

## LIFE-SAFETY INFORMATION

<b>APPLICABLE CODES</b>		
NFPA 101 LIFE-SAFETY CODE 2015		
OCCUPANCY TYPE(S) AND CHAPTER(S)		
BUSINESS (CHAPTER 9B)		
MULTIPLE, MIXED, OR SEPARATE OCCUPANCY (REFERENCE CHAPTER 6)		
N/A		
<b>OCCUPANT LOAD FACTOR</b> (REFERENCE TABLE 7.3.1.2)		
MERCANTILE 1841 SF /	30 SQ. FT. GROSS	61 OCCUPANTS
ASSEMBLY A-2 2271 SF / 15 NET SF PER OCCUPANT = 152 OCCUPANTS		
<b>CLASSIFICATION OF HAZARD OF CONTENTS</b>		
(REFERENCE: OCCUPANCY CHAPTER AND 6.2.2: SPECIFY LOW, ORDINARY, OR HIGH)		
<b>CONSTRUCTION TYPE(S)</b> (REFERENCE: CHAPTERS, TABLE A.9.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)		
III B		
<b>MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS</b>		
(REFERENCE: SECTION 7.5; SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)		
1/2 DIAGONAL = 43'-5"		
<b>MAXIMUM DEAD-END CORRIDORS</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)		
50'		
<b>MAXIMUM COMMON PATH OF TRAVEL DISTANCE</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)		
50'		
<b>MAXIMUM TRAVEL DISTANCE TO EXITS</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)		
200'		

<b>DETECTION, ALARM, AND COMMUNICATION SYSTEMS</b>	NONE REQUIRED, NO SPRINKLER
<b>ALLOWABLE HEIGHT AND BUILDING AREA</b>	PER IBC EQUIVALENT CONSTRUCTION TYPE

## BUILDING CODE INFORMATION

<b>APPLICABLE CODES</b>		
IBC 2021		
MERCANTILE / ASSEMBLY 2 (IBC 2021 CHAPTER 9)		
<b>OCCUPANT LOAD CALCULATIONS</b> (TABLE 1004.1.1)		
MERCANTILE	1,841 SQ FT 30 SF PER OCCUPANT (GROSS)	61 OCCUPANTS
ASSEMBLY A-2	2,271 SQ FT 15 NE SF PER OCCUPANT (NET)	152 OCCUPANTS
<b>CONSTRUCTION TYPE(S)</b> (TABLE 504)		
III B (SECTION 504)		
<b>ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION</b>		
MAXIMUM HEIGHT IN STORIES (SECTION 504.4) 2		
MAXIMUM AREA IN SQUARE FEET (SECTION 503, 506 & 507, TABLE 503) 12,500		

## WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1604 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

WIND DESIGN DATA:

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY

WIND SPEED VULT (3 SECOND GUST) = 140 MPH (IBC FIG 1609.3(1))

NOMINAL DESIGN WIND SPEED  $V_{std}$  = 110 MPH (  $V_{ult} \times (0.6)^{1/2}$  )

RISK CATEGORY:	CATEGORY II BLDG	SURFACE ROUGHNESS =	B
TOPOGRAPHIC FACTOR =	1	EXPOSURE =	B

DESIGN WIND PRESSURE (ASCE 7-10 TABLE 28.6-1): 37.7 PSF

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 28.11-1): ± 0.18

LIVE LOADS (IBC SEC 1607)

STORAGE WAREHOUSE - HEAVY (IBC TABLE 1607.1): 250 PSF

ROOF LIVE LOADS (IBC TABLE 1607.1): 20 PSF UNIFORM, 300 LB CONCENTRATED

GROUND SNOW LOAD (IBC FIG 1609.2): SNOW LOADS (IBC SEC 1608): 5 PSF

## FLOOD ZONE INFORMATION

BASED ON THE SURVEY OF THIS PROPERTY BY J.V. BURKES, THIS PROPERTY IS IN SPECIAL FLOOD HAZARD AREA

FIRM, COMMUNITY NO. 220204 0010 C DATED 04/21/1999

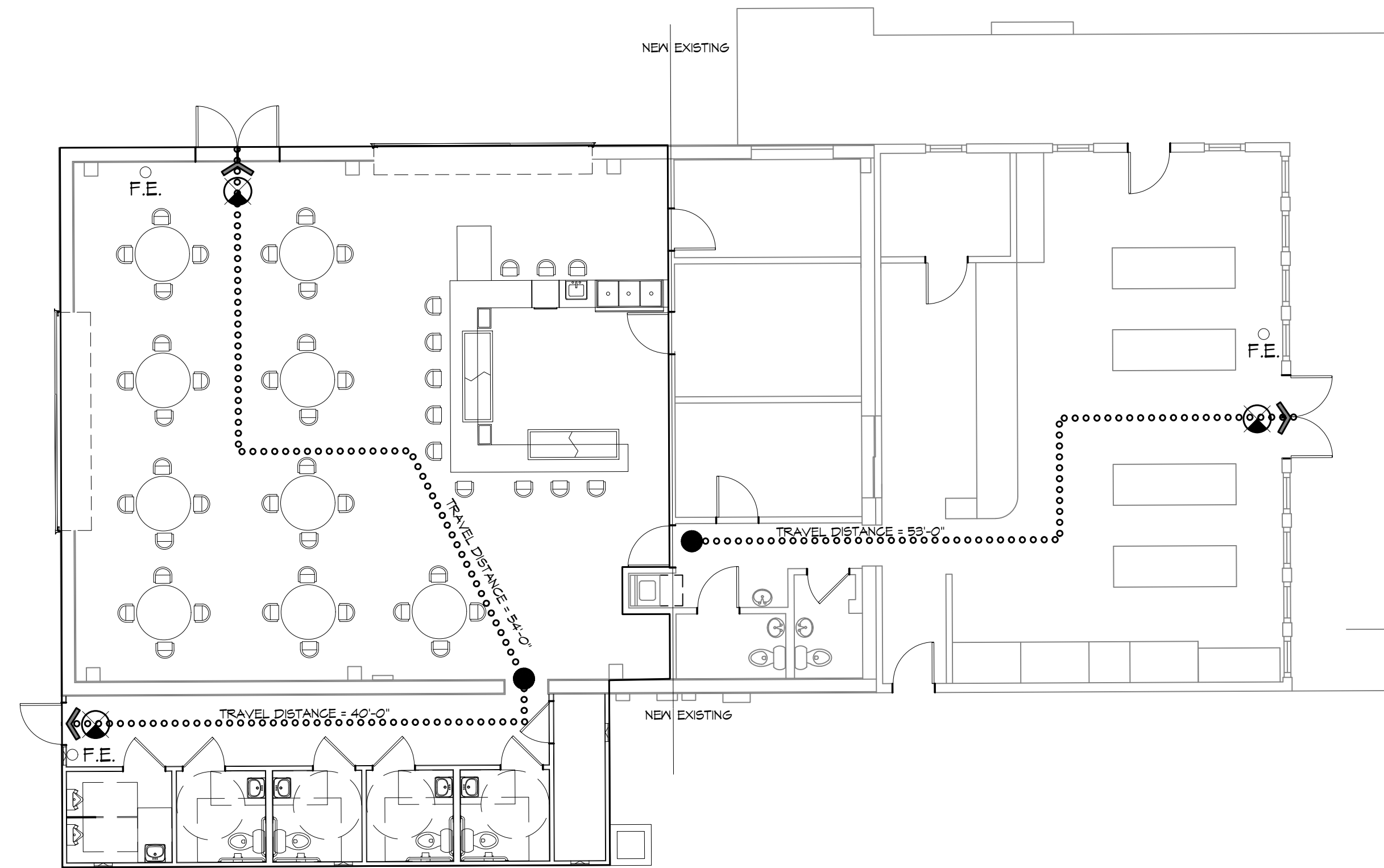
FLOOD ZONE: AE BASE FLOOD ELEVATION: 9'

## LIFE-SAFETY LEGEND

SYMBOL	DESCRIPTION
➤	EXITS
(45)	DOOR FIRE RATING (MINUTES)
150 110	DOOR WIDTH/EGRESS CAPACITY
⊙	EXIT LIGHT
• FE	FIRE EXTINGUISHER IV/ MALL MTD BRACKET
—————	COMMON PATH OF TRAVEL
••••••••••	TRAVEL DISTANCE
●	DECISION POINT

