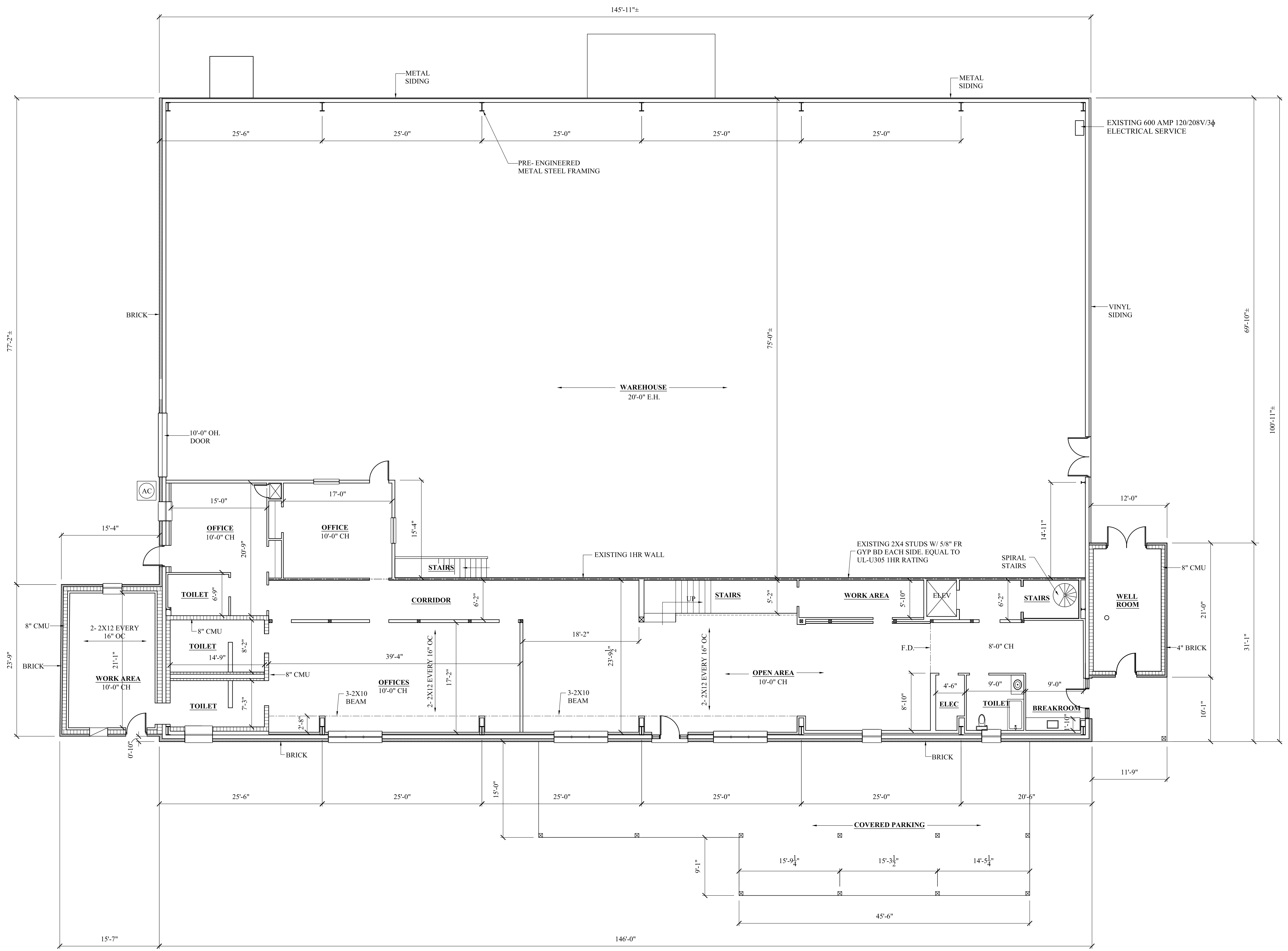


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DRAWN
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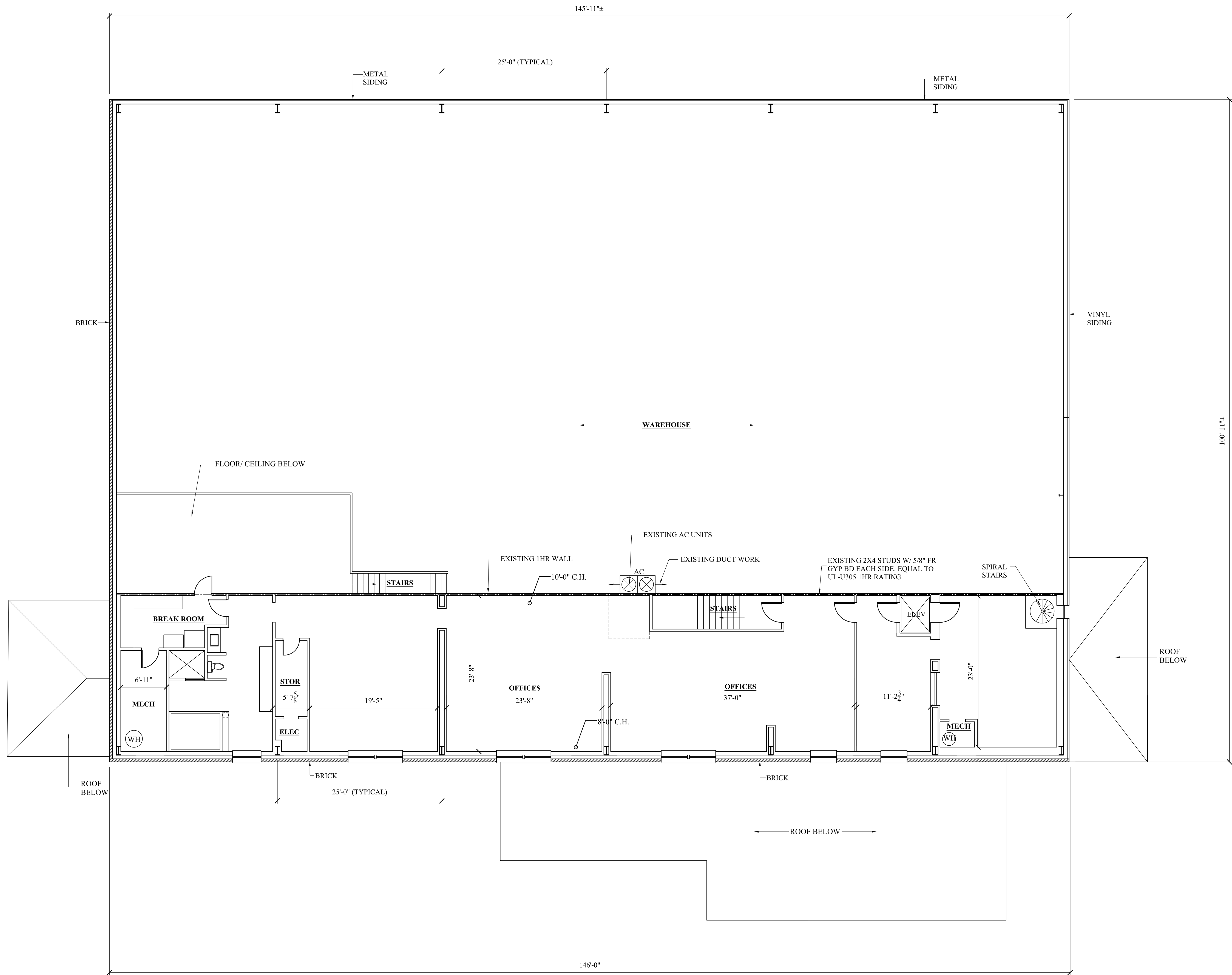


GROUND FLOOR PLAN- EXISTING

SCALE: 1/8" = 1'-0"

A-1

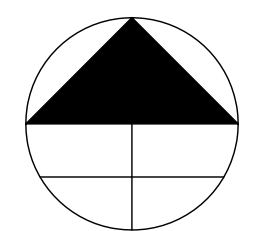
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SECOND FLOOR PLAN- EXISTING

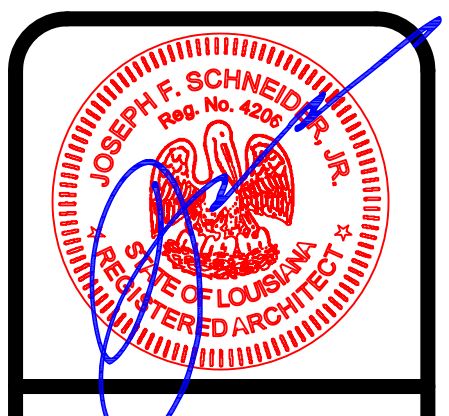
SCALE: 1/8" = 1'-0"

A-2



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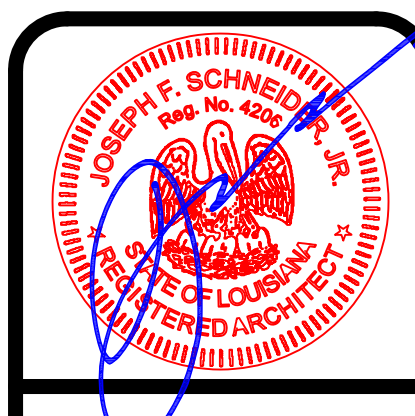


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DRAWN H. SCHNEIDER
CHECKED J. SCHNEIDER
DATE 11/18/2024
SCALE AS NOTED
JOB NO.
SHEET A-2
OF SHEETS

REVISIONS	BY



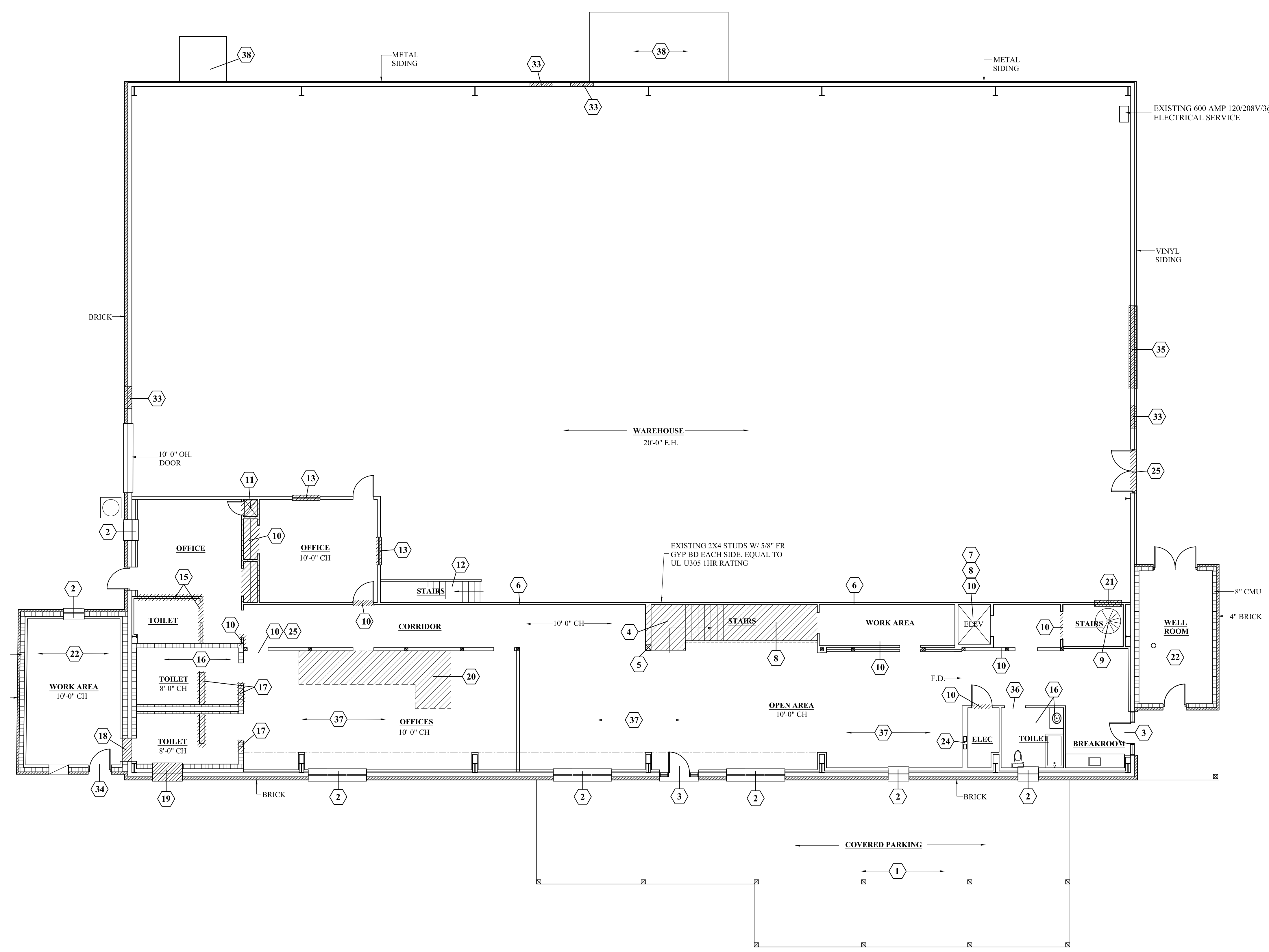
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DRAWN	H. SCHNEIDER
CHECKED	J. SCHNEIDER
DATE	11/18/2024
SCALE	AS NOTED
JOB NO.	
SHEET	A-4
OF	SHEETS