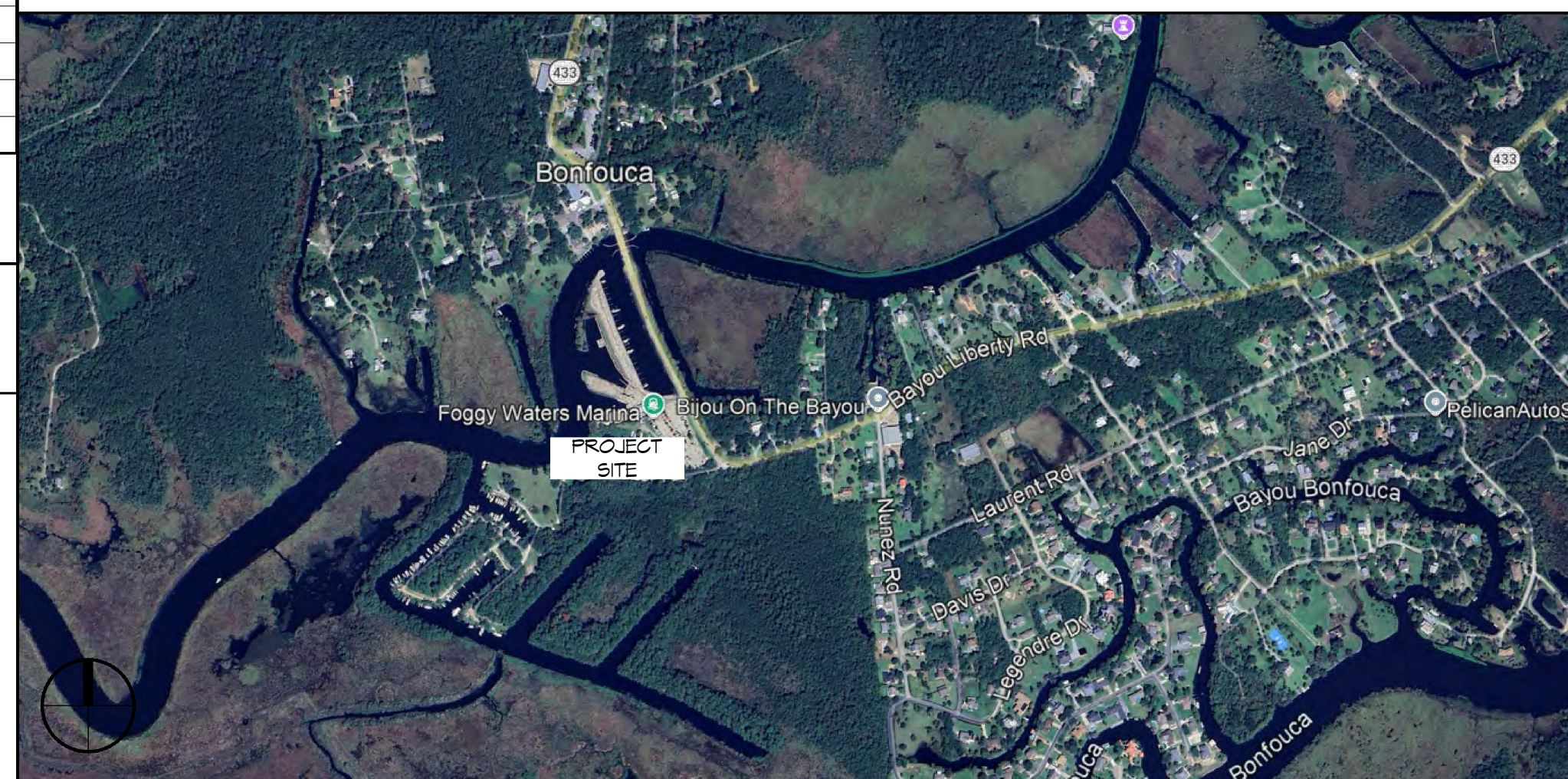
## PROJECT DESCRIPTION

THIS IS AN EXISTING 4,110 SQ. FT. TACKLE STORE/WAREHOUSE. OF THE 2,271 SQ. FT. WAREHOUSE IN THE REAR, IT WILL BE CONVERTED INTO A BAR AREA FOR ENTERTAINMENT WITH NEW RESTROOMS BEING ADDED. NO INDOOR COOKING AT THIS SITE.



N  
LIFE-SAFETY PLAN  
SCALE: 1/8" = 1'-0"

## VICINITY MAP



## SHEET INDEX

SHEET #	SHEET TITLE
G101	GENERAL INFORMATION SHEET
G102	ACCESSIBILITY INFORMATION
C101	PROPOSED SITE PLAN
C102	EROSION CONTROL PLAN
S101	FOUNDATION PLAN AND BUILDING SECTION
A101	FLOOR PLAN
A102	EXTERIOR ELEVATIONS
P101	PLUMBING PLAN
M101	MECHANICAL PLAN
E101	POWER PLAN

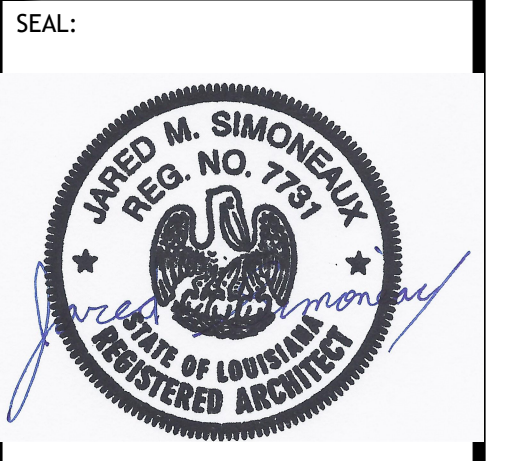
## GENERAL NOTES

1. ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
2. CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
3. THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
4. **DO NOT SCALE DRAWINGS.** CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
6. TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
7. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
8. CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
9. ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

**DAMMON ENGINEERING, INC.**  
LOUISIANA & MISSISSIPPI

www.dammonengineering.com  
554 Old Spanish Trail  
Slidell, LA 70458  
PH: 985.649.5832

DATE	DESCRIPTION



**RESTROOM AND ENTERTAINMENT AREA**

**FOGGY WATERS MARINA**

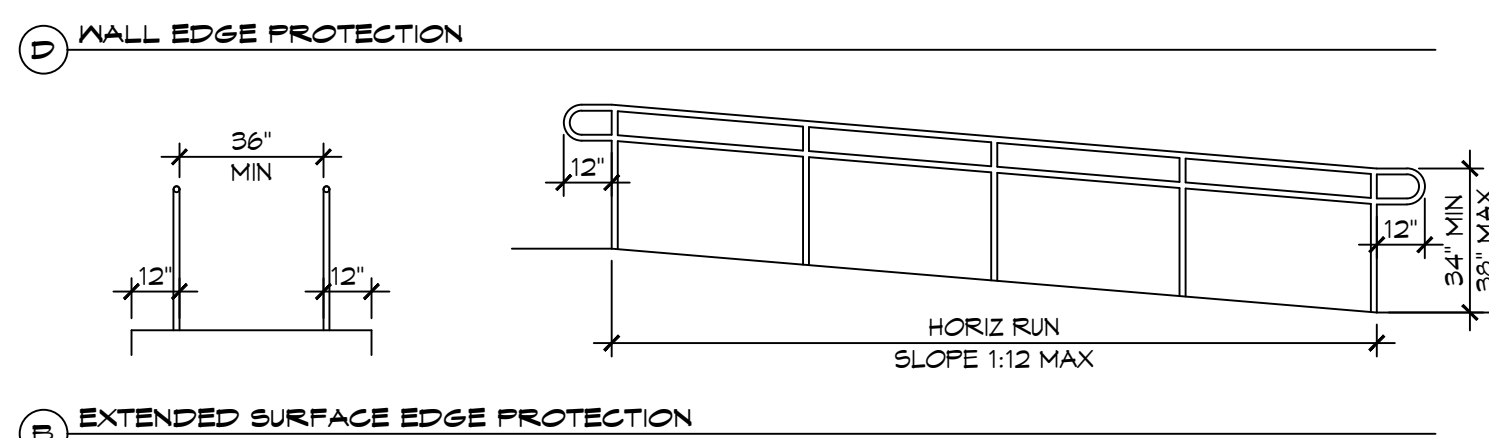
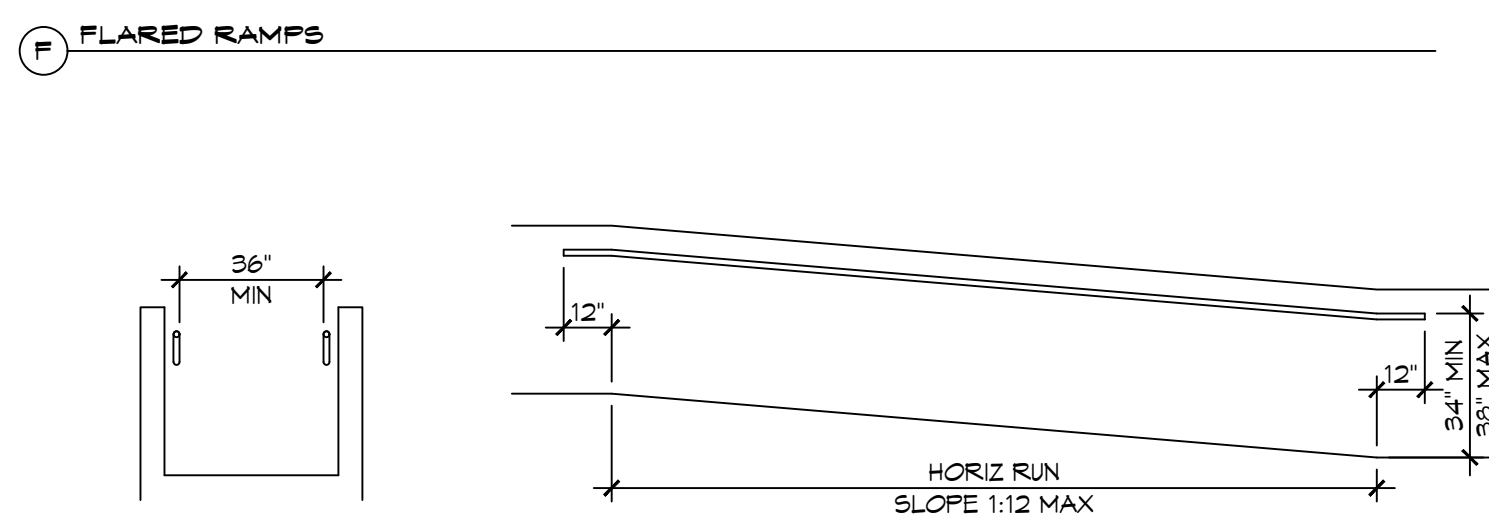