BUILDING DEMOLITION NOTES:

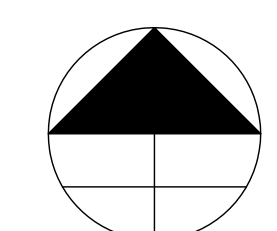
- EXISTING COVERED PARKING AREA AND ROOF TO REMAIN. NO. WORK.
- EXISTING INSULATED WINDOWS TO REMAIN.
- EXISTING EXTERIOR DOORS TO REMAIN. INSTALL NEW ADA THRESHOLDS AND NEW EXIT LEVER HARDWARE AS INDICATED ON PLANS.
- REMOVE EXISTING WOOD FRAMED STAIRS. PREPARE FLOOR OPENING FOR NEW 2X12 FLOOR JOISTS AND DECKING AS INDICATED ON PLANS.
- EXISTING WOOD COLUMN TO REMAIN. ENCLOSE EXISTING 6X6 COLUMNS WITH NEW WOOD CASING AS DETAILED ON PLANS.
- EXISTING 2X4 WOOD STUD WALL WITH 5/8" FR GYPSUM BOARD EACH SIDE EQUAL TO UL-U305 1-HR. RATED BARRIER. REPAIR ALL WALL PENETRATIONS AND DAMAGED AREAS TO MAINTAIN 1-HR. RATING.
- REMOVE EXISTING HYDRAULIC LULA ELEVATOR EQUIPMENT AND WOOD FRAMED ENCLOSURE.
- REMOVE ALL EXISTING ELEVATOR FRAMING AND PREPARE FLOOR OPENING FOR NEW 2X12 JOISTS AND DECKING AS INDICATED ON CONSTRUCTION DRAWINGS.
- REMOVE METAL SPIRAL STAIR. MODIFY EXISTING FLOOR OPENING FOR NEW EXIT STAIR. REFER TO PLANS FOR NEW OPENING AND STAIR DETAILS.
- REMOVE EXISTING WOOD WALL FRAMING.
- REMOVE EXISTING AC UNITS AND ALL DUCTWORK.
- REMOVE EXISTING WOOD STAIRS.
- REMOVE ALUMINUM, FRAMED WINDOWS AND INFILL WITH MATCHING WOOD FRAMING. PREPARE WALL FOR NEW UL-U305 1-HR. BARRIER. MODIFY EXISTING 2X12 FLOOR/CEILING FRAMING FOR NEW UL-L521 1-HR. ASSEMBLY AS DETAILED ON PLANS.
- REMOVE EXISTING DOORS. PREPARE WALL FOR NEW UL-U305 1-HR. BARRIER AND NEW 45-MINUTE METAL DOOR AND FRAME.
- REMOVE TOILET ROOM WALLS AND PLUMBING FIXTURES.
- CUT CONCRETE SLAB AND INSTALL NEW PLUMBING FIXTURE AND PIPING (WATER AND SEWER). BACK FILL ALL EXCAVATIONS AND COMPACT. PROVIDE NEW GROUND VAPOR BARRIER AND TERMITE PROOFING. NEW CONCRETE TOPPING SHALL BE 3,000 PSI CONCRETE, 4" THICK WITH 6X6X6 WWF.
- REMOVE CRU 8" PARTITIONS FOR NEW TOILET ROOM AREA AND EXIT PASSAGEWAY.
- REMOVE WOOD FRAMING AT WALL OPENING AND PREPARE OPENING FOR NEW CRU INFILL.
- REMOVE ALUMINUM WINDOWS AND PREPARE WALL FOR NEW EXTERIOR HOLLOW METAL DOOR AND FRAME AS INDICATED ON PLANS.
- PREPARE 2-2X12 FLOOR JOIST FRAMING AND SECOND FLOOR DECKING FOR NEW EXIT STAIRS AND FLOOR OPENING AS INDICATED ON PLANS.
- PREPARE WOOD FRAMED WALL FOR DOOR AND FRAME TO NEW EXIT STAIRS.
- CLEAN EXISTING WORK. REMOVE ALL DEBRIS AREA. CLEAN ALL FLOOR SURFACES. INSTALL NEW FR 5/8" XP GYPSUM BOARD ON WALL AND CEILING. TAPE, FLOAT, AND PAINT ALL SURFACES.
- REMOVE HOLLOW METAL DOOR IN HOLLOW METAL FRAME. INSTALL NEW 36" HOLLOW METAL HEAVY DUTY INSULATED FLUSH DOOR WITH NEW EXIT HARDWARE AND CLOSER AS INDICATED ON PLANS.
- REMOVE ALL ELECTRICAL PANELS AND ALL SWITCHES, WALL, AND CEILING RECEPTACLES. PREPARE FOR NEW ELECTRICAL SERVICE SYSTEM AS INDICATE DON PLANS.
- REMOVE DOUBLE HOLLOW METAL DOORS AND FRAMES. PREPARE OPENING FOR NEW SINGLE HOLLOW METAL DOOR AND FRAME WITH LEVER EXIT HARDWARE AS INDICATED ON PLANS. INFILLED WALL OPENING WITH STEEL FRAMING AND MATCHING SIDING.
- REMOVE VERTICAL AC UNITS, PLATFORM, DOORS AND ALL DUCTWORK AND CONTROLS. ENCLOSE OPENING TO MAIN EXISTING 1-HR. RATING. PATCH AND REPAIR ALL WALL PENETRATIONS AND DAMAGED AREAS TO MAINTAIN THE 1-HR. EXISTING RATING.
- REMOVE ALL BREAKROOM CABINETS AND COUNTER TOPS, SINK, PLUMBING SEWER, AND WATER LINES. CAP ALL PLUMBING LINES AT FLOOR LEVEL. PATCH ALL WALL PENETRATIONS.
- REMOVE ALL PLUMBING TOILET ROOM FIXTURES, SHOWER, WALL AND FLOOR FINISHES, MILLWORK, ACCESSORIES, AND LIGHTING. CAP ALL PLUMBING LINES AT FLOOR LEVEL. PATCH AND REPAIR ALL WALL AND CEILING PENETRATIONS.
- SAME AS NO. 28.
- REMOVE WOOD DOOR AND FRAME. INFILL WALL, OPENING TO MAINTAIN EXISTING 1-HR. RATING BARRIER.
- EXISTING WATER HEATERS TO REMAIN. SERVICE AND INSTALL NEW WATER CONNECTIONS LINE CONNECTIONS. INSTALL NEW METAL DRAIN PANS A INDICATED ON MECHANICAL PLANS. REFER TO MECHANICAL PLANS FOR ALL DETAILS.
- CLEAN AREA ABOVE OFFICES. REMOVE ALL DEBRIS. REMOVE ALL FLOOR/CEILING PENETRATIONS. REPAIR ALL DAMAGES AREAS TO PROVIDE THE NEW 1-HR. FLOOR/CEILING FIRE RATED ASSEMBLY AS INDICATE DON CONSTRUCTION DOCUMENTS.
- MODIFY WALL GIRTS AND METAL SIDING FOR NEW 3068 X 1 3/4" PEDESTRIAN HOLLOW METAL DOOR AND FRAME AS INDICATED PLANS. PROVIDE NEW METAL TRIM, EXIT LEVER HARDWARE, ADA THRESHOLD AND NEW CONCRETE EXTERIOR PAD.
- REFER TO NOTE NO. 23.
- PREPARE EXTERIOR STEEL WALL GIRTS AND METAL SIDING FOR NEW ROLL UP OVERHEAD DOOR AS INDICATED ON CONTRACTION DRAWINGS.
- NOT USED.
- REMOVE ALL FLEX INSULATED METAL DUCTWORK BETWEEN FLOOR FRAMED CEILING JOIST. REMOVE ALL THERMOSTATS AND CONTROLS.
- REMOVE EXISTING WOOD FRAME LEAN-TO AND ALL RELATED ELECTRICAL WORK. REPAIR WALL OPENINGS.



GROUND FLOOR PLAN- DEMOLITION

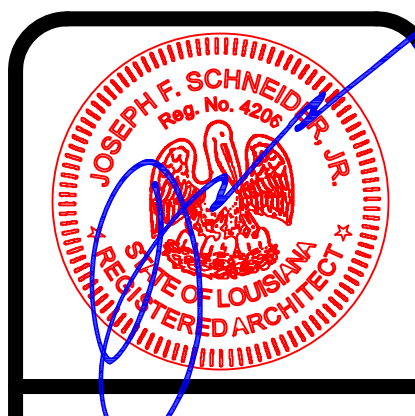
SCALE: 1/8" = 1'-0"

A-3



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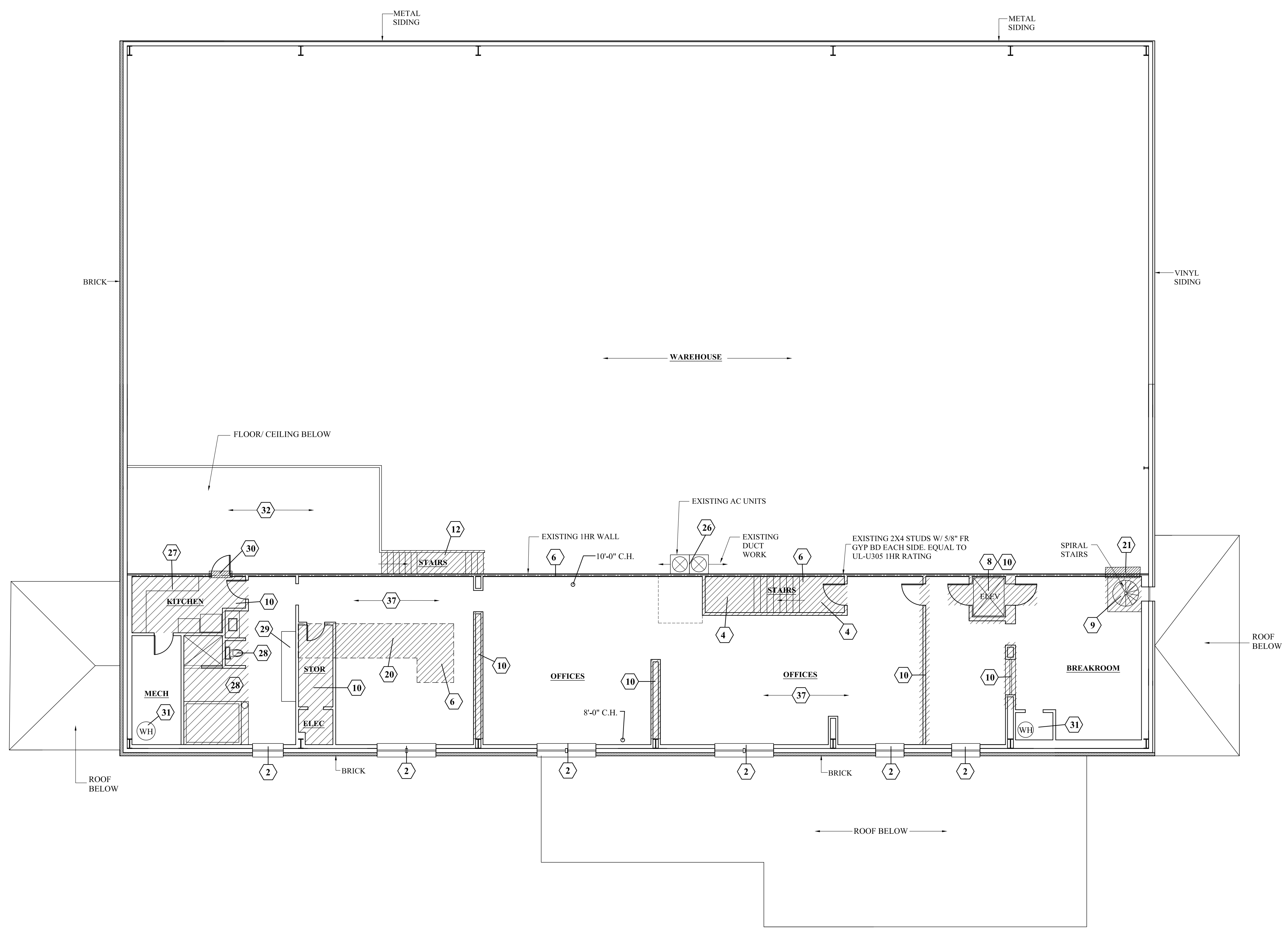
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CHECKED	J. SCHNEIDER
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OF	SHEETS

BUILDING DEMOLITION NOTES:

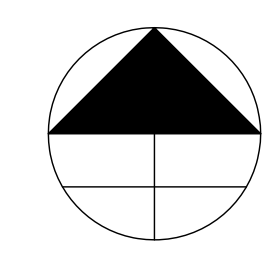
- EXISTING COVERED PARKING AREA AND ROOF TO REMAIN. NO. WORK.
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- REMOVE EXISTING WOOD FRAME LEAN-TO AND ALL RELATED ELECTRICAL WORK. REPAIR WALL OPENINGS.