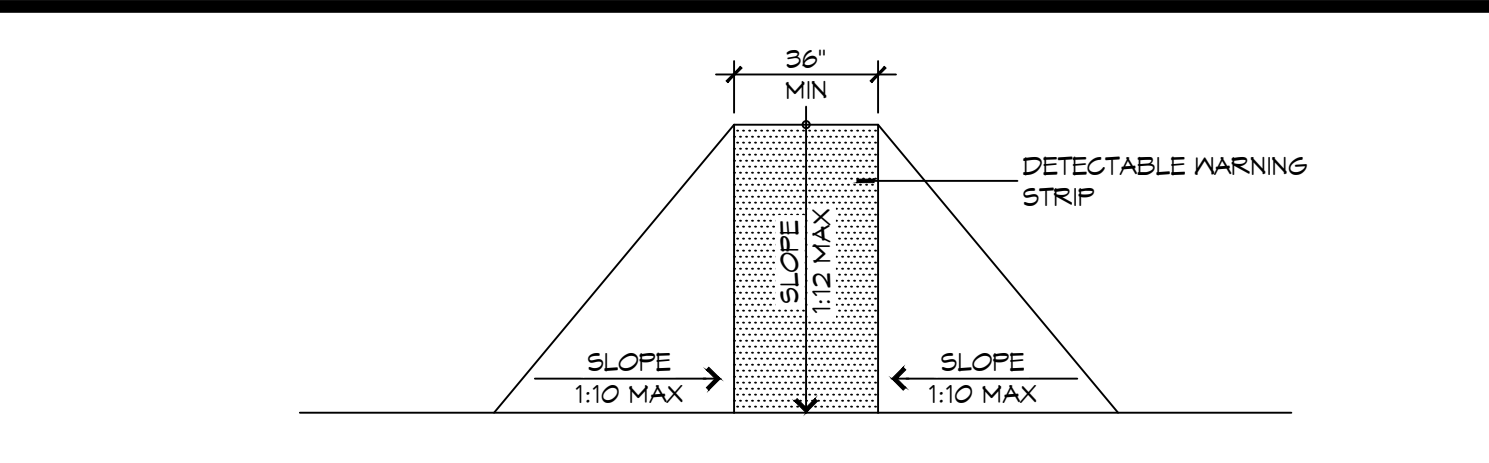
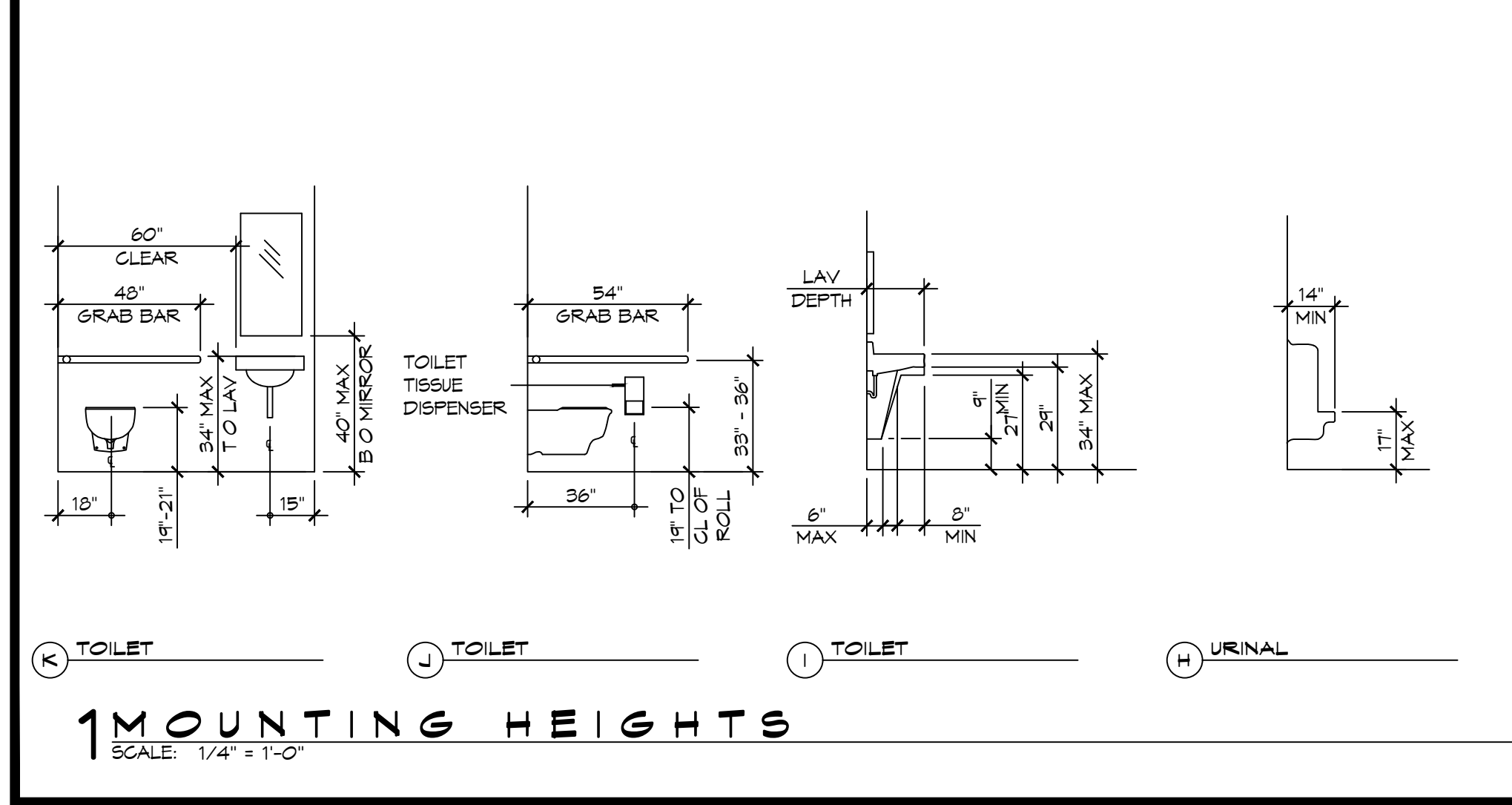
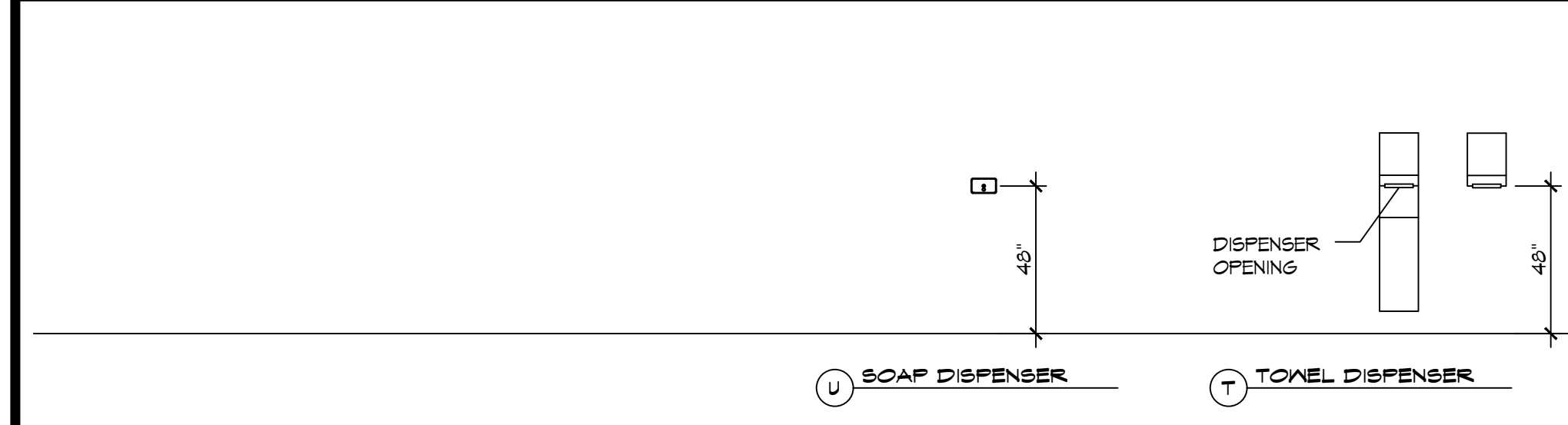
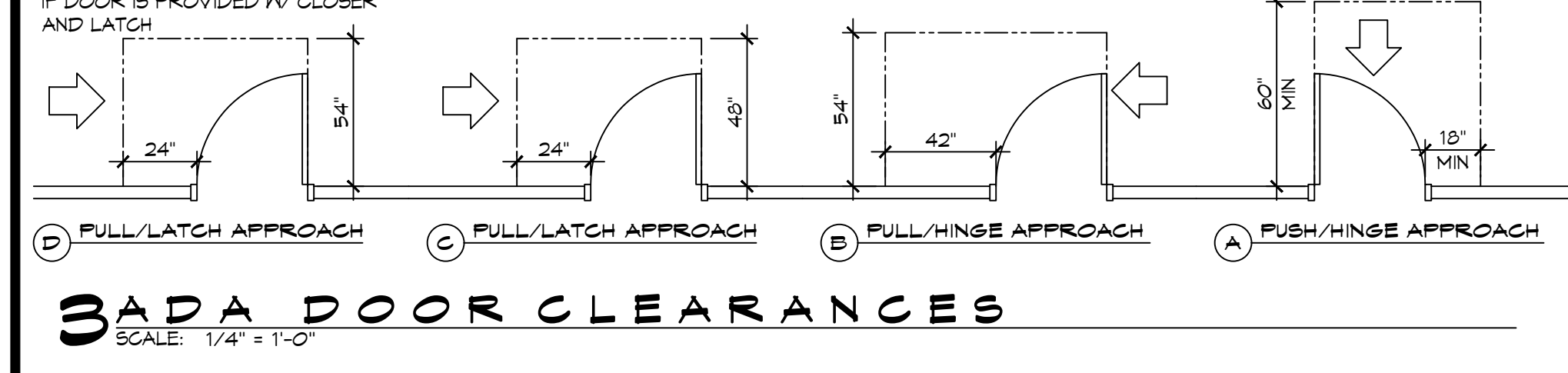
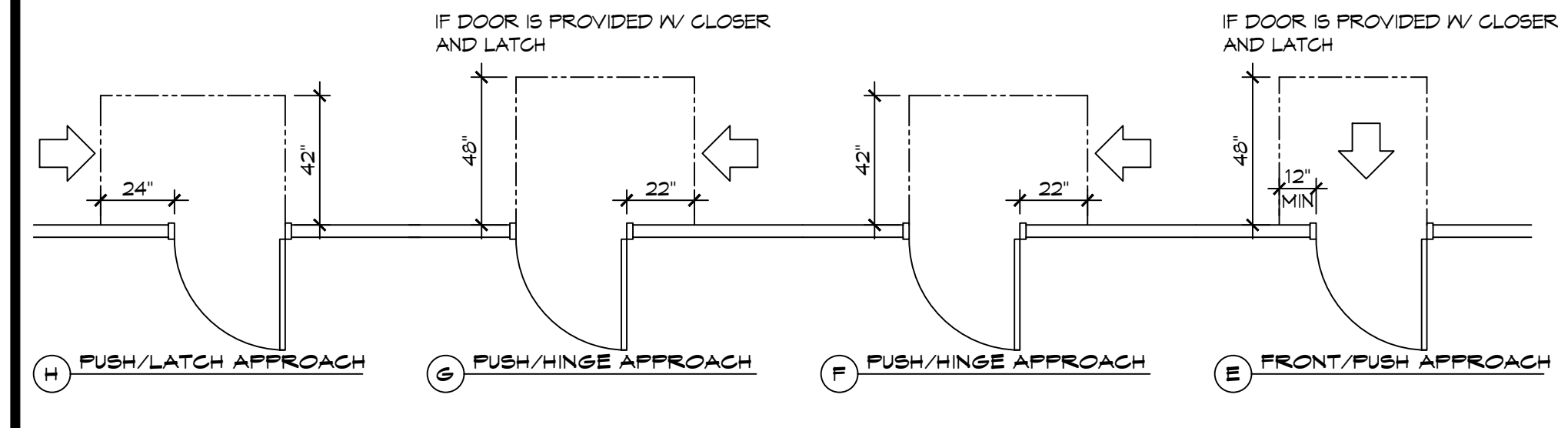
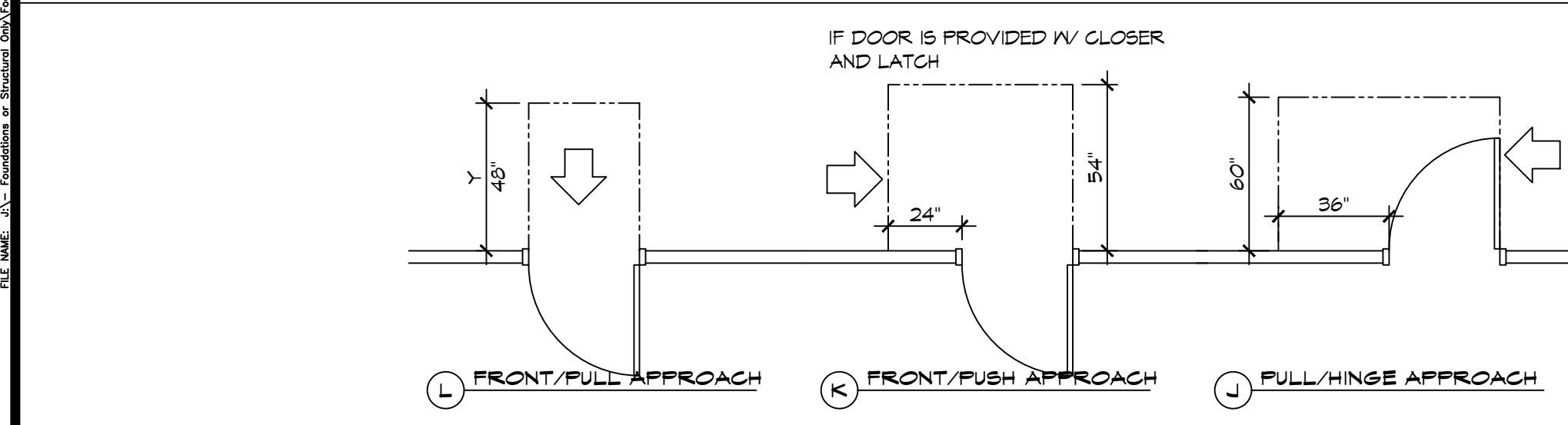
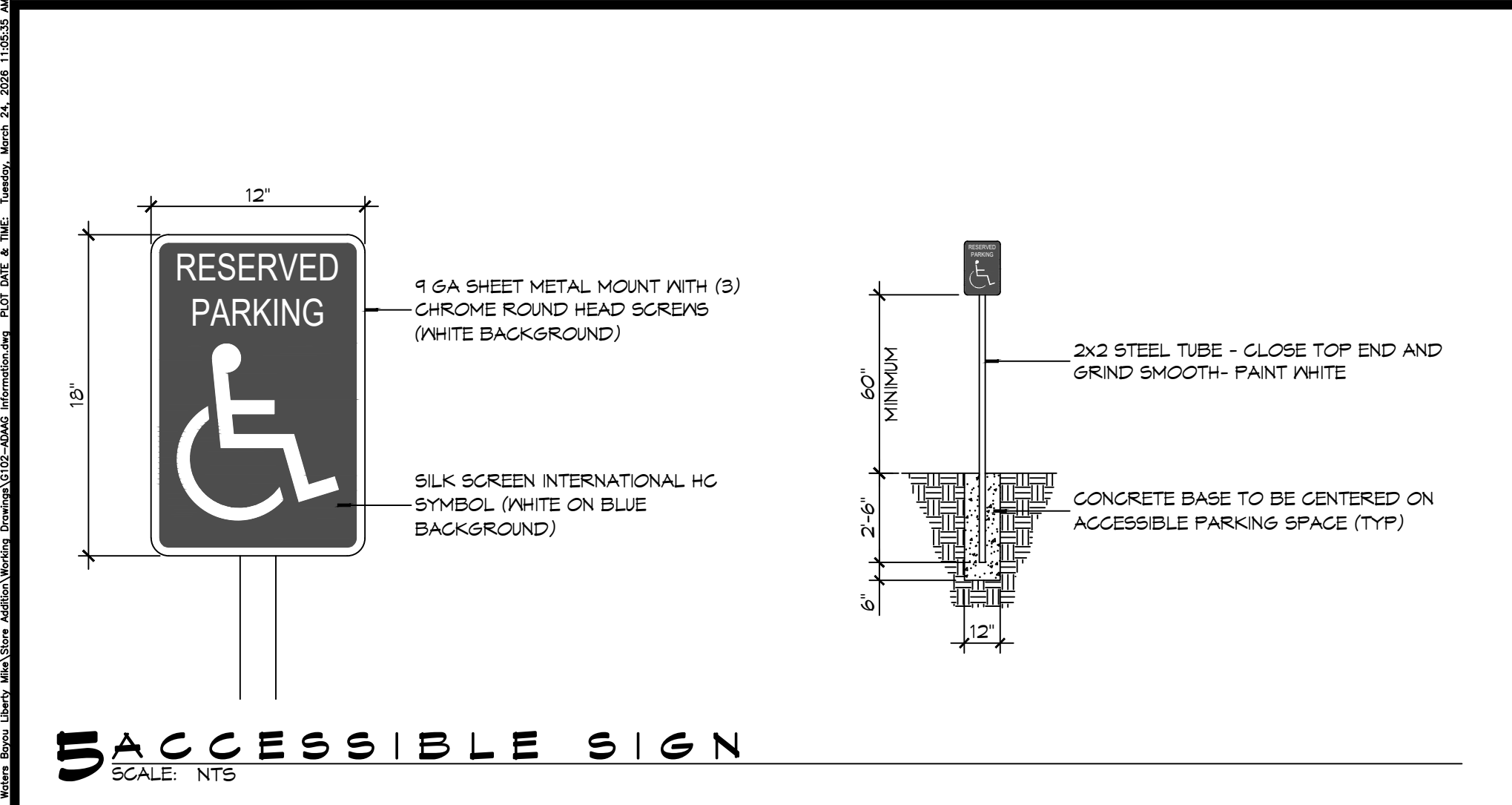
5504 LA-495  
BAYOU LIBERTY ROAD  
SLIDELL, LA 70460