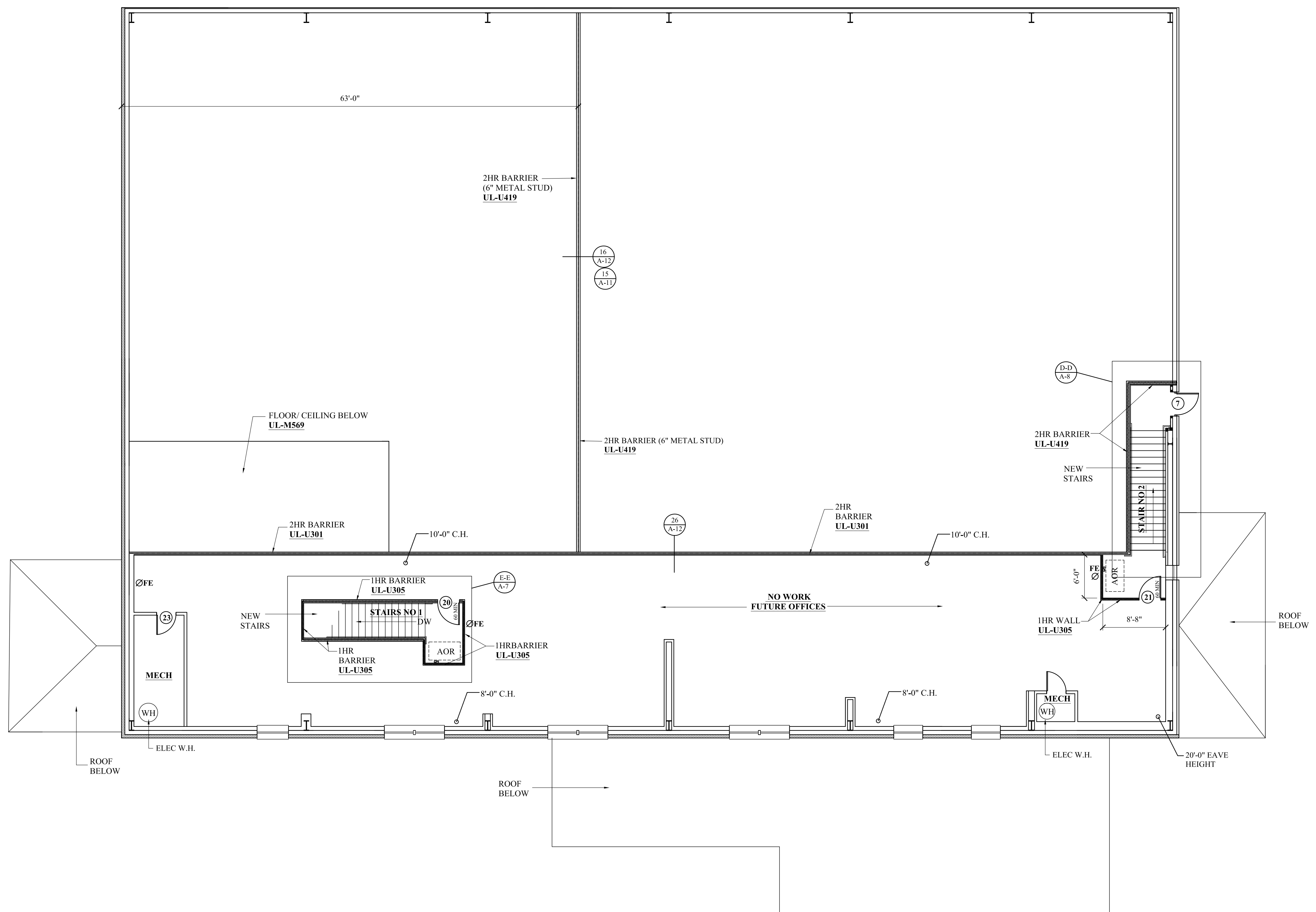
SECOND FLOOR PLAN- DEMOLITION

SCALE: 1/8" = 1'-0"

A-4



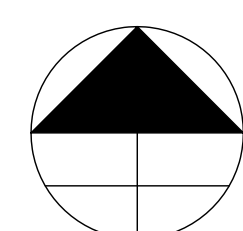
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SECOND FLOOR PLAN- NEW WORK

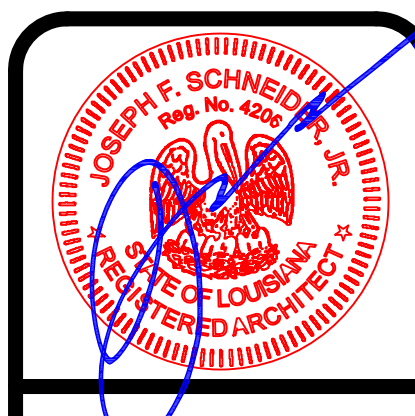
SCALE: 1/8" = 1'-0"

A-6



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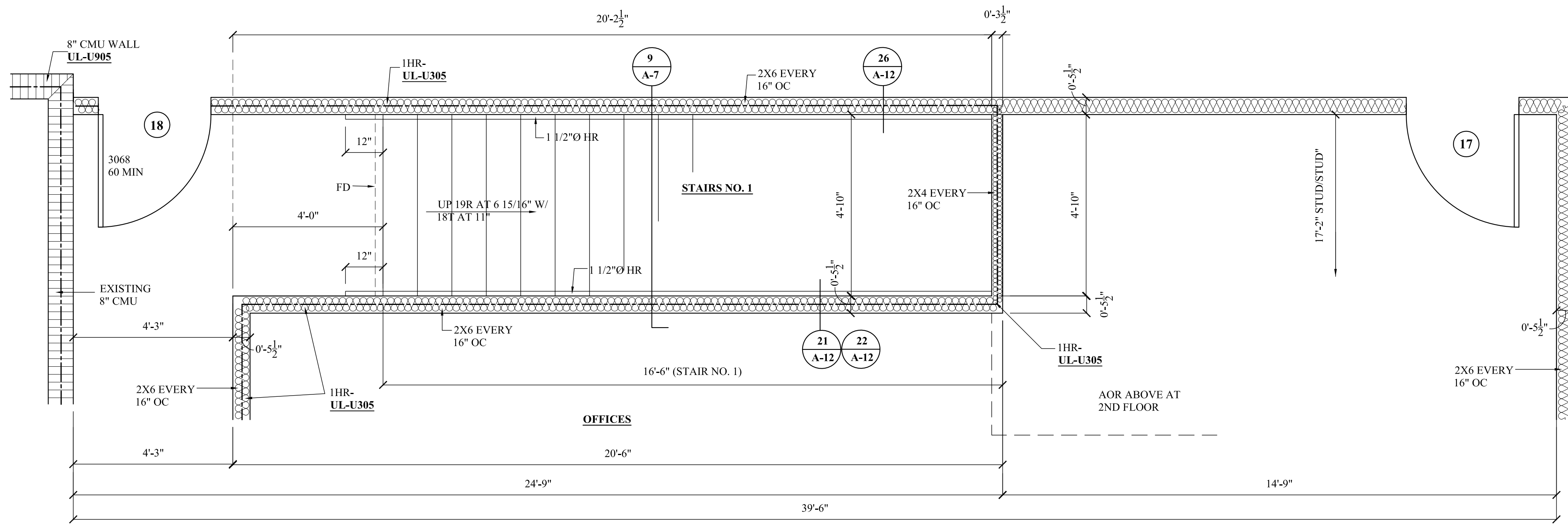
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NEW OFFICE/ STORAGE
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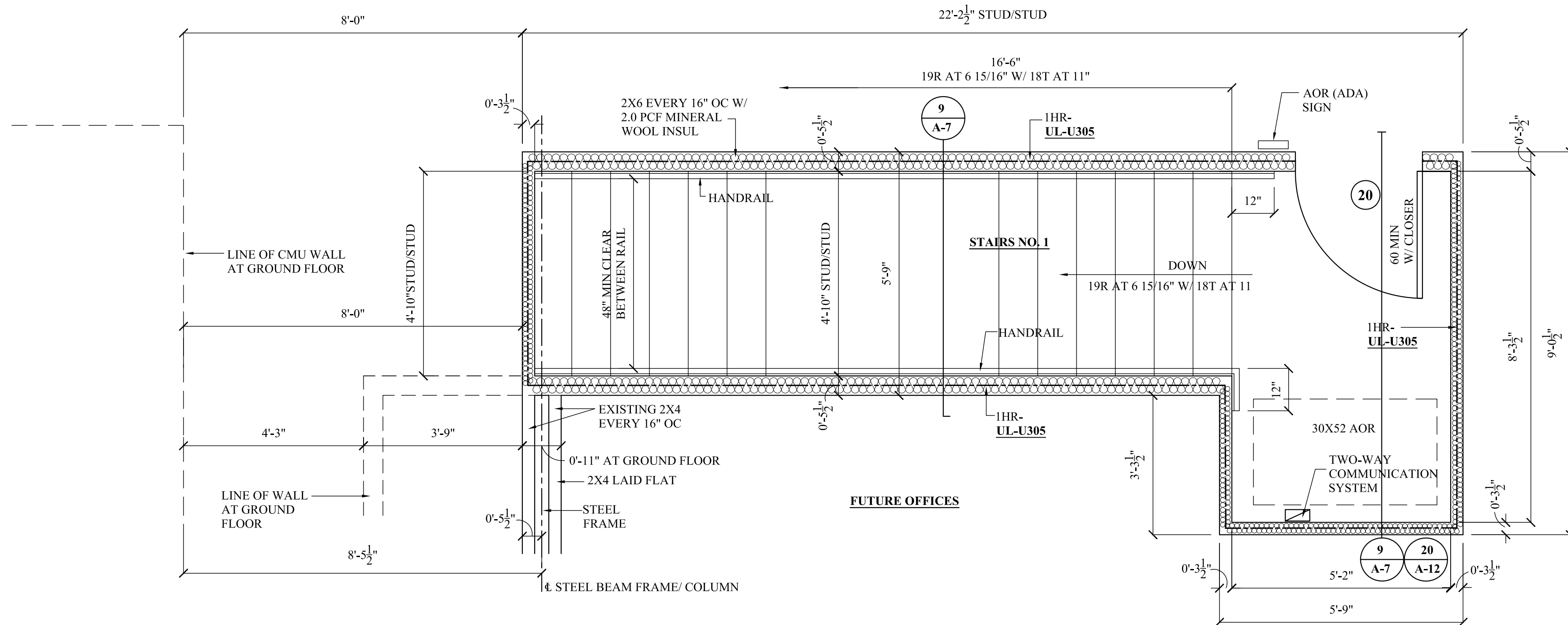
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CHECKED	J. SCHNEIDER
DATE	11/18/2024
SCALE	AS NOTED
JOB NO.	
SHEET	A-6
OF	
SHEETS	



DETAIL- STAIR NO.1 (GROUND FLOOR)

SCALE: 1/2"=1'-0"

E-E
A-7



DETAIL- STAIR NO.1 (SECOND FLOOR)

SCALE: 1/2"=1'-0"