JOB NO.: 2226 DATE: 9-24-26  
DRAWN BY: JMS  
CHECKED BY: CKD

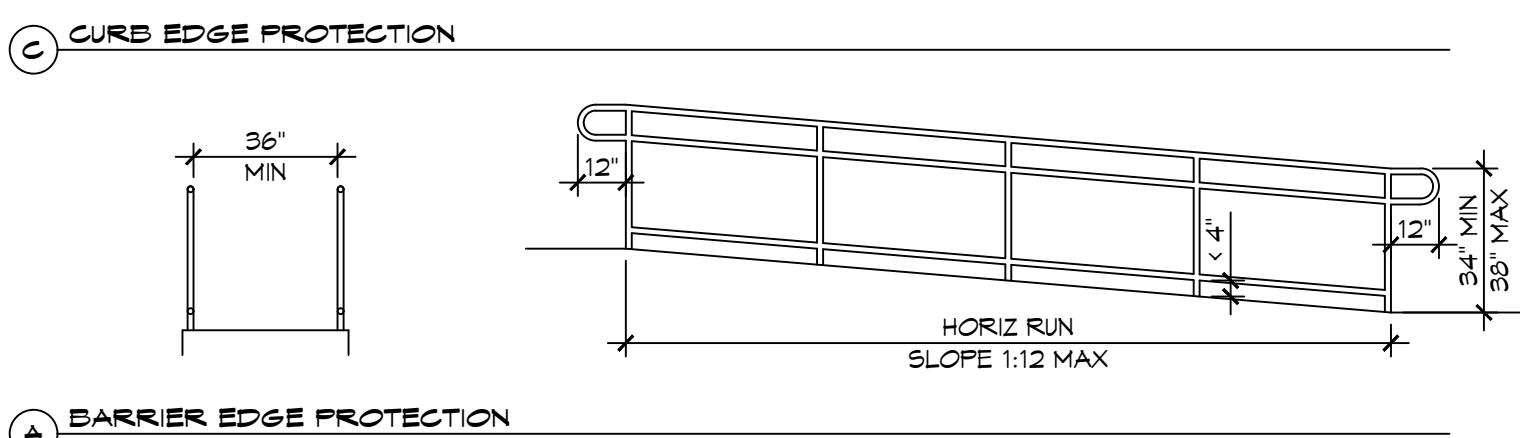
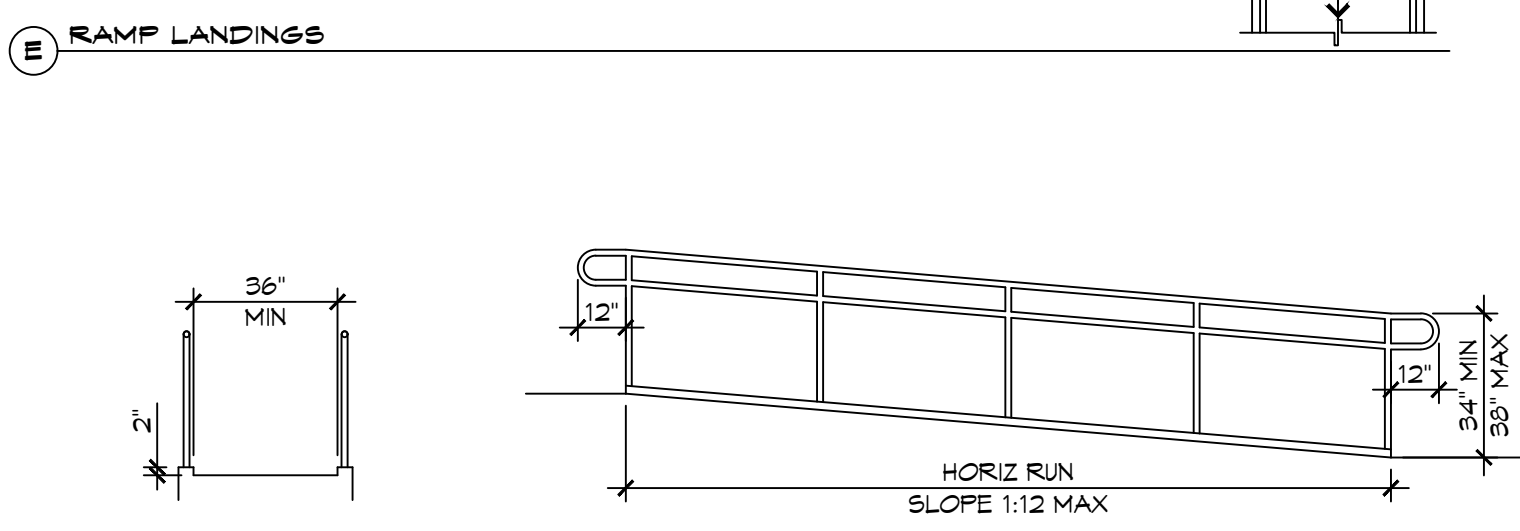
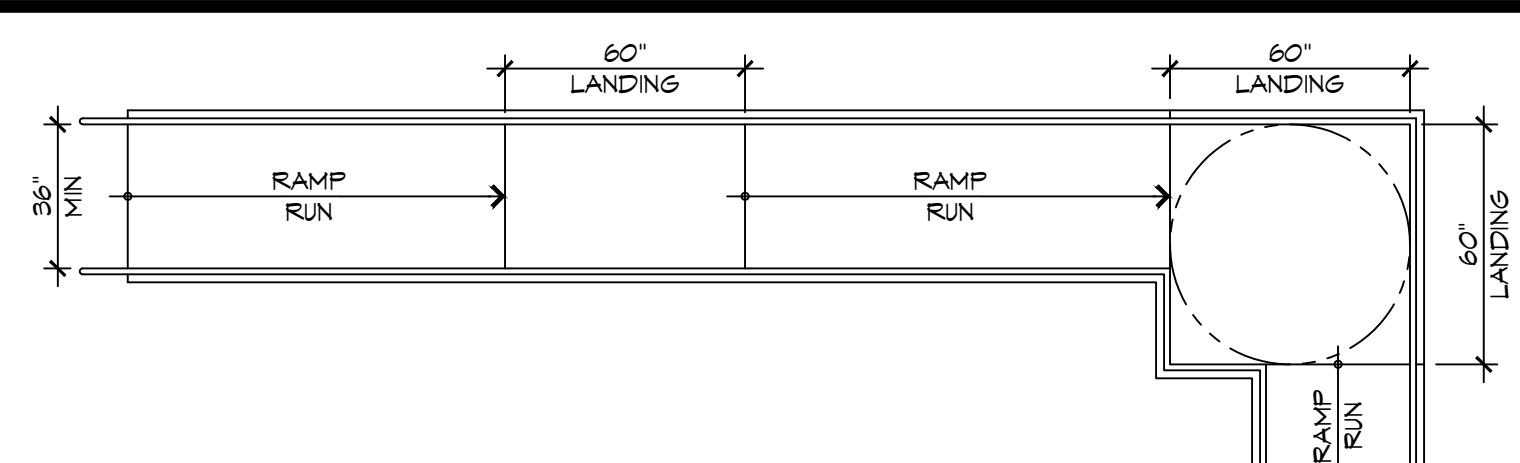
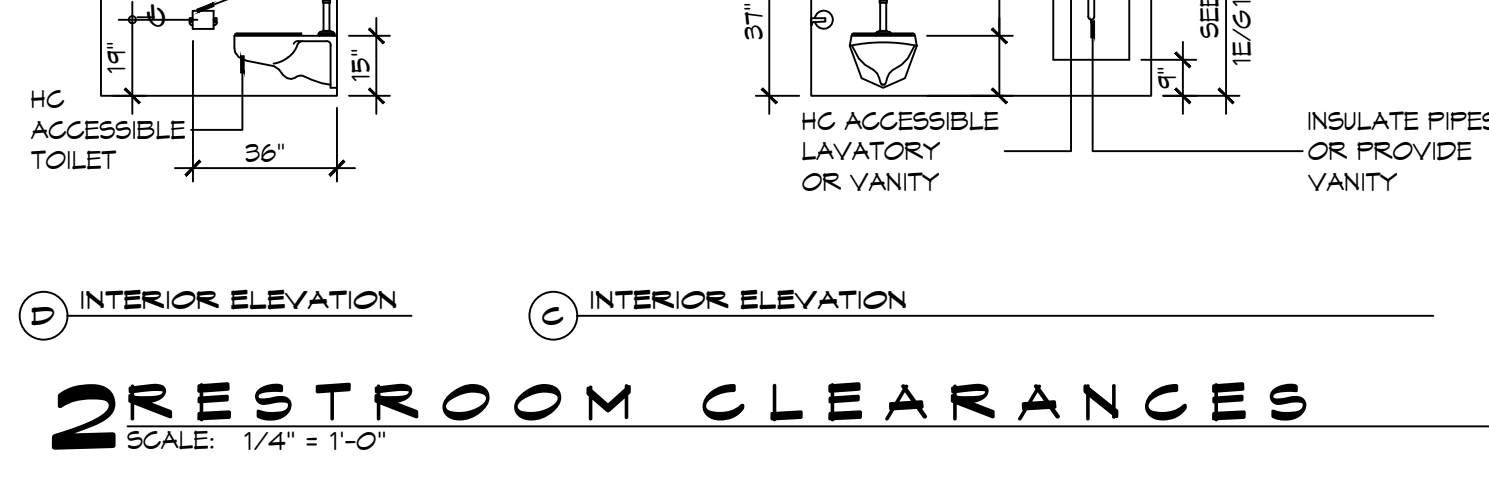
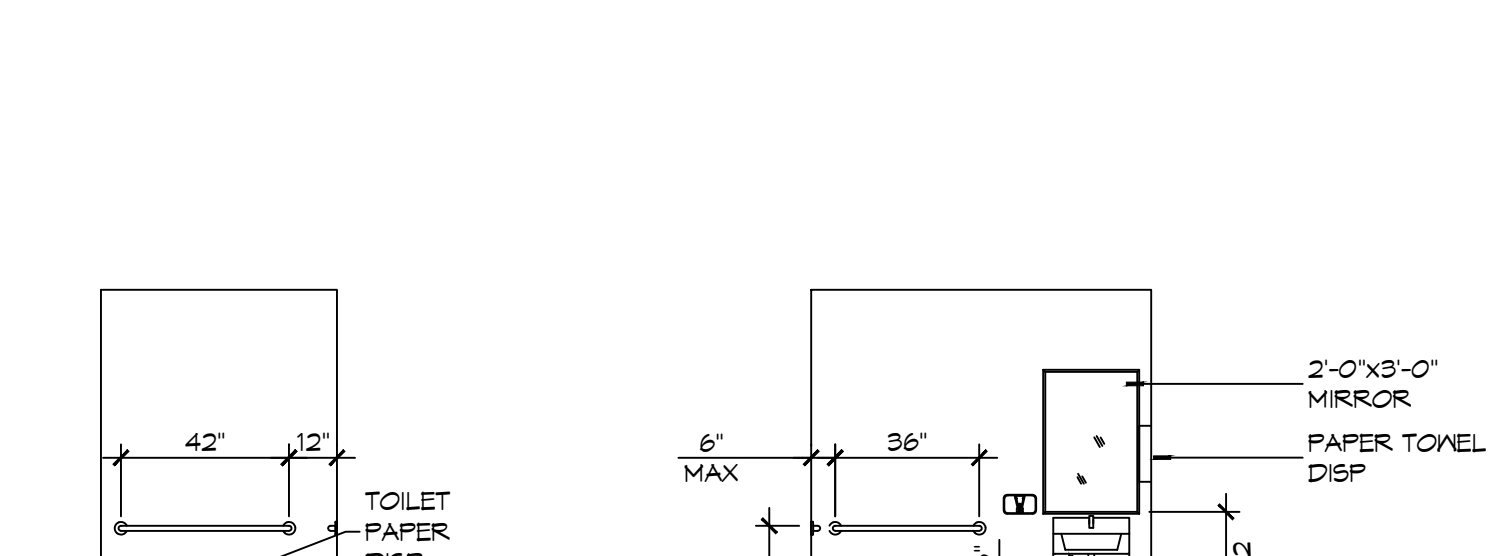
SHEET TITLE:  
GENERAL INFORMATION SHEET