E-E
A-7

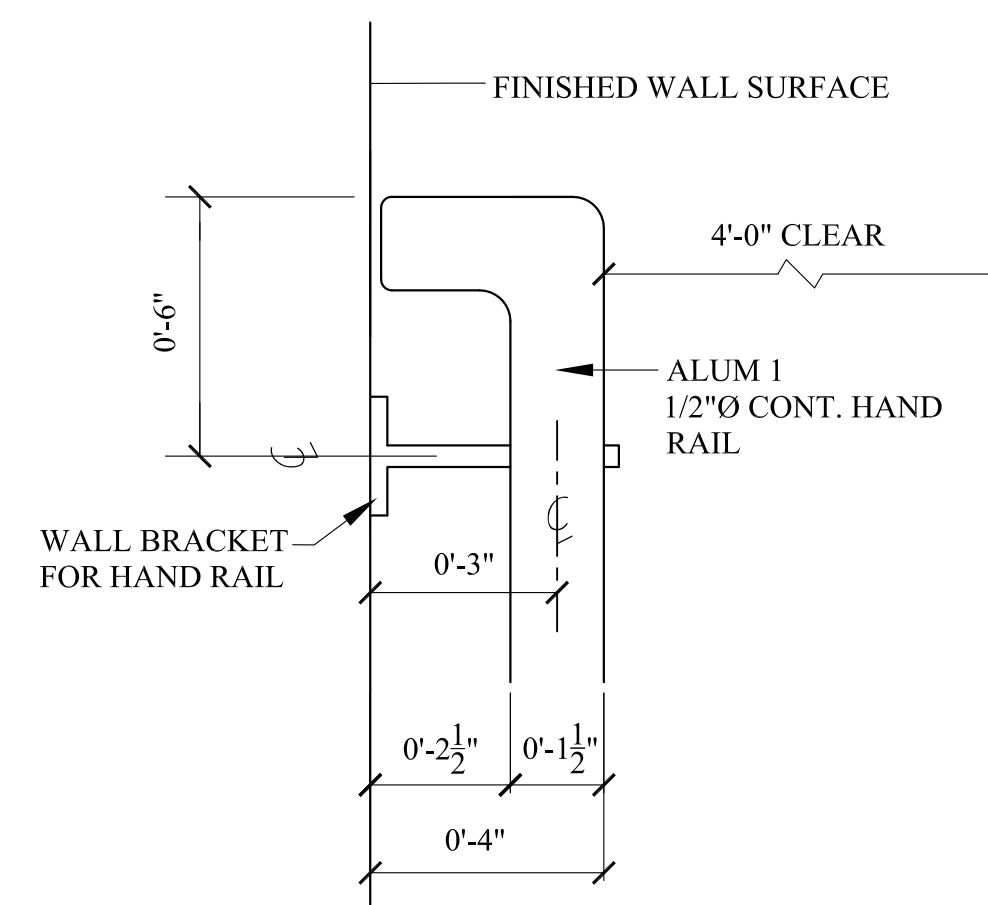
STRUCTURAL PERFORMANCE:

STAIRS AND LANDING: 100 PSF OR CONCENTRATED LOAD OF 300LBS APPLIED ON AN AREA OF SQ. INCH

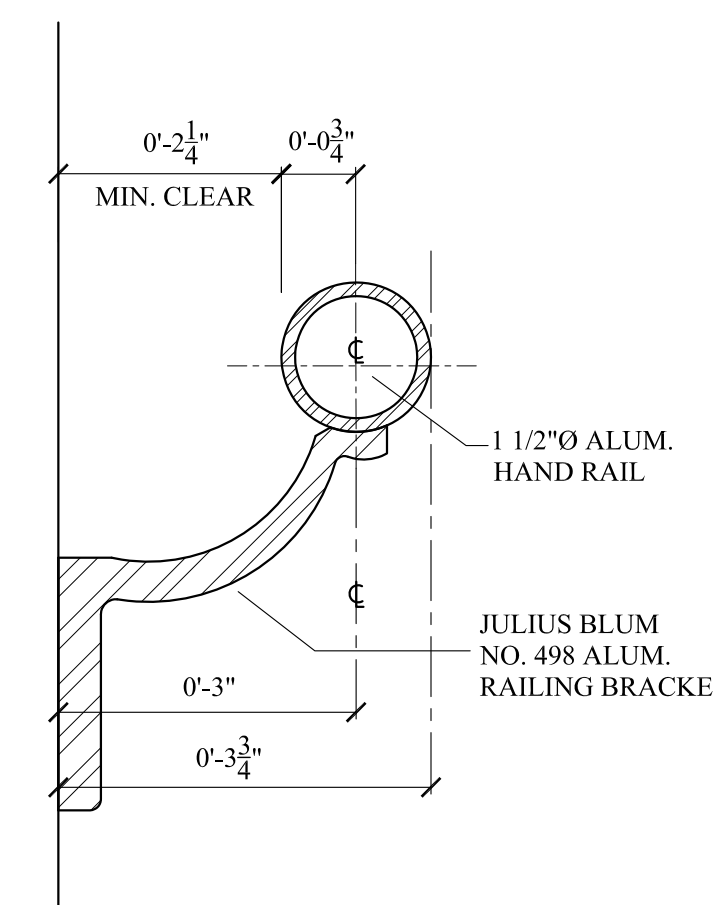
HANDRAILS AND TOP RAILS: 50 160/ft CONCENTRATED LOAD 200 lbf

INFILL OF GUARDS: CONCENTRATED LOAD 50 lbf

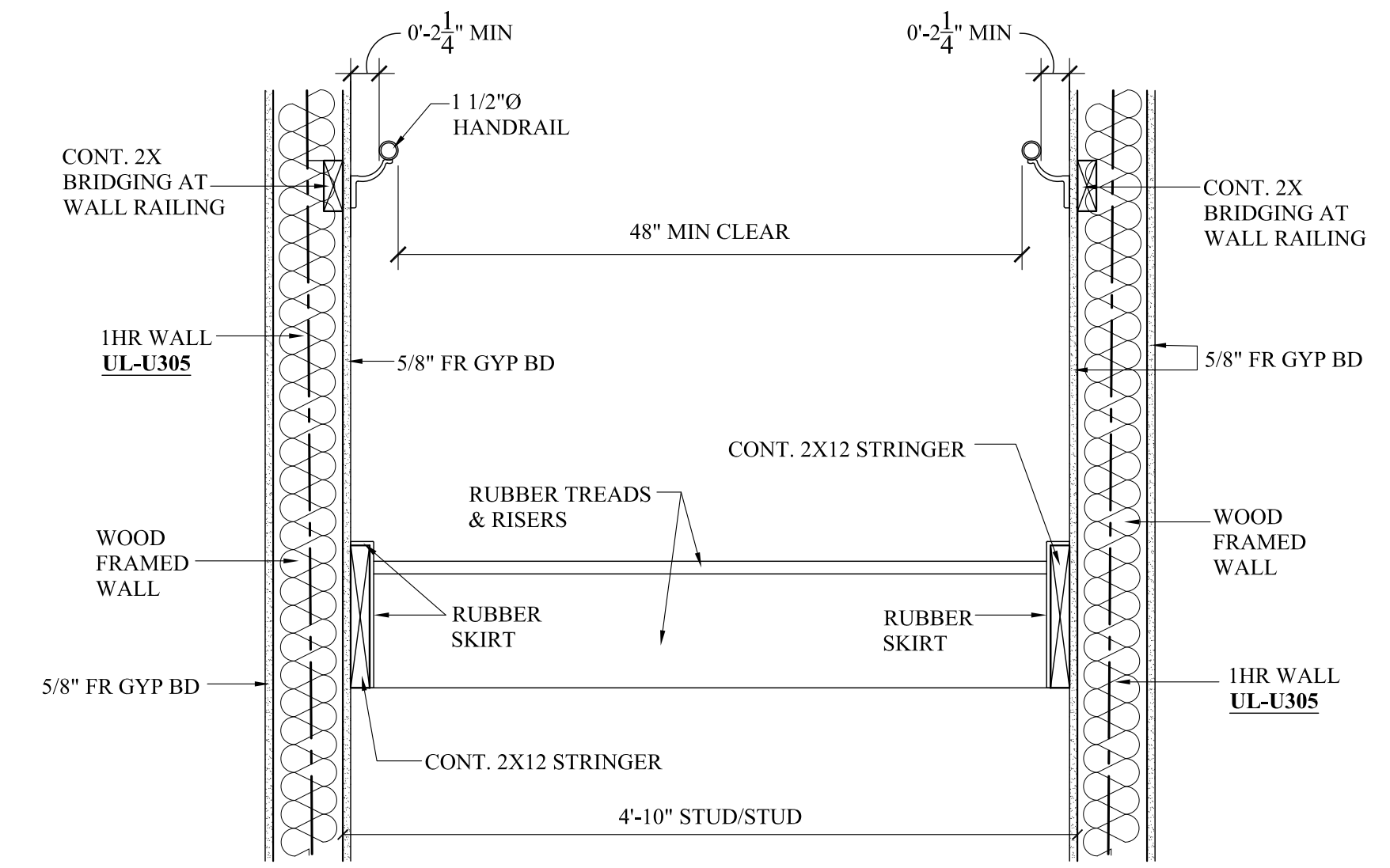
1. MANUFACTURER TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL BY THE ARCHITECT
2. MANUFACTURER SHALL FIELD VERIFY ALL FIELD CONDITIONS.



TYPICAL WALL RAILING AT ENDS



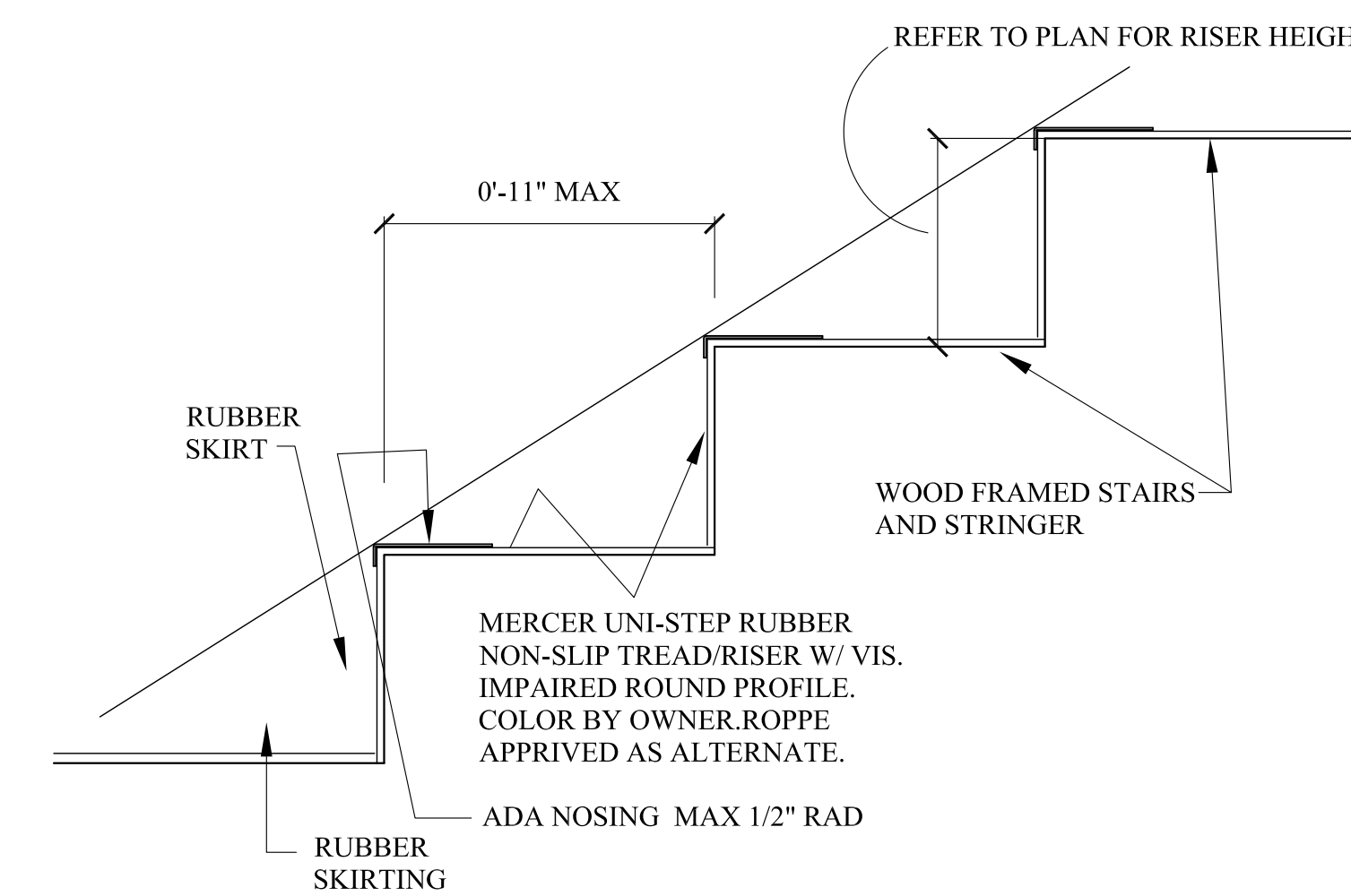
TYPICAL WALL HAND RAIL



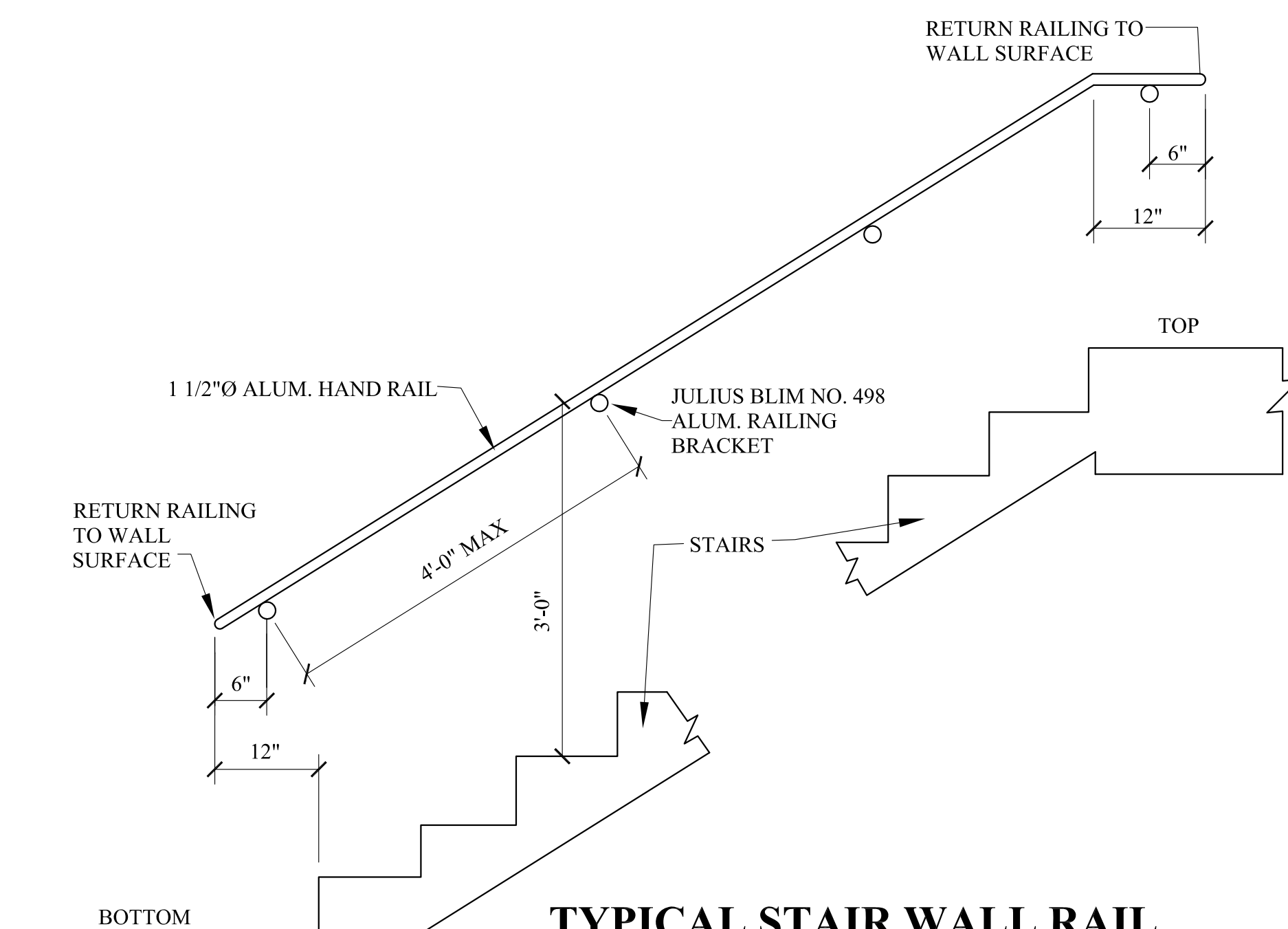
DETAIL- TYPICAL AT 1HR BARRIER

SCALE: 1"=1'-0"

9
A-7



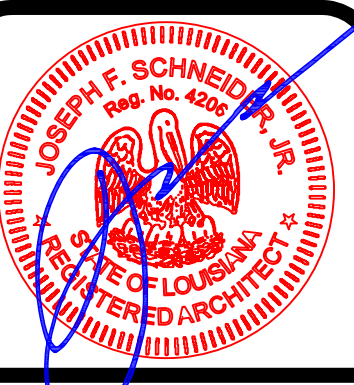
TYPICAL STAIR TREAD & RISER



TYPICAL STAIR WALL RAIL

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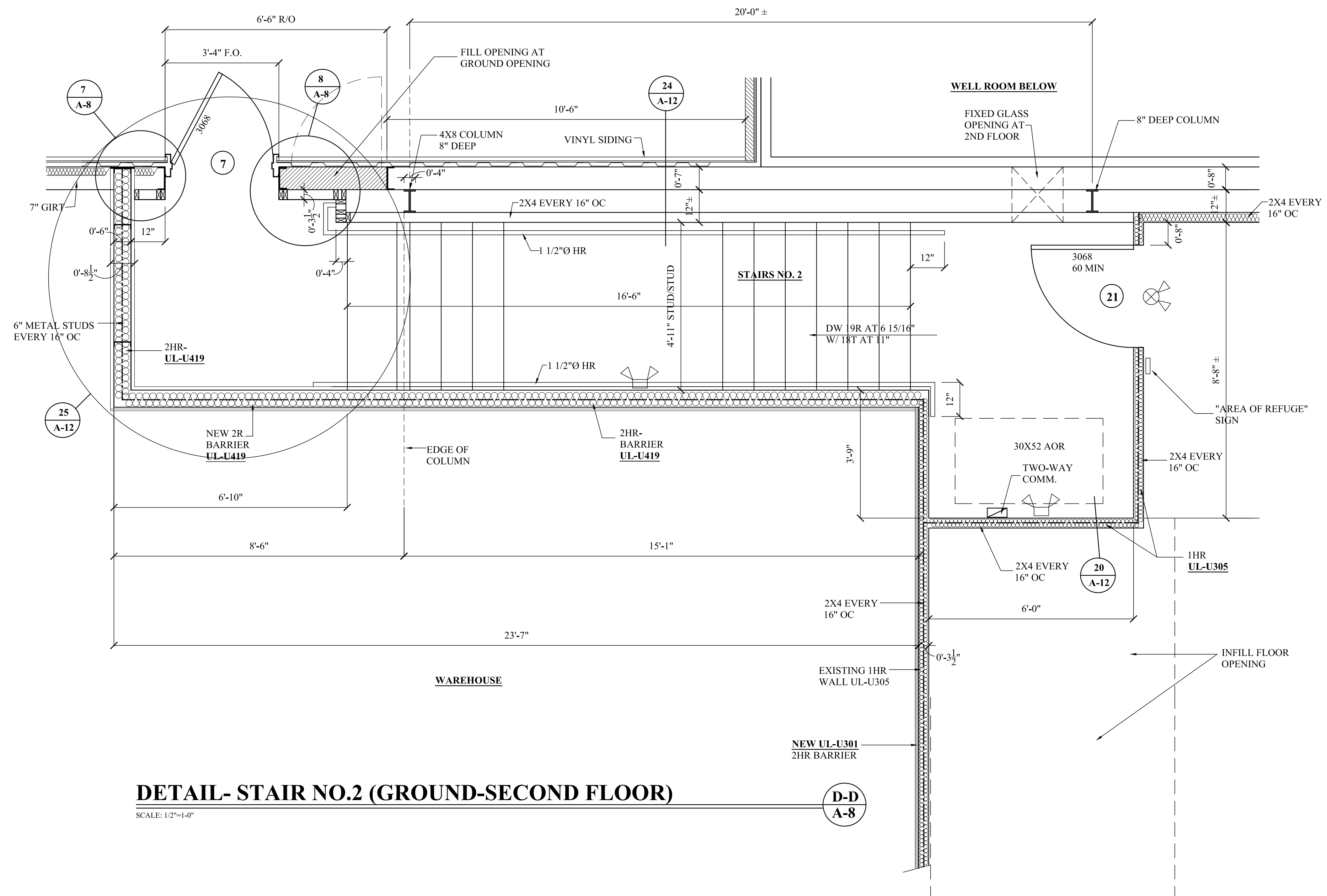


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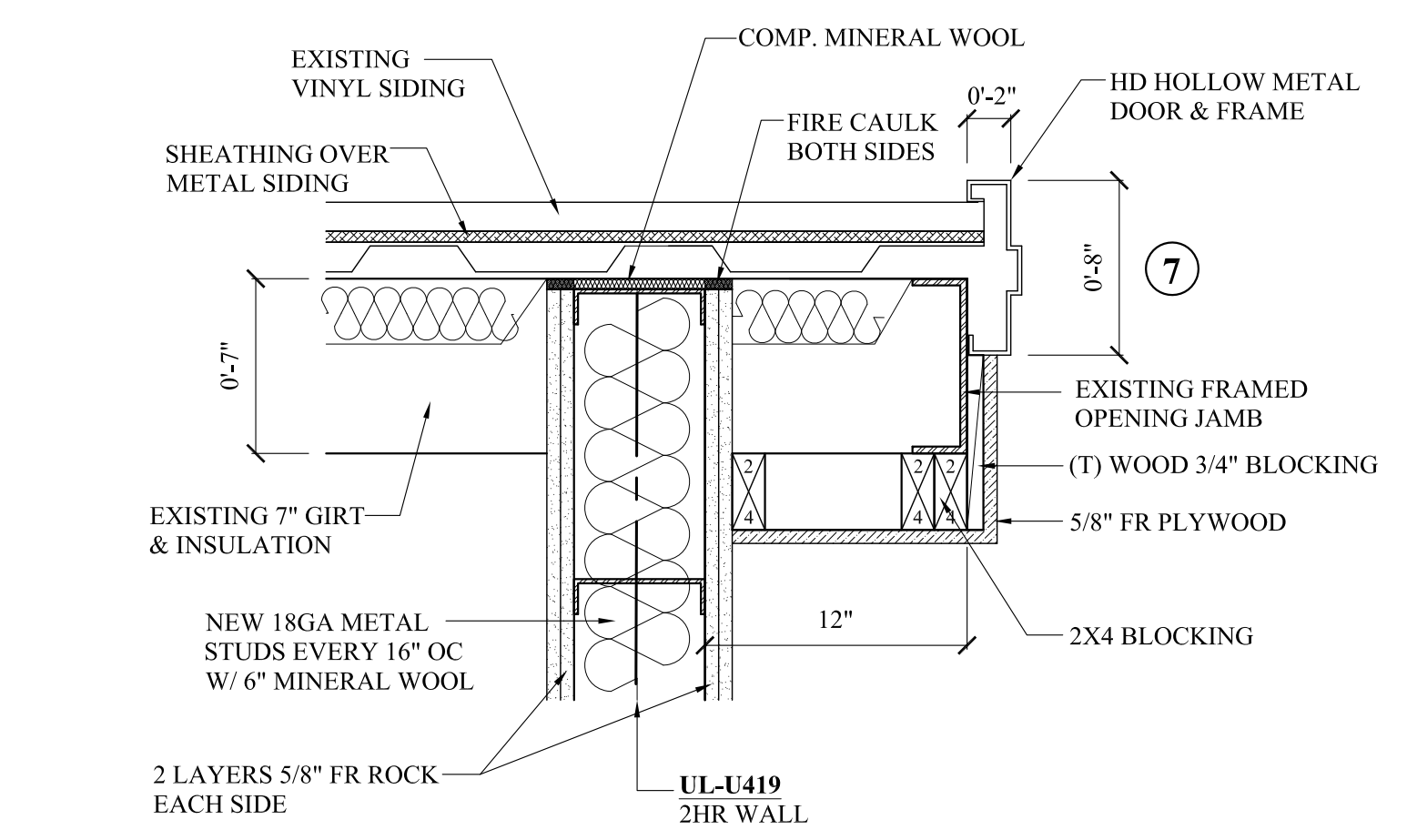
SHEET
A-7
OF SHEETS



DETAIL- STAIR NO.2 (GROUND-SECOND FLOOR)

SCALE: 1/2"=1'-0"