DRAWING NUMBER:  
**G101**

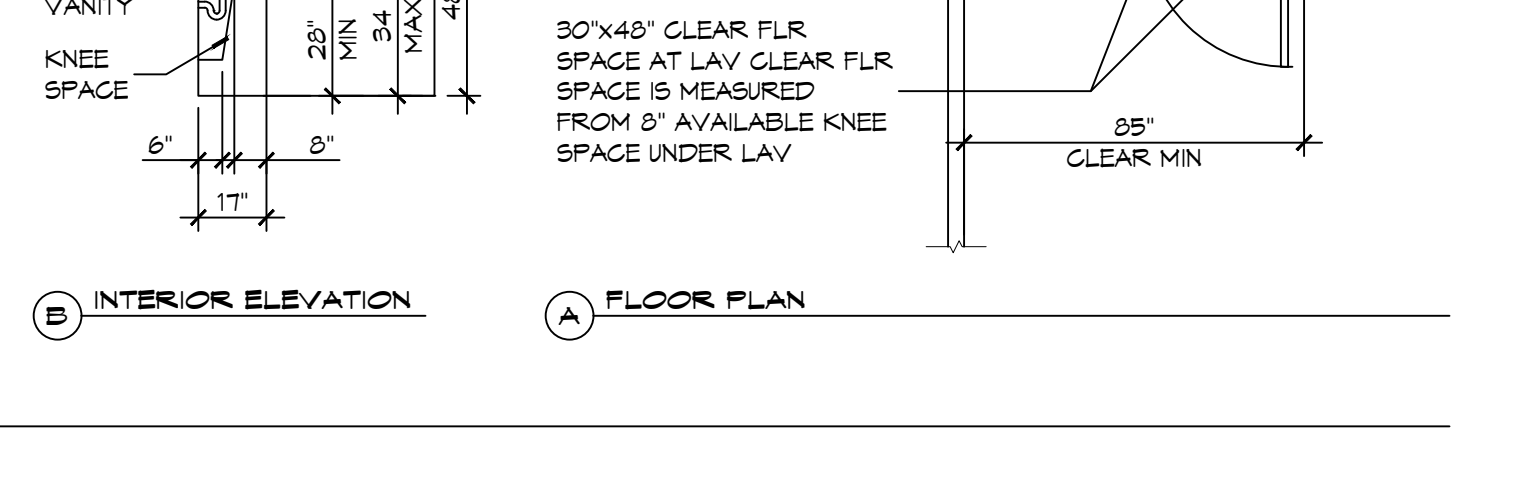
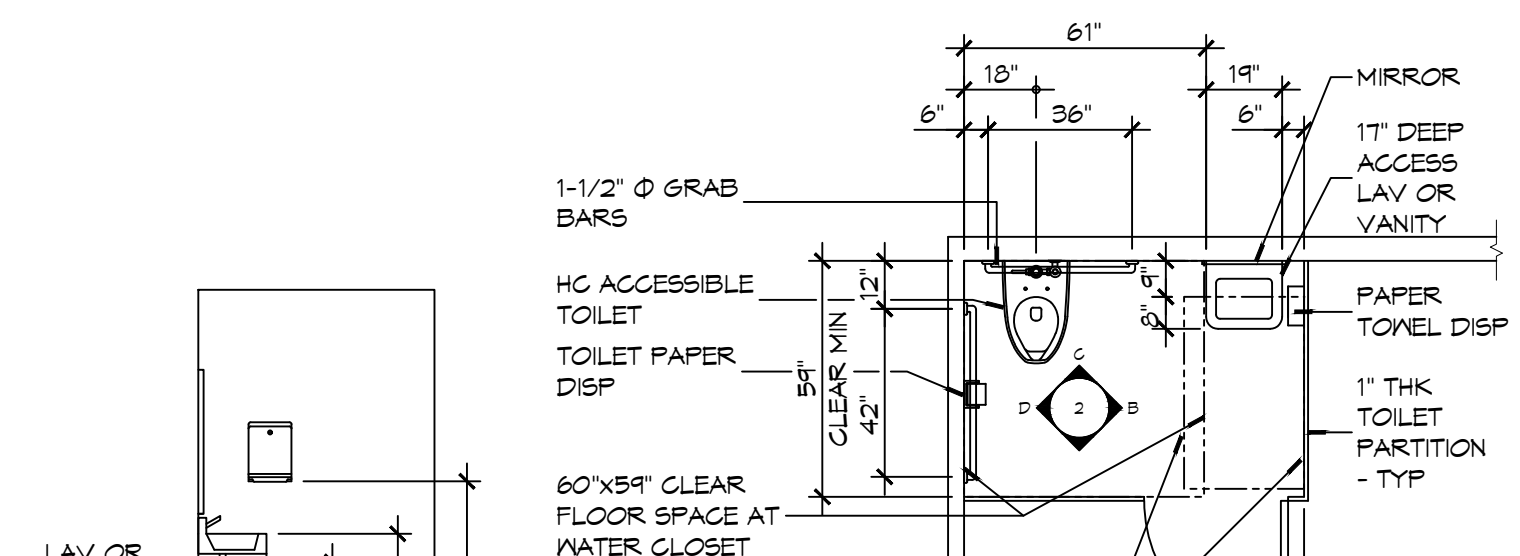
SHEET No: 1 of 10



**4 ACCESSIBLE RAMPS**  
SCALE: 1/4" = 1'-0"



**2 RESTROOM CLEARANCES**  
SCALE: 1/4" = 1'-0"



**ACCESSIBILITY NOTES**

**DOOR CLEARANCE NOTES**  
ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES. 3/6/102 - 3K/6/102.  
DOOR HARDWARE SHALL BE LEVER TYPE.  
MAX DOOR OPENING FORCE:  
INTERIOR HINGED DOORS: 5 LBF  
EXTERIOR HINGED DOORS: 8.5 LBF  
SLIDING OR FOLDING DOORS: 5 LBF  
FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.  
HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" AND NOT LESS THAN 34" ABOVE FINISHED FLOOR.  
THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.  
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.  
DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN 90°, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. OPENINGS MORE THAN 24" IN DEPTH SHALL MAINTAIN 32" MIN CLEARANCE.

**RAMPS NOTES**  
THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE MIN 1-1/2" CLEAR.  
GRIPPING SURFACES SHALL BE CONTINUOUS AND UNOBSTRUCTED.  
ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL, OR POST.  
HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.  
THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.  
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.  
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2" HIGH.  
HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.  
RAMP LANDINGS SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.

**GENERAL SITE ACCESSIBILITY NOTES**

- ACCESSIBILITY SIGNAGE SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTION 103.7.
- SEE SHEET ### FOR ACCESSIBLE RAMP AND HANDRAIL DESIGNS WHERE THEY OCCUR.
- ALL ACCESSIBLE PARKING SPACES AND AISLES THAT SERVE THEM SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTIONS 502.4 AND 502.5.
- OPENINGS IN GROUND SURFACES SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTION 302.3.
- VERTICAL CHANGES IN ELEVATION ALONG ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADAAG 2010 GUIDELINES SECTIONS 303.2, 303.3, AND 303.4.
- PARKING SPACES DESIGNATED AS ACCESSIBLE SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH ADAAG 2010 GUIDELINES SECTIONS 103.2.1 AND 502.6.
- ALL ACCESSIBLE PARKING SPACES AND ROUTES SERVING THEM SHALL HAVE A ROUGH, SLIP-RESISTANT SURFACE OR LIGHT BROOM FINISH IN COMPLIANCE WITH ADAAG 2010 GUIDELINES SECTION 302.1.

**DAMMON ENGINEERING, INC.**  
LOUISIANA & MISSISSIPPI  
www.dammonengineering.com  
info@dammonengineering.com  
PH: 985.649.5832  
Chief Engineer: Brian Misch, PE  
554 Old Spanish Trail  
Slidell, LA 70458

#	DESCRIPTION	DATE



**RESTROOM AND BAR AREA**  
**FOGGY WATERS MARINA**  
5604 LA-493  
BAYOU LIBERTY ROAD  
SLIDELL, LA 70460  
JOB No: 2026  
DATE: 9-24-26  
DRAWN BY: JME  
CHECKED BY: CKD  
SHEET TITLE: \*\*\*\*\*  
DRAWING NUMBER:  
**G102**  
SHEET No: 2 of 10













**SPLIT SYSTEM HEAT PUMP SCHEDULE AHU-1**

TAG	TRANE MODEL NO.	TOTAL CFM	AIR HANDLER			HEAT KW	POWER			HEAT PUMP			SINGLE POINT POWER SUPPLY			REMARKS
			OACFM	Motor HP	ESP (" WC)		VAC	PH	MCA	TAG	TRANE MODEL NO.	NOMINAL TONS	VAC	PH	MCA	
AHU-1	TEM83A0B18	450	90	1/3	0.5	3.6	208	1	23	HP-1	4TWV8024	2	208	1	17	1, 2, 3, 4

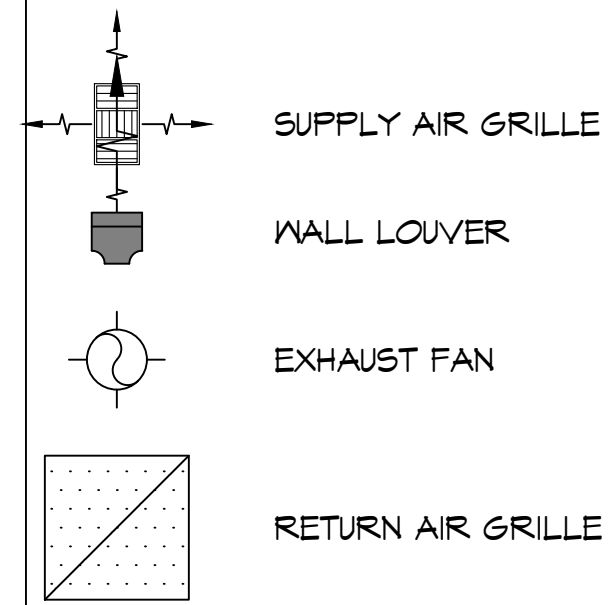
- NOTES:**
- 1 Provide single point power connection, expansion valve, crankcase heat, time delay relay, condensate overflow switch & programmable 7/24 thermostat with lockable cover.
  - 2 Cooling capacities to be rated in accordance with AHRI standard 210/290 for ASHRAE standard design weather conditions in New Orleans, LA.
  - 3 Install units in accordance with manufacturer's recommendations.
  - 4 Provide new filters after commissioning and final acceptance.