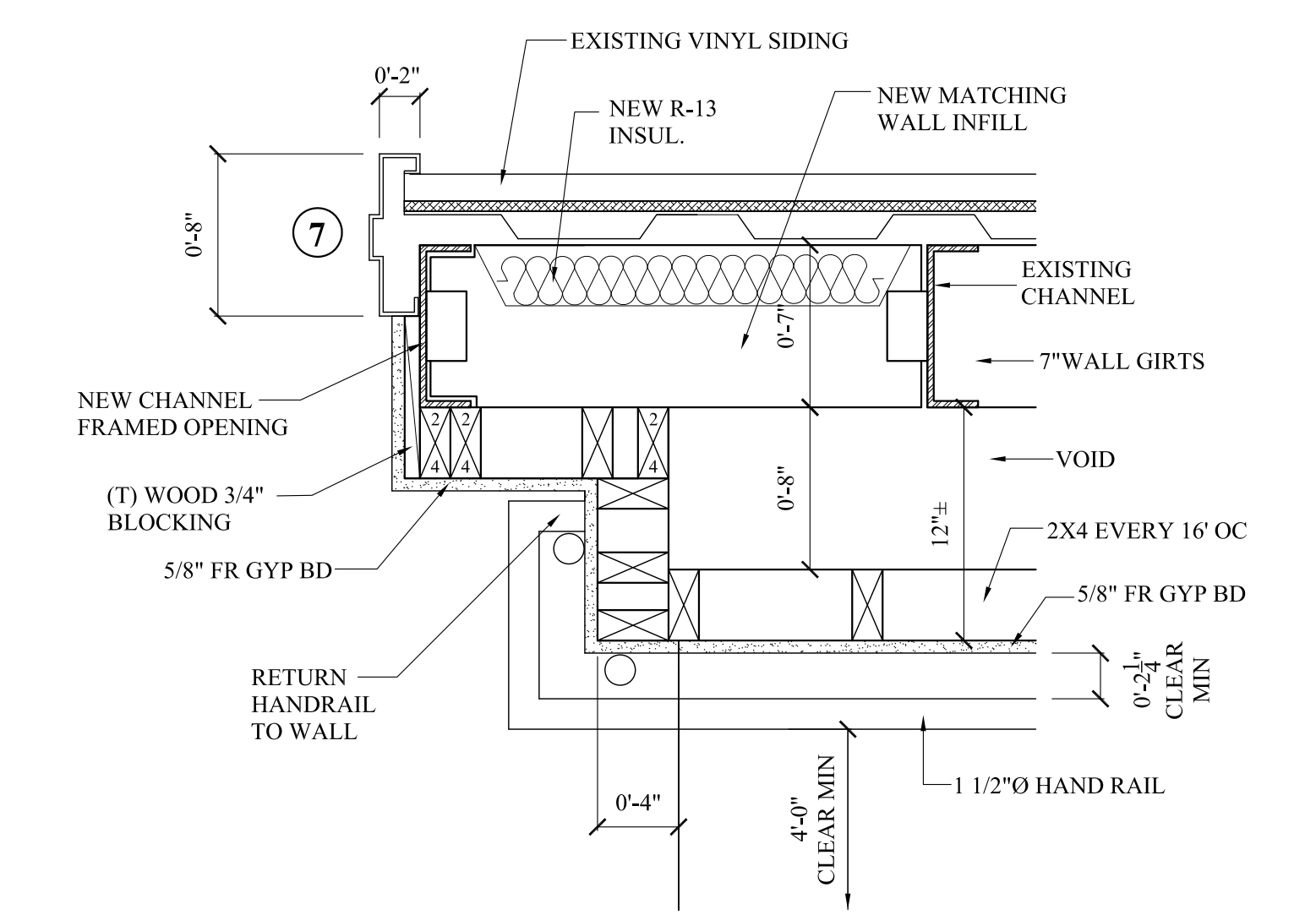
D-D
A-8



DETAIL

SCALE: 1 1/2"=1'-0"

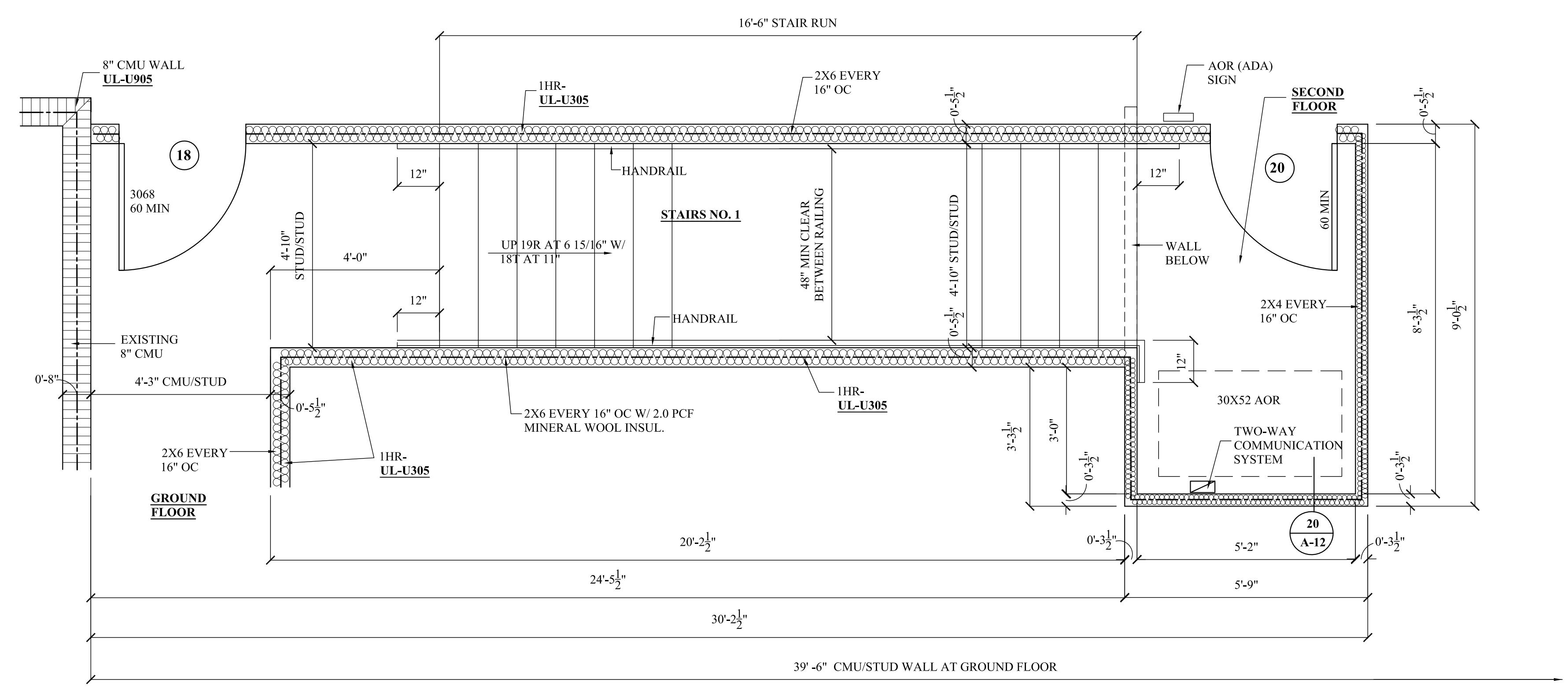
7
A-8



DETAIL

SCALE: 1 1/2"=1'-0"

8
A-8



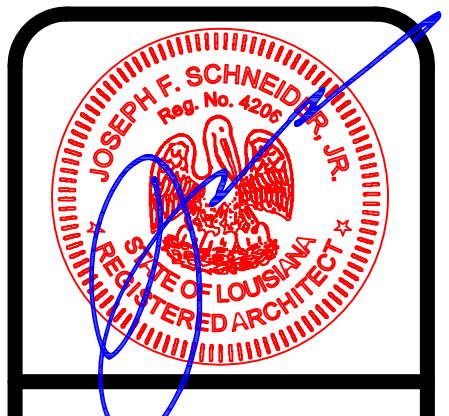
DETAIL- STAIR NO.1 STAIR TOTAL RUN (GROUND & SECOND)

SCALE: 1/2"=1'-0"

E-E
A-8

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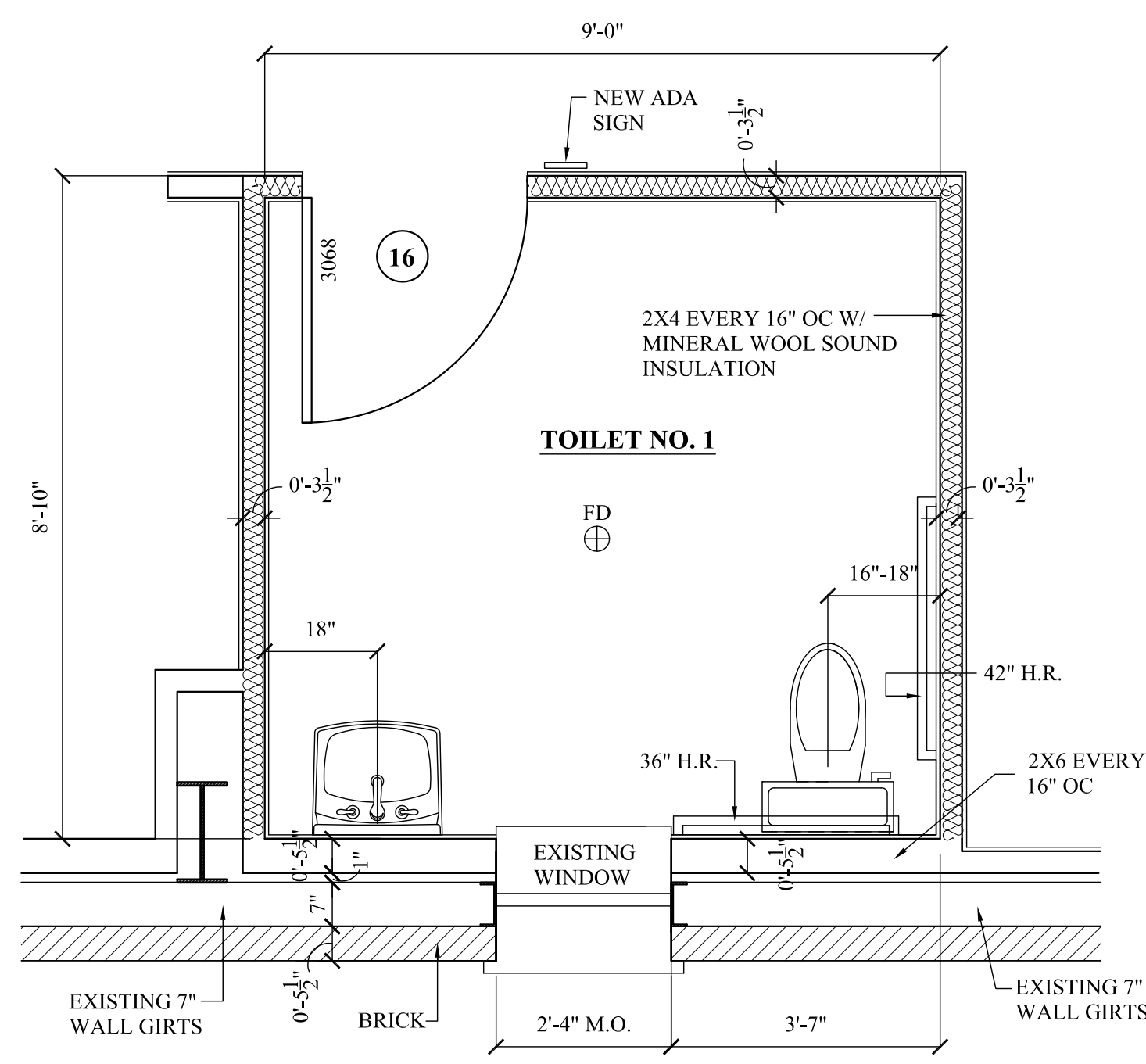
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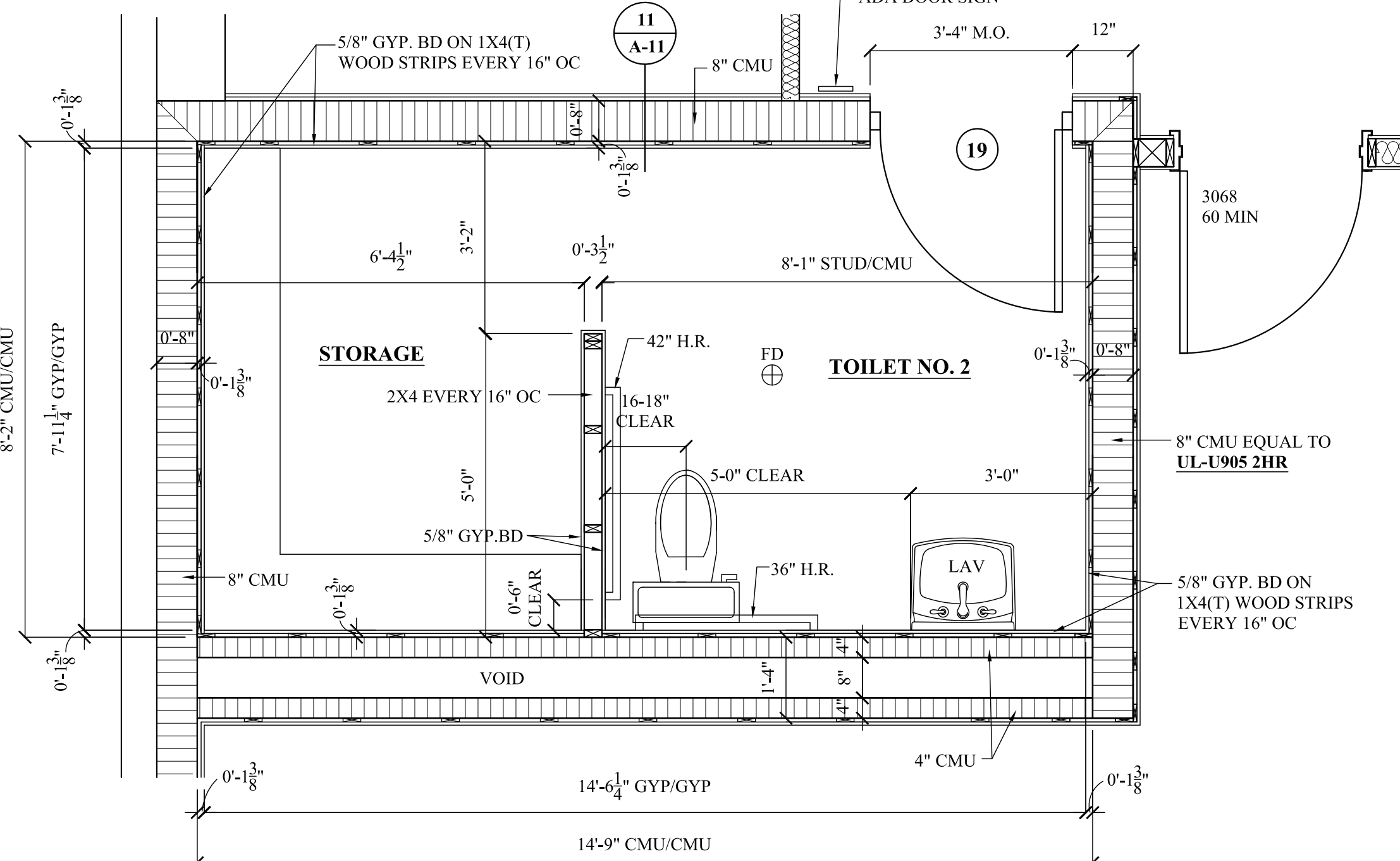
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SHEET	A-8
OF	SHEETS



FLOOR PLAN - TOILET NO. 1

SCALE: 1/2"=1'-0"

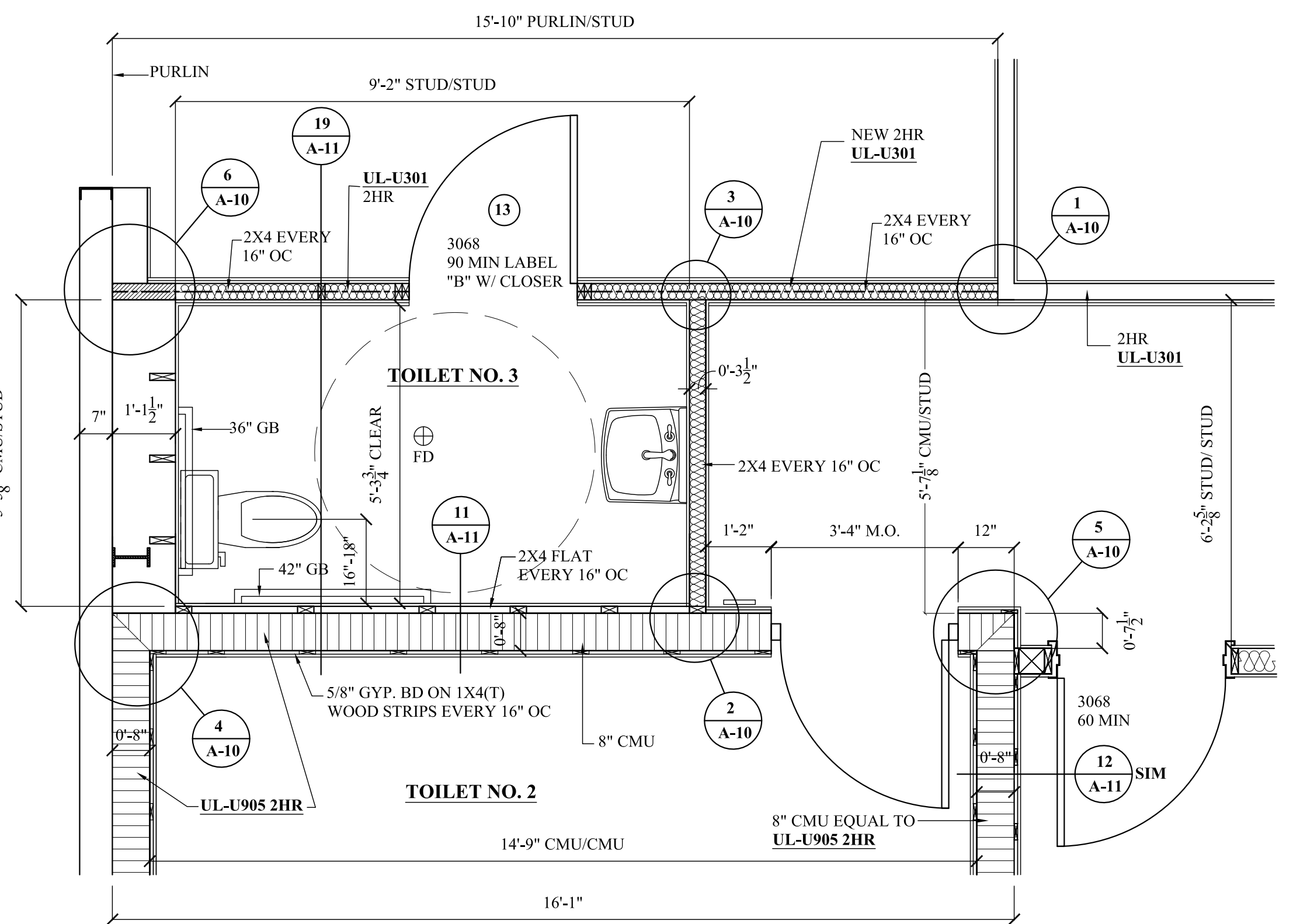
A-A
A-10



FLOOR PLAN - TOILET NO. 2

SCALE: 1/2"=1'-0"

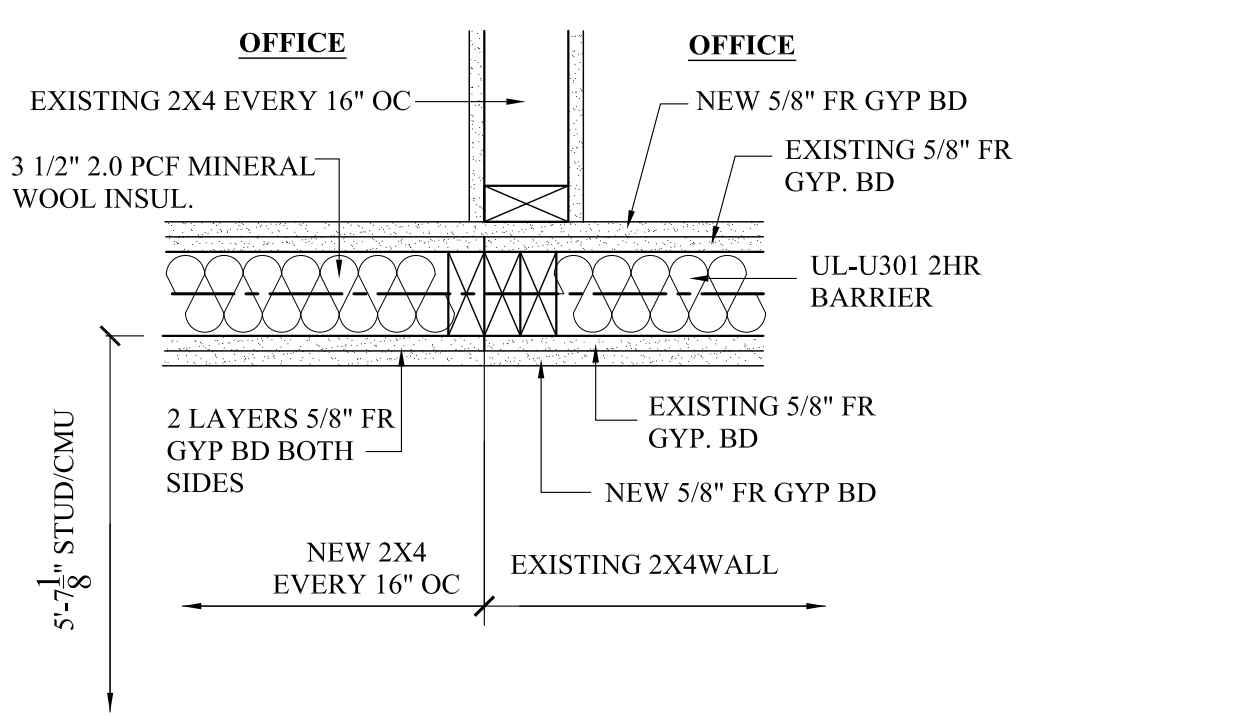
B-B
A-10



FLOOR PLAN - TOILET NO. 3

SCALE: 1/2"=1'-0"

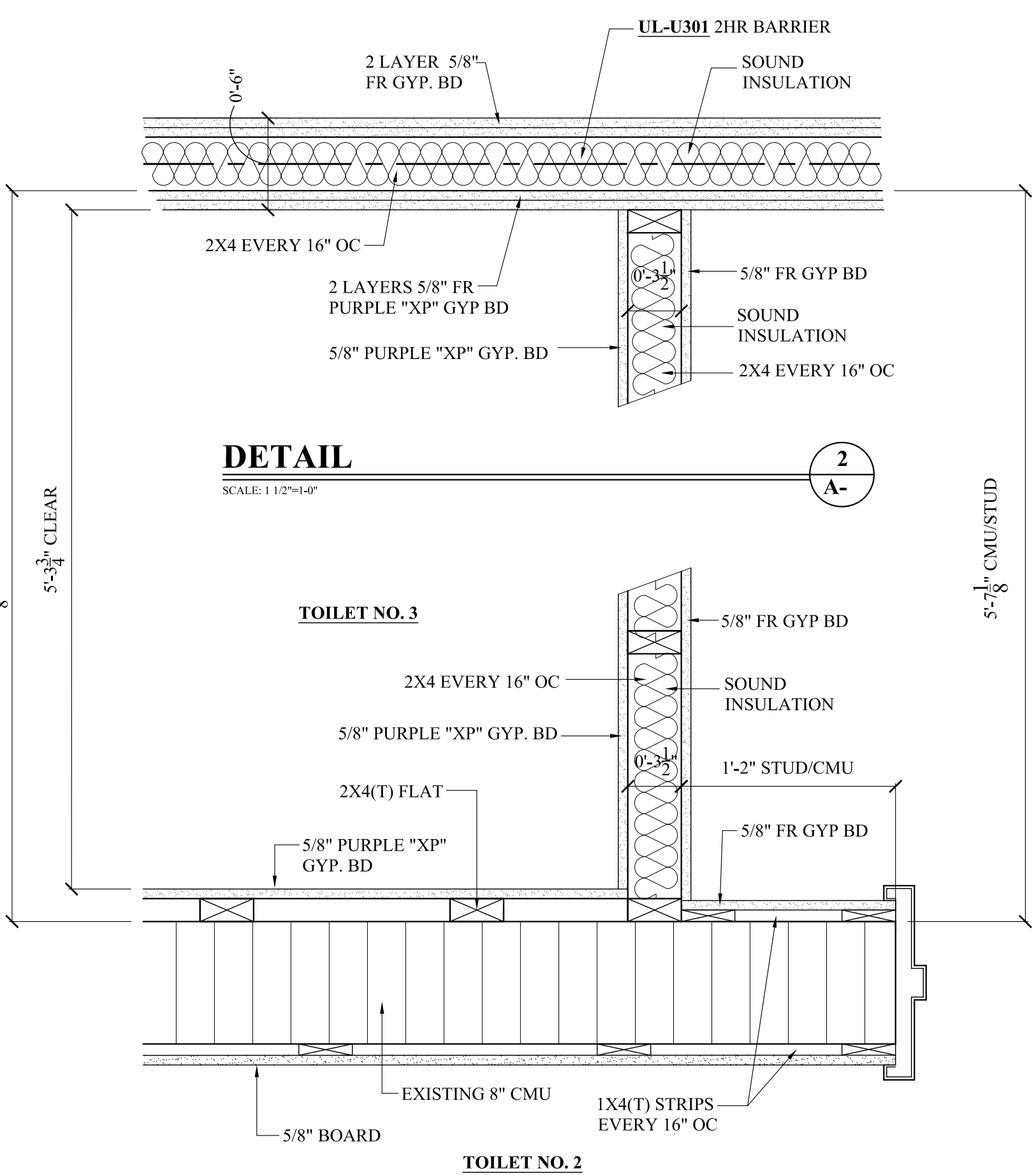
C-C
A-10



DETAIL - TYP. AT 2HR & NON-RATED PARTITION

SCALE: 1/2"=1'-0"