**Exhaust Fan Schedule**

Tag	Fan		Power				Make / Model	Remarks
	Airflow (CFM)	TSP (" wc)	Volts	Phase	Hz	Amps		
EF-1	60	0.2	120	1	60	0.2	Broan BE6	1, 2

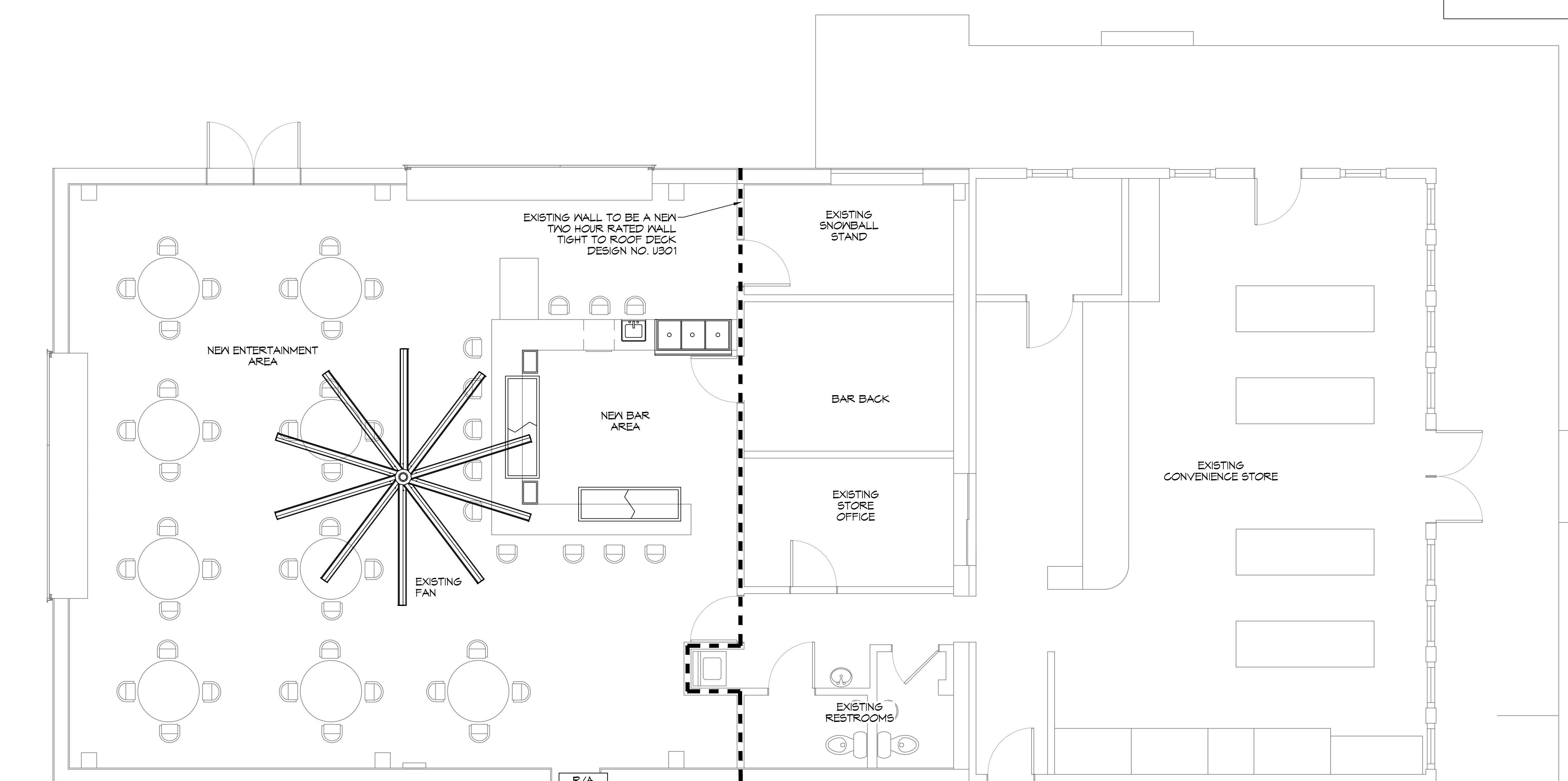
1. Install w/ matching grille per Manufacturer's recommendations.
2. Interlock with light switch.

**MECHANICAL LEGEND**



**MECHANICAL NOTES**

1. MECHANICAL SUBCONTRACTOR TO INSTALL HVAC SYSTEM, ACCORDING TO NATIONAL, STATE AND CITY CODE.
2. MECHANICAL SUBCONTRACTOR TO VERIFY HVAC DESIGN LOADS.
3. OWNER TO SELECT PLUMBING FIXTURES WITH CONTRACTOR.
4. DRAWINGS OF SYSTEM ARE SCHEMATIC AND SHOULD BE CONFIRMED BY SUBCONTRACTOR.
5. DUCTS AS SHOWN 26 GAUGE 6.1 INSULATE 1/4" FIBERGLASS INSULATION. \* MIN. DUCT SIZE 8" DIAMETER \* MIN. DIFF. SIZE 10" DIAMETER WITH AIR VOLUME REG.
6. PLACE DAMPER CONTROLS IN ALL DUCT RUNS.
7. THERMOSTAT MIN. HONEYWELL. - WALL MOUNTED
8. MIN. CLEARANCE AT UNIT TO BE 4'-0"
9. PROVIDE 3/4" PLYWOOD, 24" MIN. WIDE CATWALK TO ALL MECHANICALS IN ATTIC. CATWALK - GREATER THAN 20" NEED 6' HEADROOM - MAX. 50' LENGTH. MAINTAIN PROPER CLEARANCE AT UNITS SERVICE AREA
10. CLEARANCE OF ALL HEAT PRODUCING APPLIANCES TO BE GREATER THAN 18" ABOVE OR 6" TO THE SIDE.
11. SEC. R315: CARBON MONOXIDE ALARMS - REQUIRED IN THE SMOKE ALARMS
12. A/C DRAIN TO 1-1/2" P-TRAP
13. PROVIDE 30" MIN. WIDE WORKING PLATFORM TO ACCESS SIDE OF HVAC. ATTIC DECKED WORK AREA MIN. 30" X 30"
14. H.V.L'S, V.L'S, H.V'S & GAS RANGE HOODS MUST VENT OUTSIDE. BATHROOM EXHAUST VENTS TO THE OUTSIDE OR PROVIDE MINIMUM 1.5 SQUARE FEET OPENABLE AREA. 15 DRYER MUST BE VENTED TO THE EXTERIOR OF THE RESIDENCE, IN COMPLIANCE WITH THE MECHANICAL CODE. DRYER VENT, LENGTH (MAX. LENGTH 25', - 5' FOR 90 DEGREE TURN, - 2.5' FOR 45 DEGREE TURN OR PER MANUFACTURER) AND DISCHARGE LOCATION.



ALL HVAC DIAGRAMMATICALLY DRAWN FOR CLARITY.

**DIFFUSER SCHEDULE**

TAG	SERVICE	NECK SIZE	DESCRIPTION	Remarks
A	Supply Air	Ref. Plan	12"x 12" Adjustable Square Cone Diffuser, Price ASCDA w/ Insulated Back Panel	1, 2, 3
B	Return Air	Ref. Plan	12"x 24" Filter Return Air Grille, Price 60-H	1, 2, 3

- Notes:**
1. Seal around perimeter of diffusers/grilles to prevent moisture migration from attic space
  2. Coordinate with owner / architect for color and finish
  3. R value of insulated back panels to exceed R-6

**12 MECHANICAL PLAN**

SCALE: 1/4" = 1'-0"

**DAMMON ENGINEERING, INC.**  
 LOUISIANA & MISSISSIPPI  
 Chief Engineer: Brian Mistich, PE  
 554 Old Spanish Trail  
 Slidell, LA 70458  
 www.dammonengineering.com  
 info@dammonengineering.com  
 PH: 985-649-5832

REVISIONS

#	DESCRIPTION	DATE



**RESTROOM AND ENTERTAINMENT AREA**

**FOGGY WATERS MARINA**

50047 LA-493  
 BAYOU LIBERTY ROAD  
 SLIDELL, LA 70460

JOB No: 2026 DATE: 9-24-26  
 DRAWN BY: CJD CHECKED BY: BAM

SHEET TITLE:  
 MECHANICAL & PLUMBING PLAN

DRAWING NUMBER:  
**M101**

SHEET No: 9 of 10