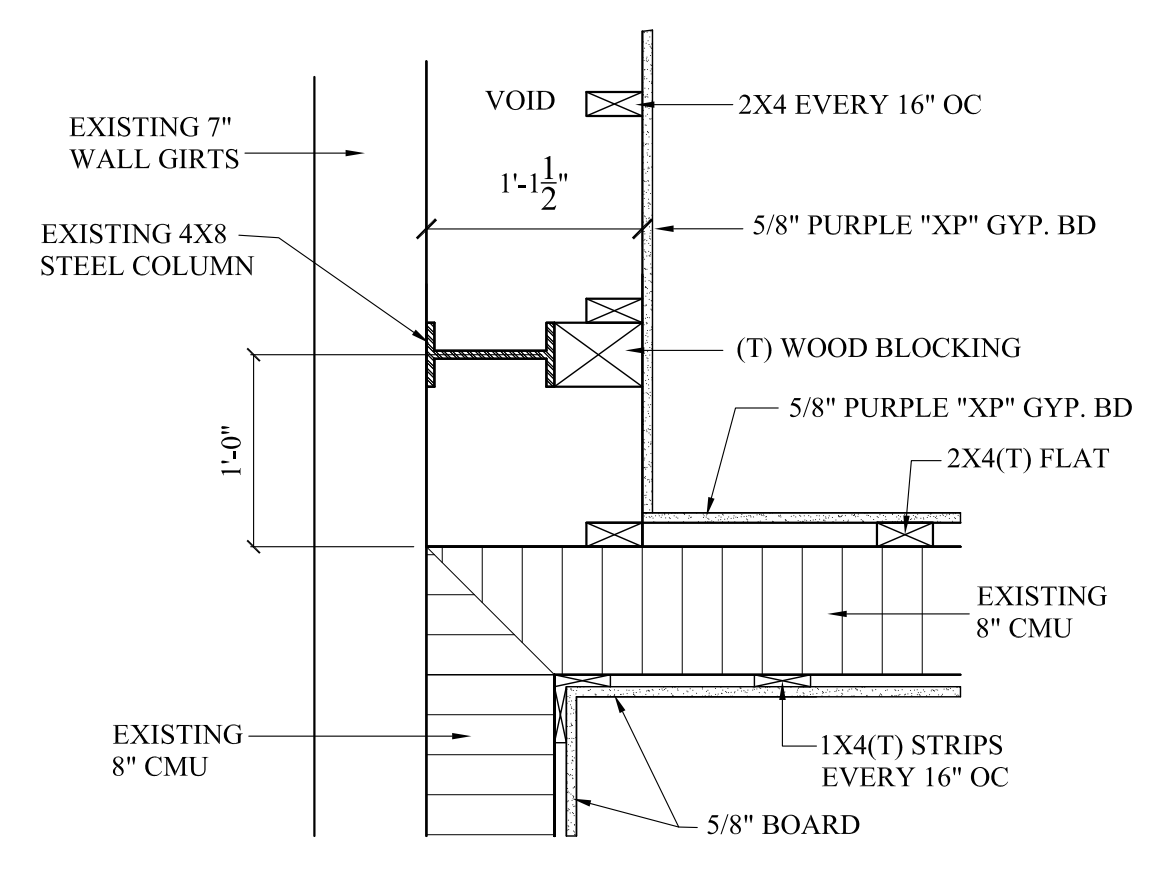
1
A-10



DETAIL

SCALE: 1/2"=1'-0"

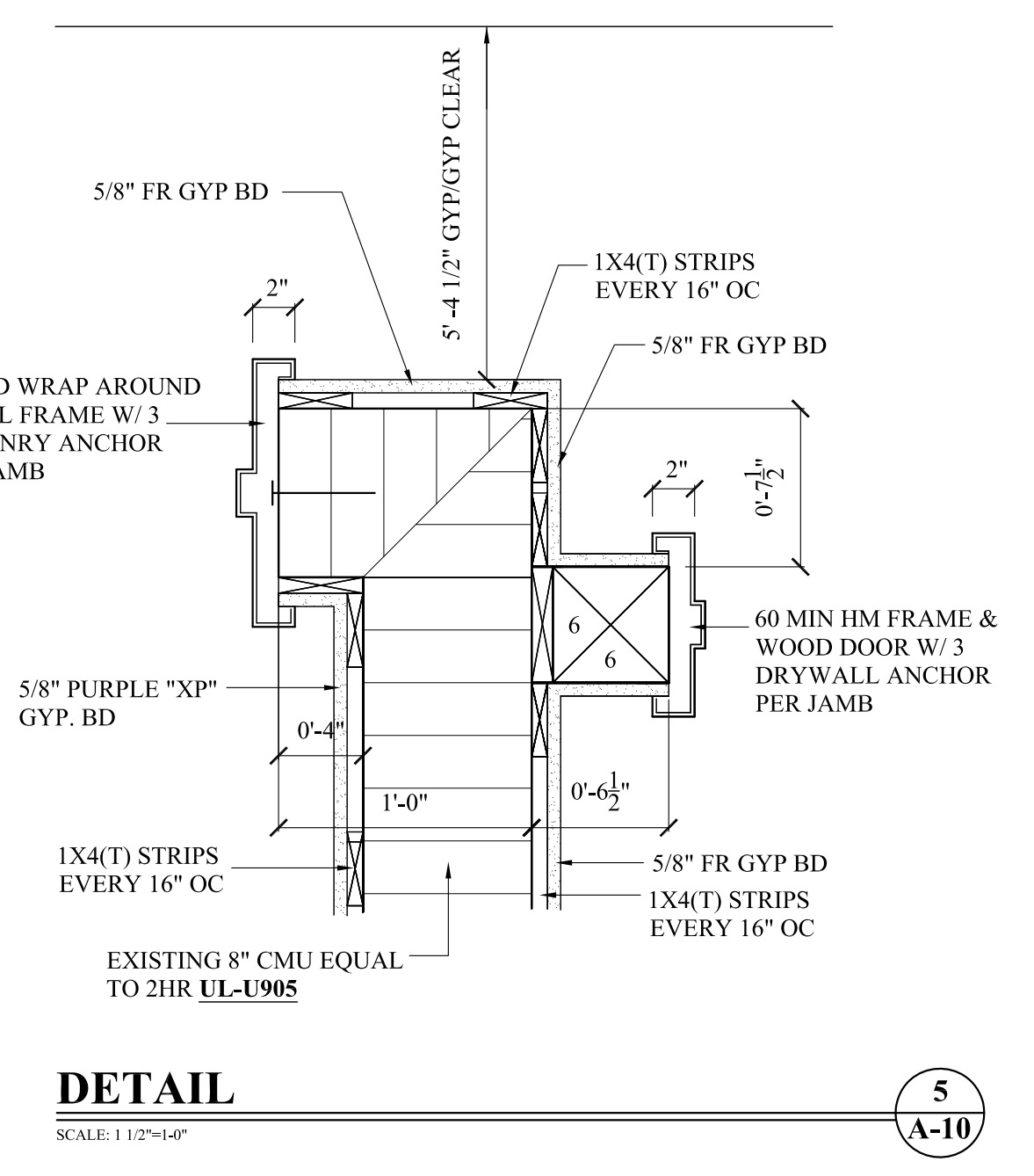
2
A-10



DETAIL

SCALE: 1"=1'-0"

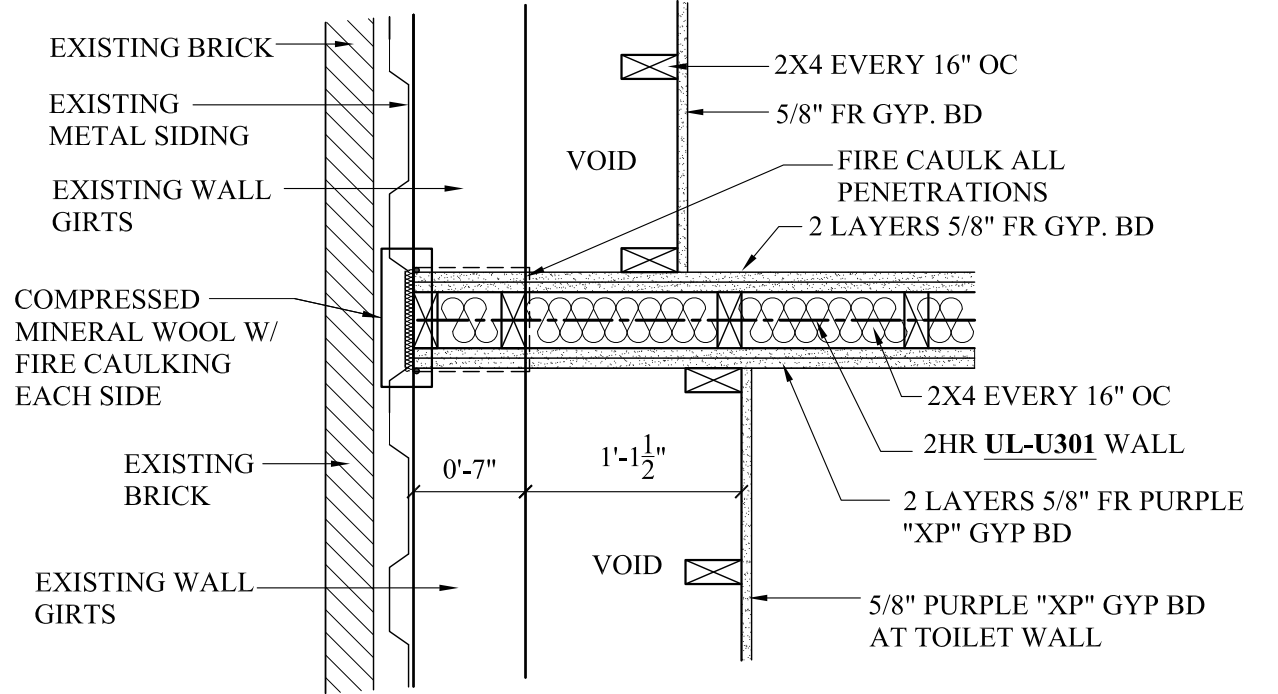
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A-10



DETAIL

SCALE: 1/2"=1'-0"

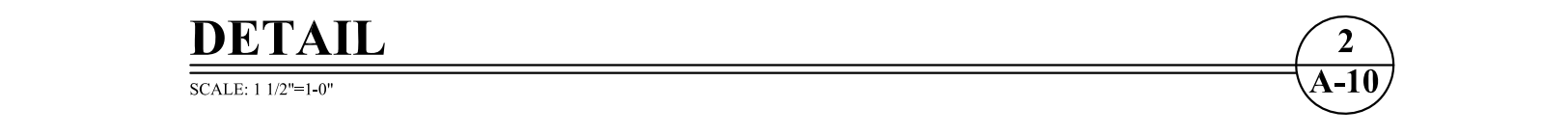
5
A-10



DETAIL

SCALE: 1"=1'-0"

6
A-10

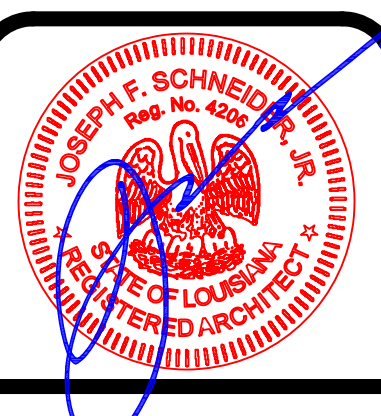


DETAIL

SCALE: 1/2"=1'-0"

2
A-10

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